

UNIVERSITY OF SOUTH CAROLINA SLOAN 112 RENOVATION

COLUMBIA, SC

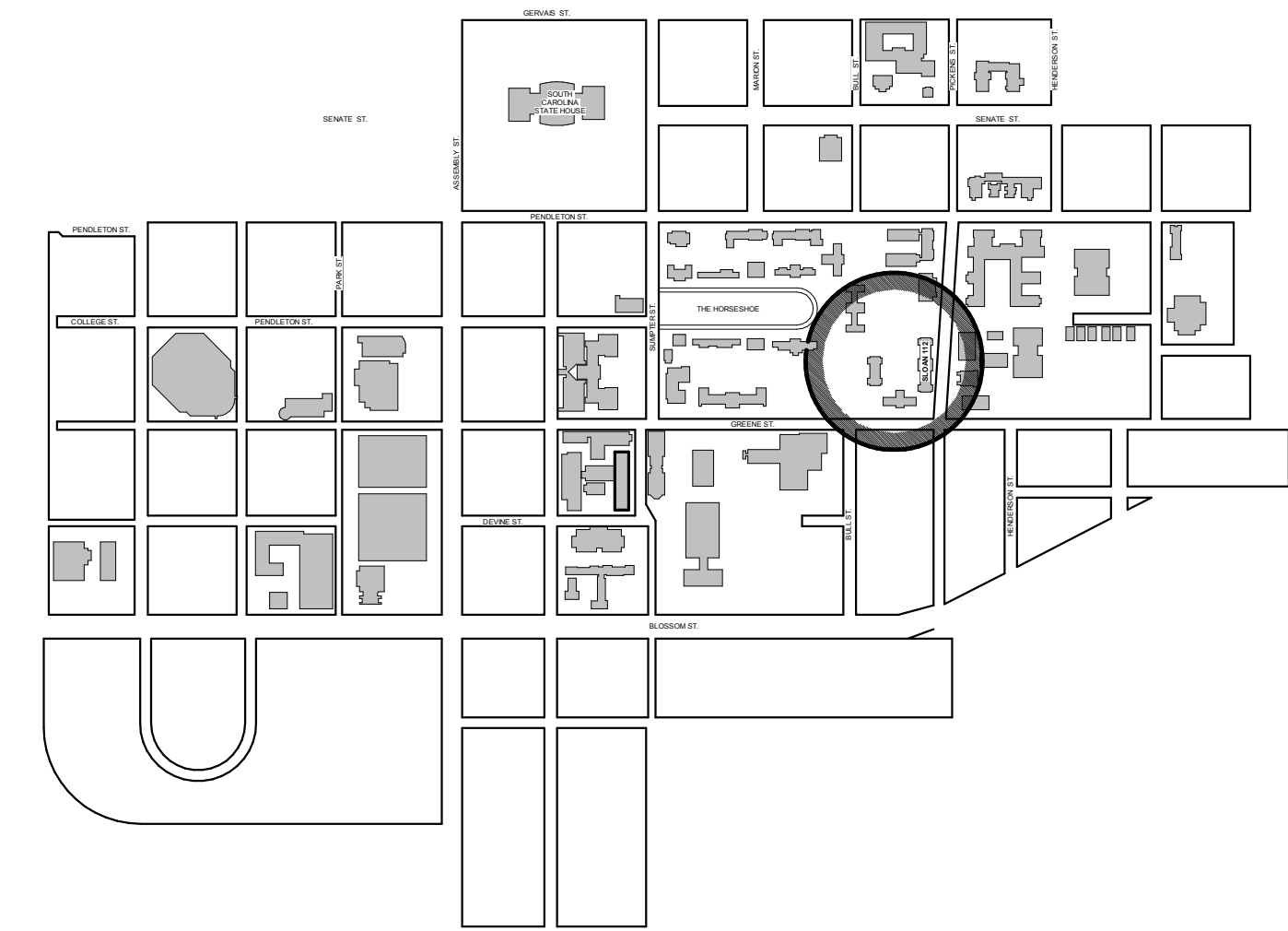
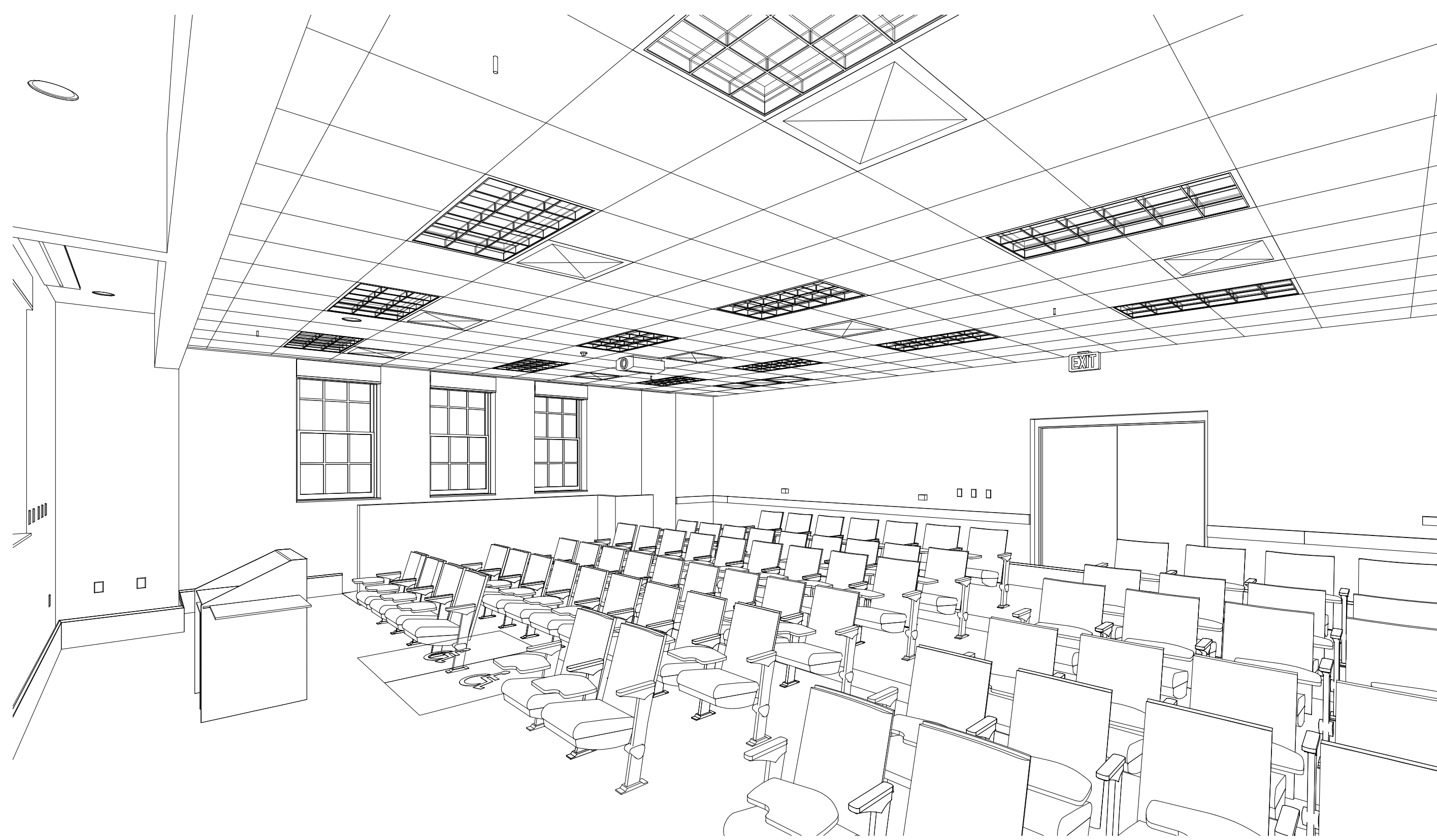
ARCHITECT'S PROJECT NUMBER 02-050

UNIVERSITY PROJECT NUMBER 50003348-3

STATE PROJECT NUMBER H27-Z341

FEBRUARY 29, 2019

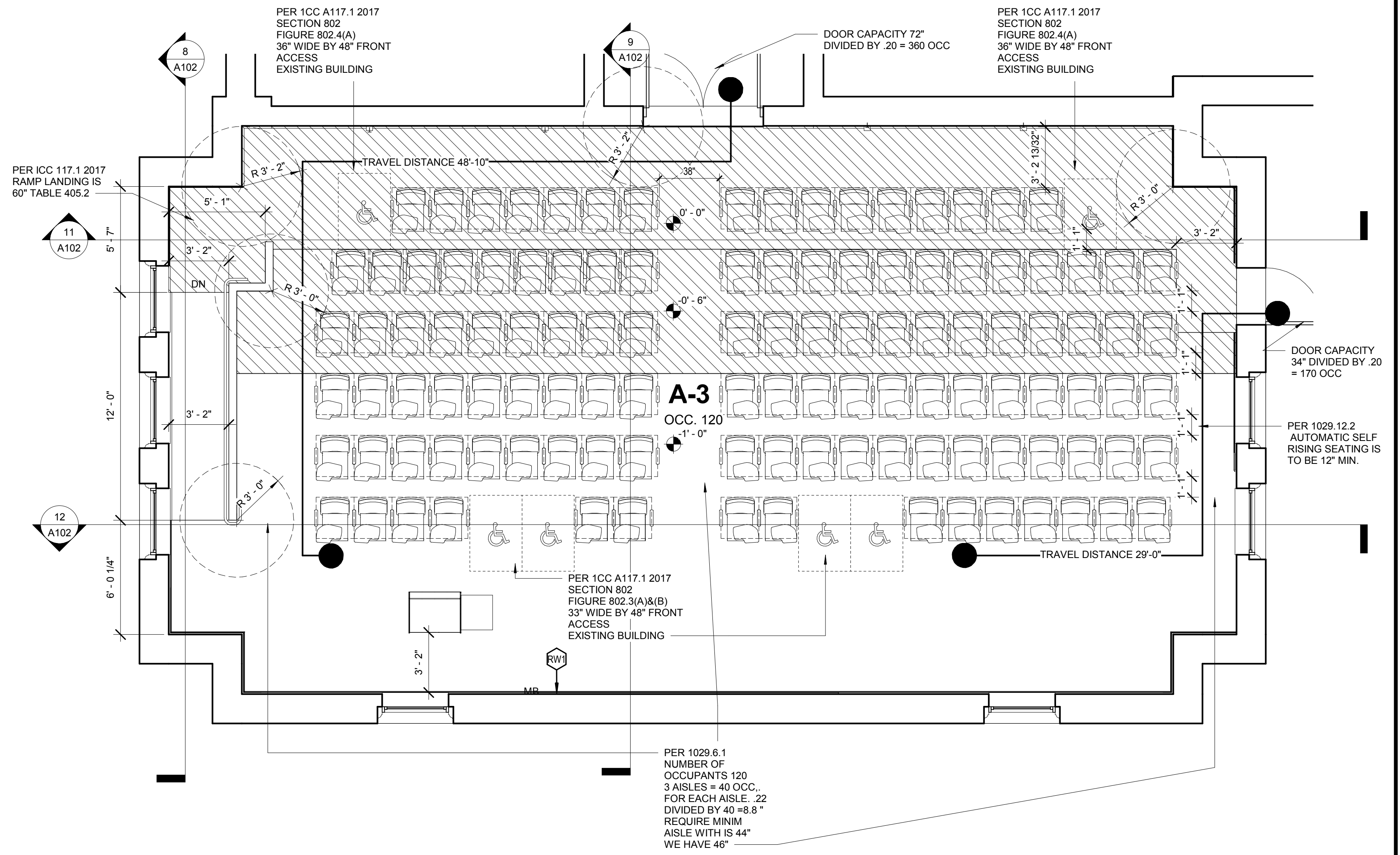
BID SET



**BUILDING LOCATION LEGEND
CAMPUS:**

Sheet List	
Sheet Number	Sheet Name
G101	COVER LIFE SAFETY
A101	RENOVATION AND DEMOLITION DRAWINGS
A102	ENLARGED PLANS AND RAISED SLAB CONFIG.
A103	ENLARGED DETAILS
E101	ELECTRICAL PLANS

3 Site Plan
G101 3/4" = 1'-0"



2 Level 1 Life Safety
G101 1/4" = 1'-0"

BUILDING CODE ANALYSIS FORM					
PROJECT: USC COKER 510					
SUBMITTAL: SCHEMATIC <input type="checkbox"/> DESIGN DEVELOPMENT <input type="checkbox"/> CONSTRUCTION DOCUMENT <input checked="" type="checkbox"/>					
DATE: 1-15-19 CODE & EDITION: 2015 IBC with South Carolina Amendments ICC A117.1 2017 Standard for Accessible and Usable Buildings and Facilities					
BASIC BUILDING CODE INFORMATION					
DESIGNATED AREAS OF BUILDING	AREA 1	AREA 2	AREA 3	AREA 4	AREA 5
CONSTRUCTION CLASSIFICATION TYPE (IBC 602)	#B				
NUMBER OF OCCUPANTS (IBC 302)	120				
OCCUPANCY GROUP (Indicate most restrictive) (IBC Table 503)	A-3				
Does building require incidental Use Area Separation (IBC 508.2.4)	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/> NO <input type="checkbox"/> YES
Does the building have Accessory Occupancy (yes)? (IBC 508.2)	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/> NO <input type="checkbox"/> YES
What percent of story is accessory occupancy?	484 SF 9.1%	SF %	SF %	SF %	SF %
Mixed Occupancy (IBC 508)	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/> NO <input type="checkbox"/> YES
Non Separated (IBC 508.3)	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/> NO <input type="checkbox"/> YES
Separated (IBC 508.4) (IBC 508.5)	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/> NO <input type="checkbox"/> YES
OTHER FIRE PROTECTION SYSTEMS, DEVICES or FEATURES: If the building has any special or notable fire protection or safety feature or hazard the designers should list them here, describe the performance characteristics and refer to locations construction documents. (e.g. fire extinguishers, smoke-evacuation/control compartments. Note IBC 414.1.3)	SPRINKLER SYSTEM FIRE STROBES				
AISLE WIDTH (without smoke protection) (IBC 1029.6.1)	120 OCCUPANTS DIVIDED BY 3 AISLES LEAVES 40 OCC PER AISLE .22 PER EACH OCCUPANT LEAVES 4.5" MINIMUM WIDTH PER AISLE 8.3" PER AND EACH AISLE SERVES LESS THAN 50 PEOPLE BEYOND 2. EGRESS PROVIDED IS ABOVE MINIMUM AT 36"				
NUMBER OF DESIGNATED EXITS	2				
HANDRAILS REQUIREMENT (IBC 1029.15)	REQUIRED WHEN SLOPE IS GREATER THAN 6.7% PROJECT SLOPE IS 47.3% (15.7% MAXIMUM) REQUIRED				

No.	Item	Date

Key Plan

Sheet Title
COVER LIFE SAFETY

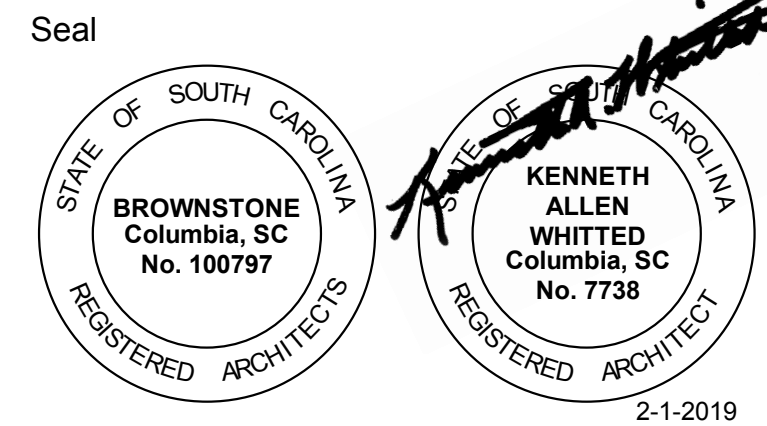
G101

Drawn By _____ Author
Checked By _____ Checker

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1310 LADY STREET SUITE 204 COLUMBIA, SOUTH CAROLINA 29201

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Client
UNIVERSITY OF SOUTH CAROLINA

Project
2019 RENOVATION OF SLOAN RM 112 USC# 50003348-3 STATE # H27-Z341

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Seal



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UNIVERSITY OF SOUTH CAROLINA

Project

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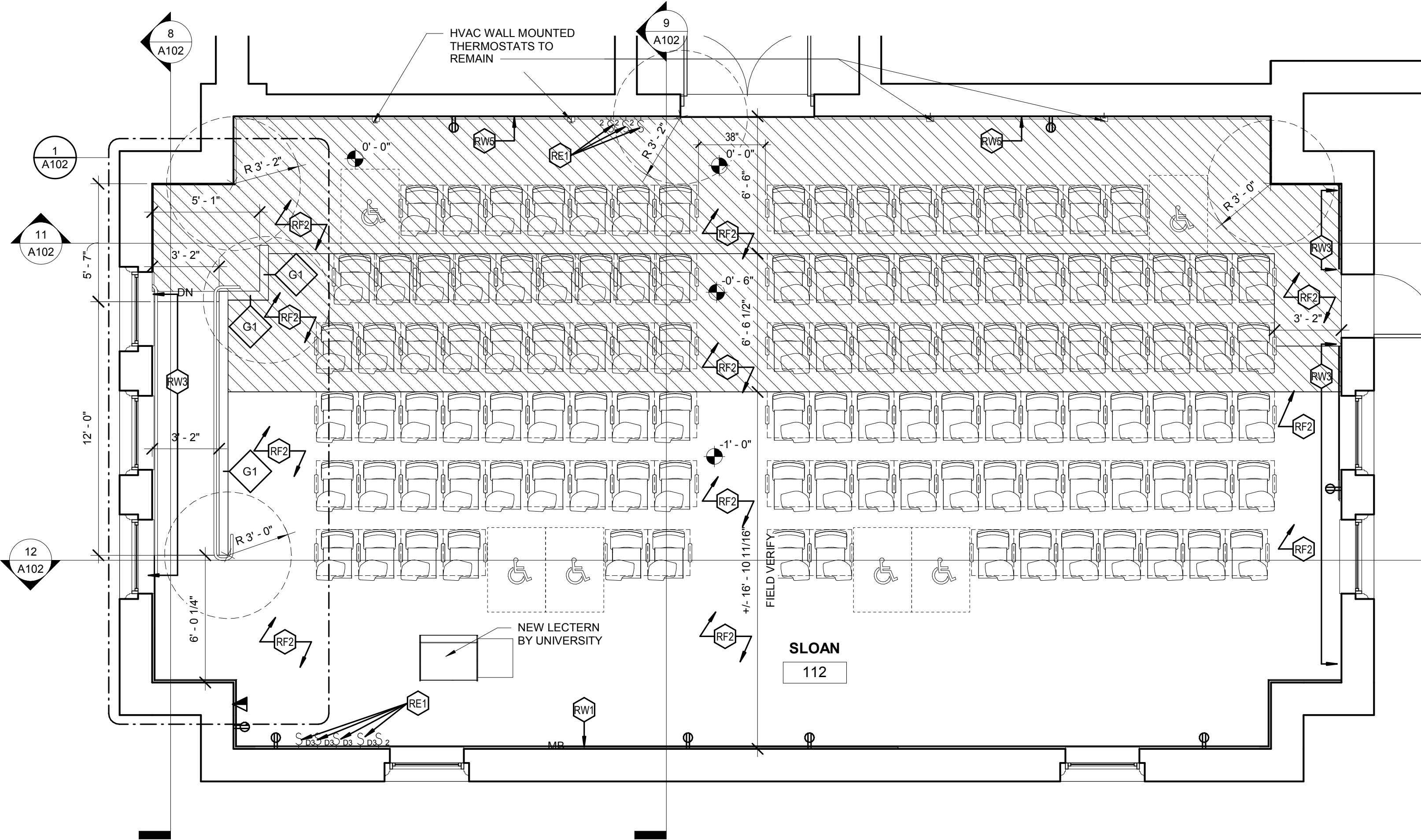
Key Plan

RENOVATION AND DEMOLITION DRAWINGS

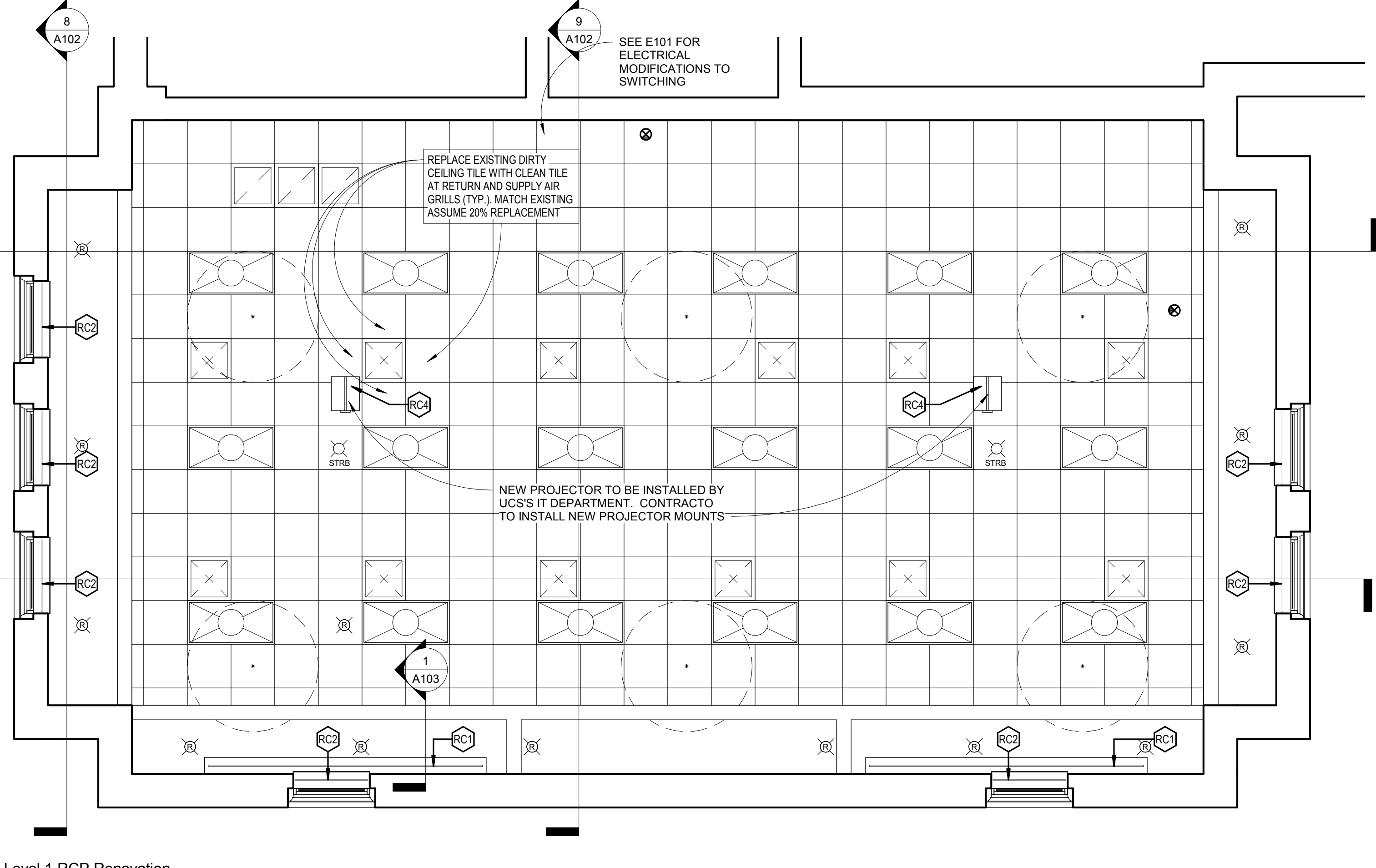
A101

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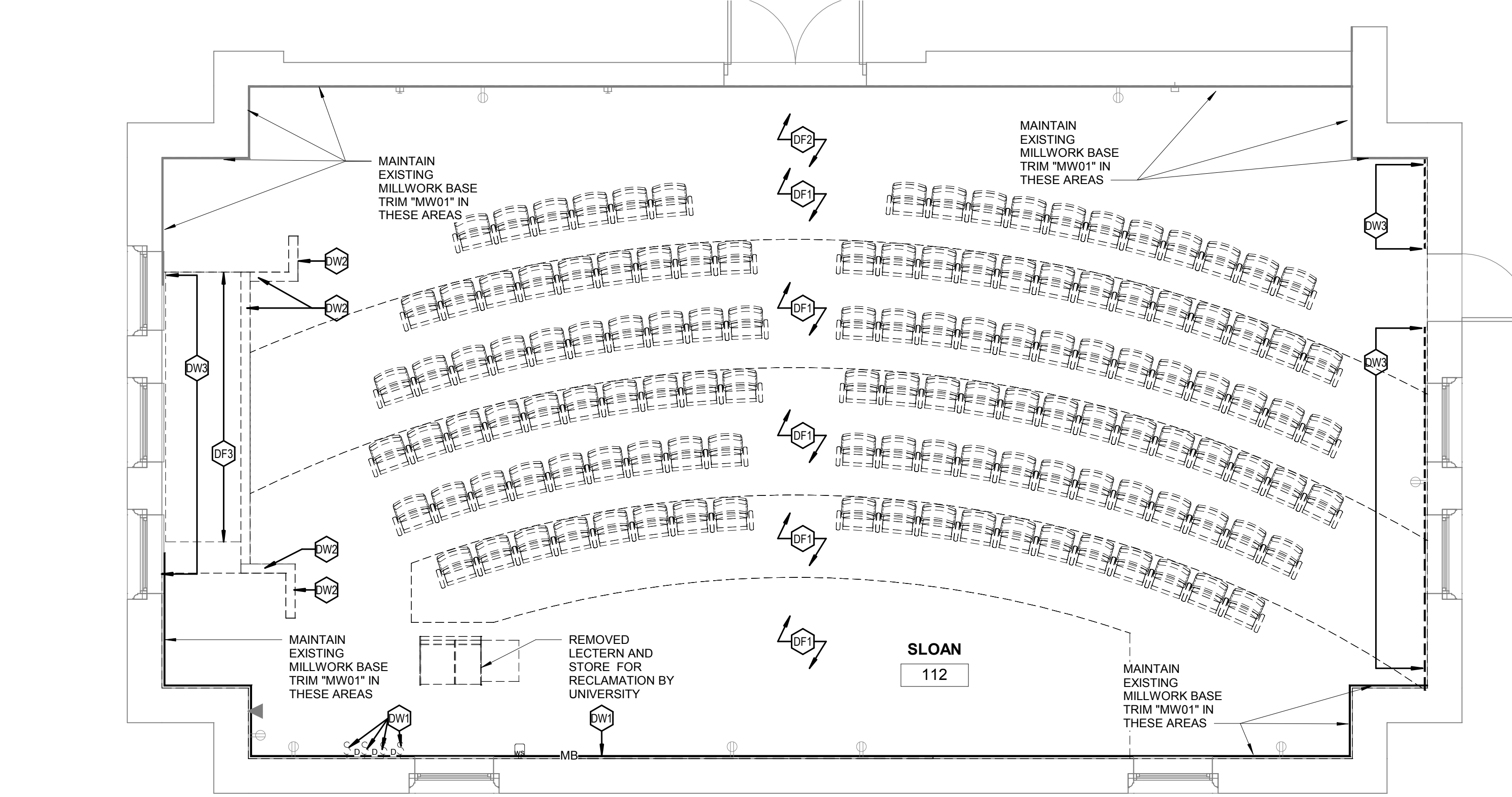
1 Level 1 Renovation Plan
A101 1/4" = 1'-0"



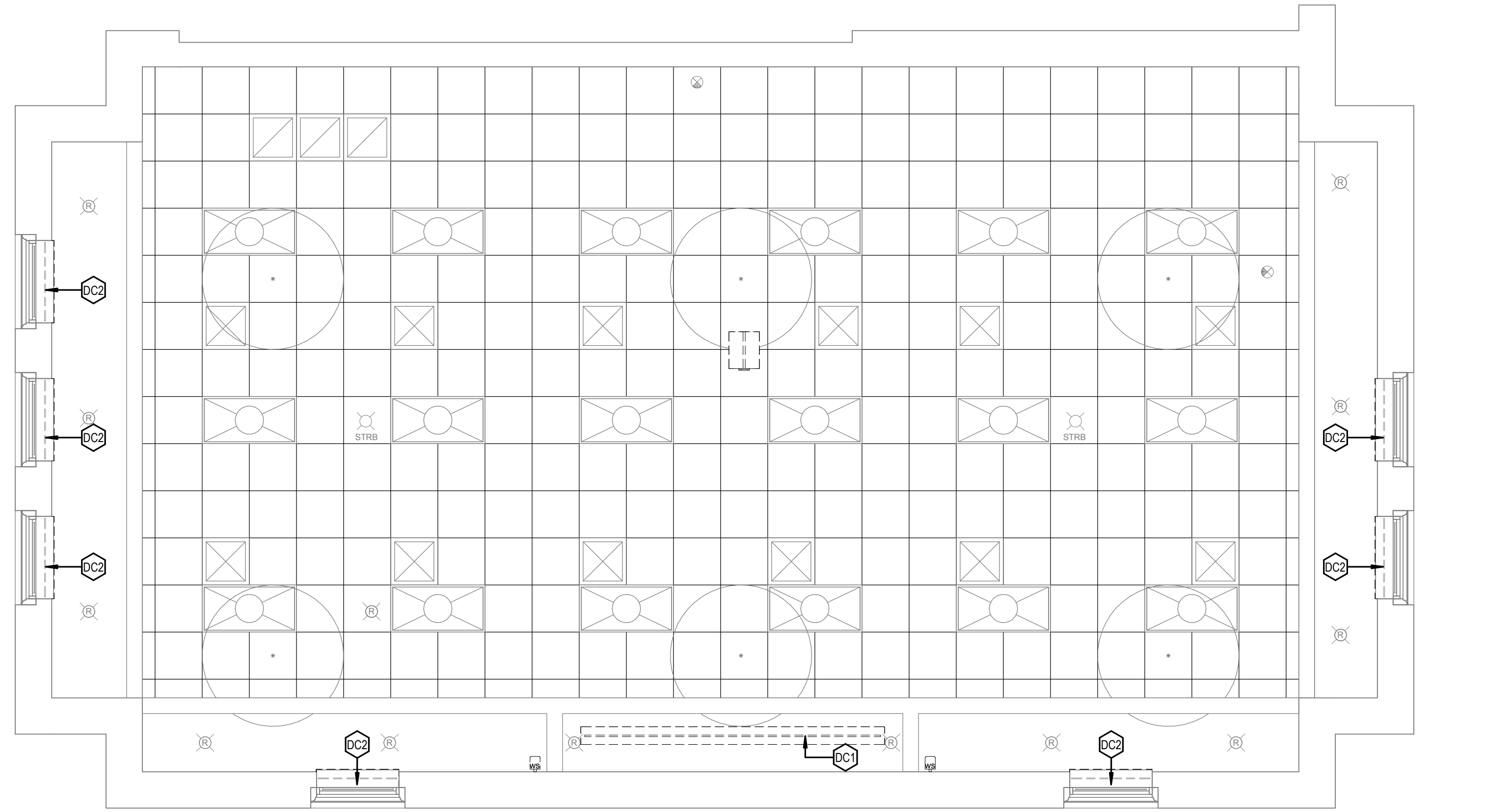
4 Level 1 RCP Renovation
A101 1/4" = 1'-0"



2 Level 1 Demolition
A101 1/4" = 1'-0"



3 Level 1 RCP Demolition
A101 1/4" = 1'-0"



SYMBOLS

DRAWING REFERENCE
DETAIL TITLE
DETAIL NUMBER
DRAWING TITLE
SCALE: 1/8" = 1'-0"
SHEET NUMBER WHERE DETAIL IS SHOWN

WALL SECTION / DETAIL SECTION REFERENCE
DETAIL NUMBER
SIM OH OPP ROT
SIMILAR CONDITION OPPOSITE HAND ROTATED CONDITION

ROOM TAG SYMBOL
OFFICE
ROOM NAME
ROOM NUMBER

DOOR TAG SYMBOL
101A
DOOR NUMBER

DEMOLITION KEY
DW1
DEMO NUMBER

RENOVATION KEY

RW1
RENO NUMBER
84"
DIMENSION TO FACE OR EDGE
PARTITION TYPE

NEW CONSTRUCTION
RAISED CONCRETE FLOORING
NEW 24" FLOOR MOUNTED CHAIR
EXISTING FLOOR MOUNTED CHAIR TO BE DEMOLISHED
EXISTING CEILING MOUNTED SPRINKLER HEAD

MECHANICAL RETURN
MECHANICAL SUPPLY
2 X 2 LIGHTING FIXTURE
FIRE STROBE
DUPLUX OUTLET RECEPTACLE

REVISION SYMBOL

CEILING MOUNTED EXIT SIGN
CEILING MOUNTED PROJECTOR
CEILING MOUNTED PROJECTION SCREEN
CAMERA
WALL MOUNTED SPEAKER
CLOUD AROUND REVISION

DEMOLITION LEGEND

WALL
DW1 REMOVE EXISTING MARKER BOARD
DW2 REMOVE EXISTING GYP BOARD WALL
DW3 REMOVE EXISTING MILLWORK TRIM

FLOORING
DF1 REMOVE TIERED WOOD FLOORING
DF2 REMOVE EXISTING CARPETING PREPARE FLOOR FOR NEW CARPETING
DF3 REMOVE EXISTING WOOD RAMP

CEILING
DC1 REMOVE EXISTING MOTORIZED PROJECTOR SCREEN (STORE AND RETURN TO OWNER)
DC2 REMOVE EXISTING MANUAL BLACK OUT WINDOW SHADES
DC3 REMOVE EXISTING PROJECTOR MOUNT (STORE AND RETURN TO OWNER)

ELECTRICAL
DE1 REMOVE EXISTING SWITCH AND DIMMERS

RENOVATION LEGEND

WALL
RW1 INSTALL NEW MARKER BOARD
RW2 FINISH WALL PATCH REPAIR AND PAINT
RW3 INSTALL BASE TRIM PROFILE MW01 FOLLOW CONTOUR OF STEP TIER FLOORING WHERE NECESSARY
RW4 INSTALL HANDRAIL
RW5 INSTALL 36" HIGH CHAIR RAIL PROFILE MW02
RW6 INSTALL 36" HIGH STEEL HANDRAIL AT RAMP

FLOORING
RF1 INSTALL NEW CONCRETE TIERED FLOORING
RF2 INSTALL NEW CARPETING
RF3 INSTALL NEW ADA RAMP

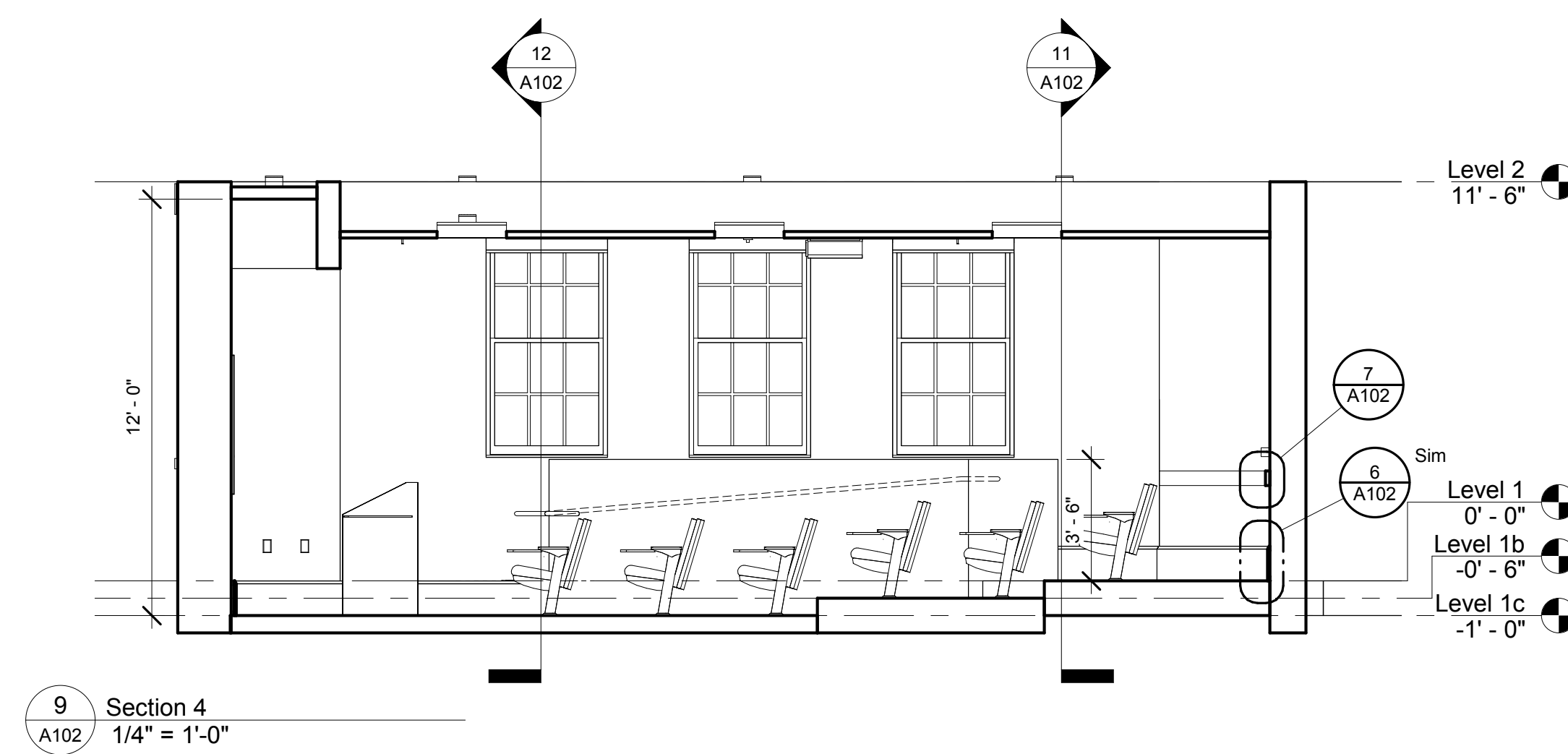
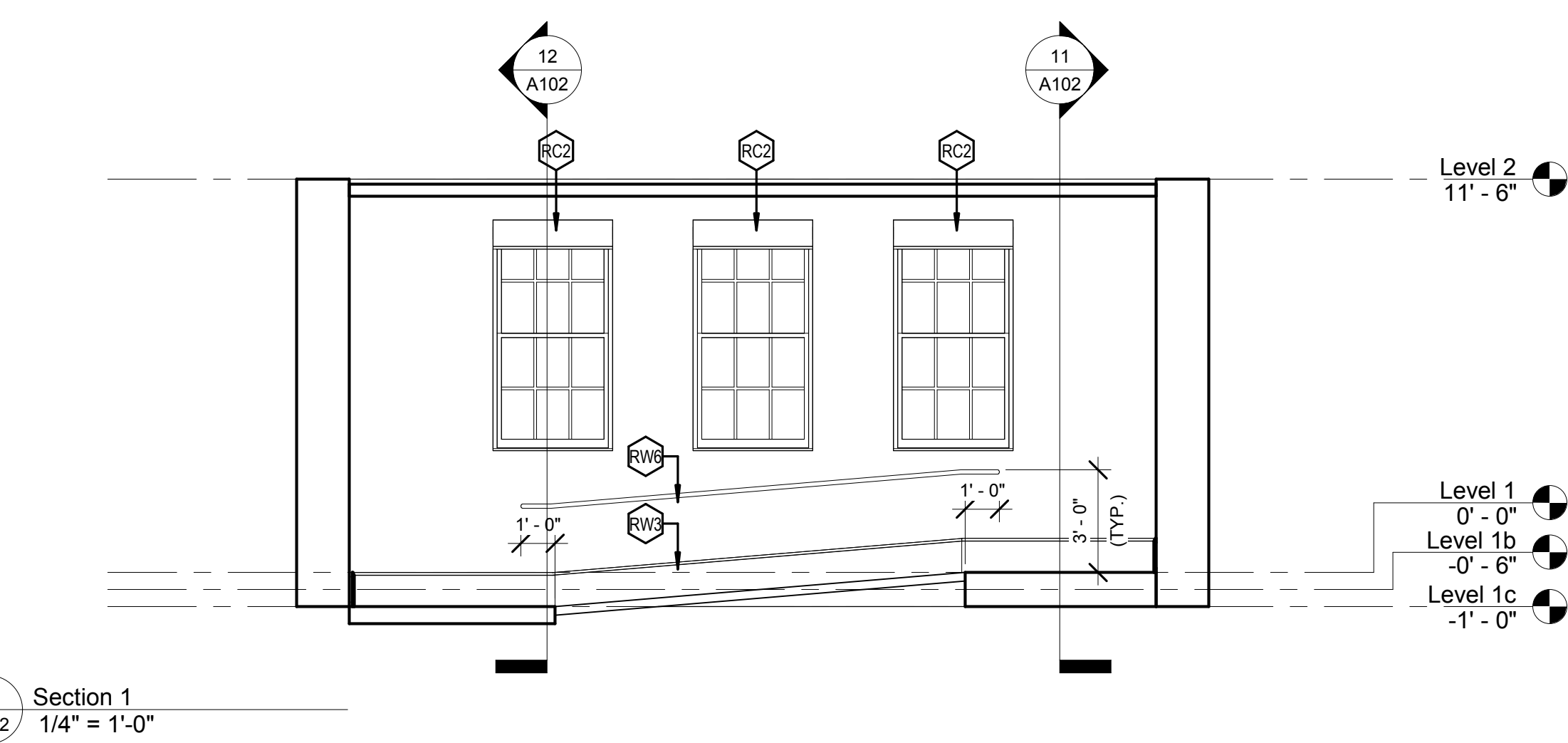
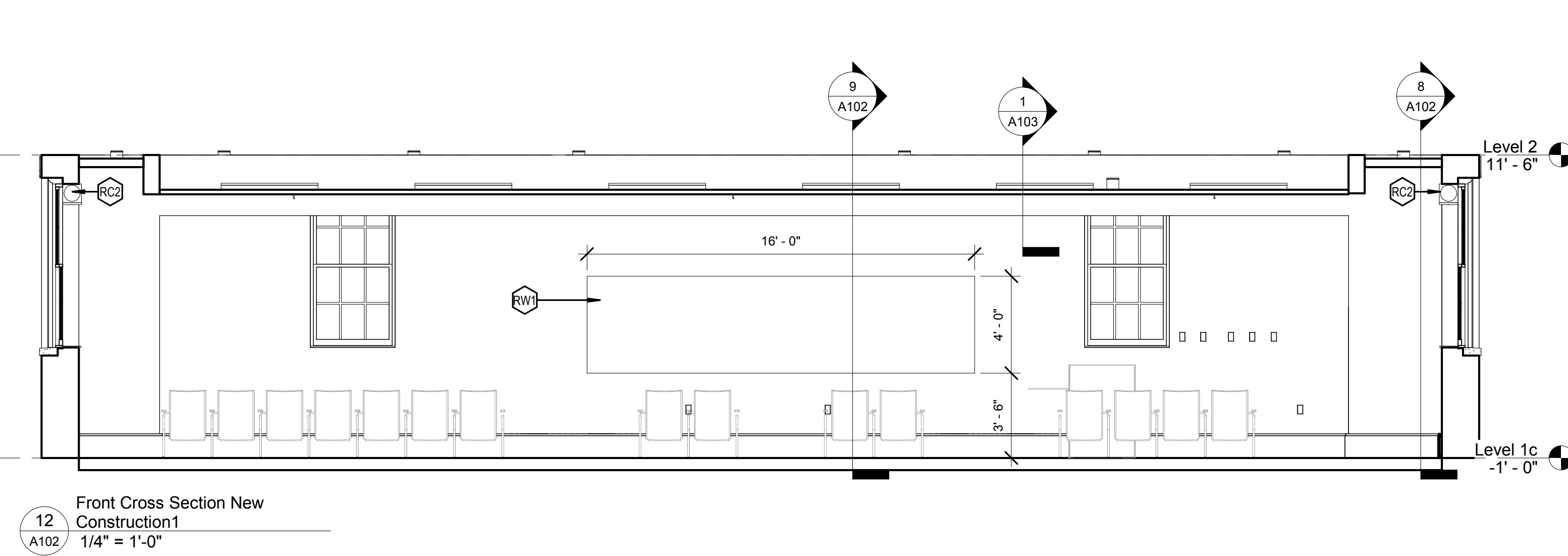
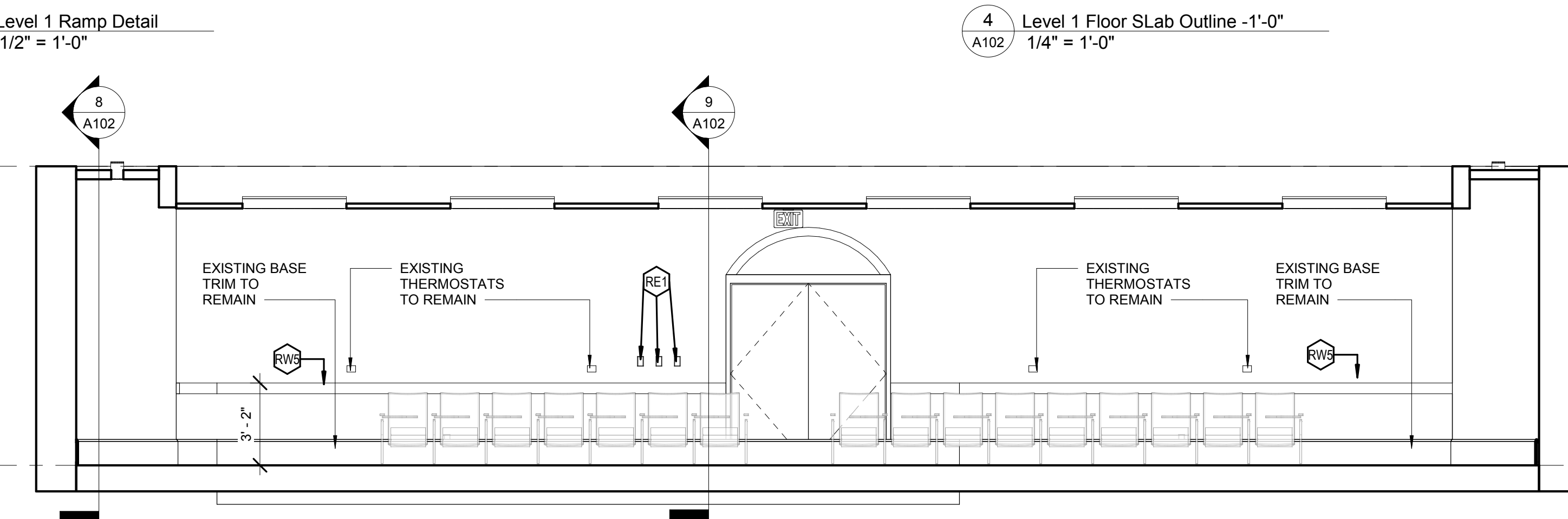
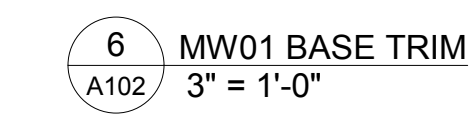
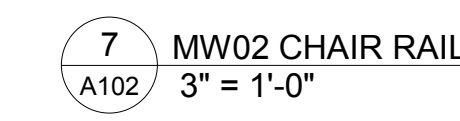
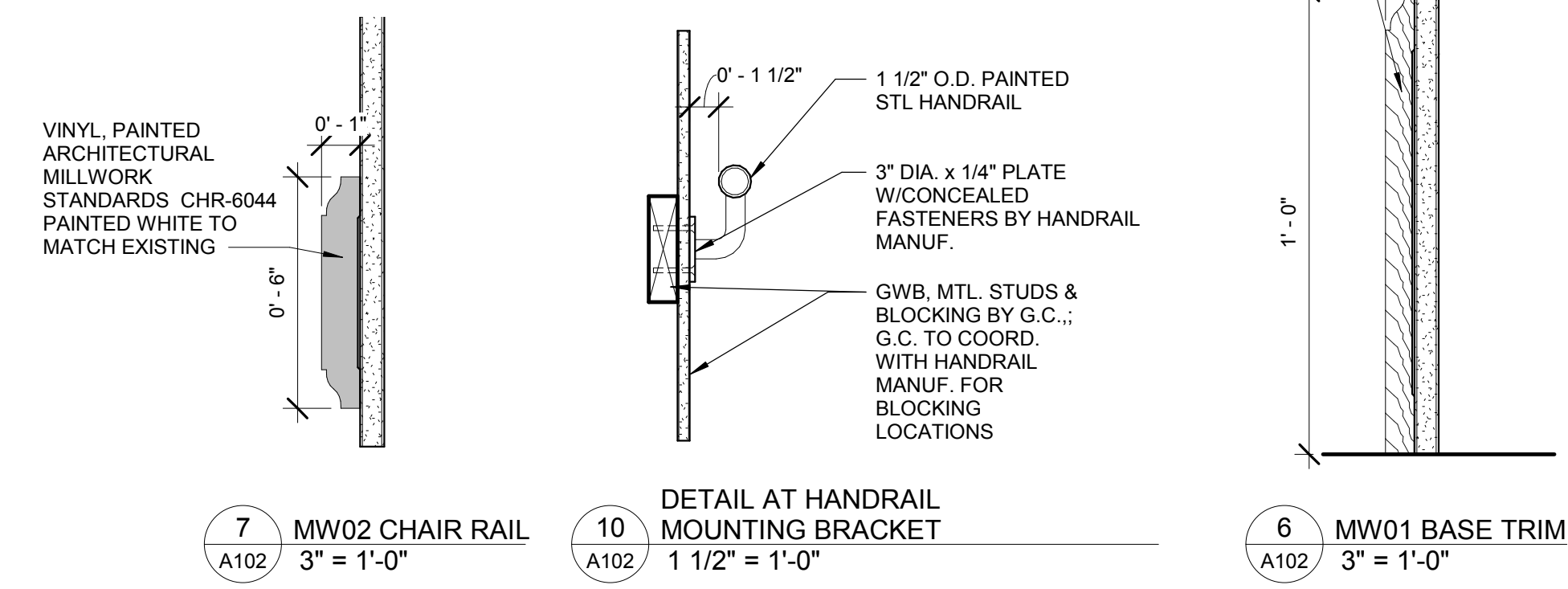
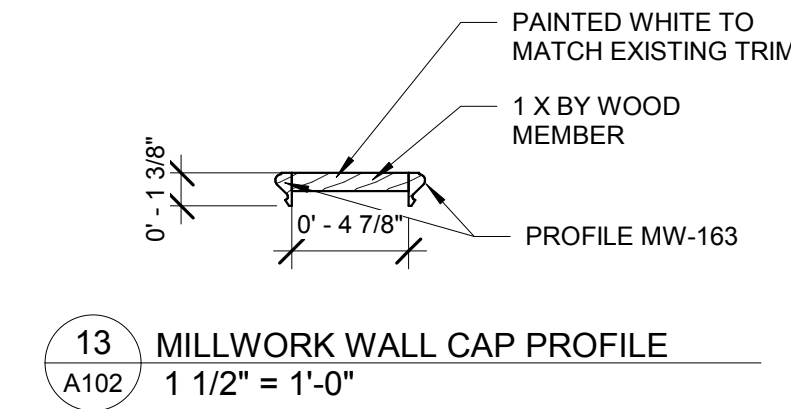
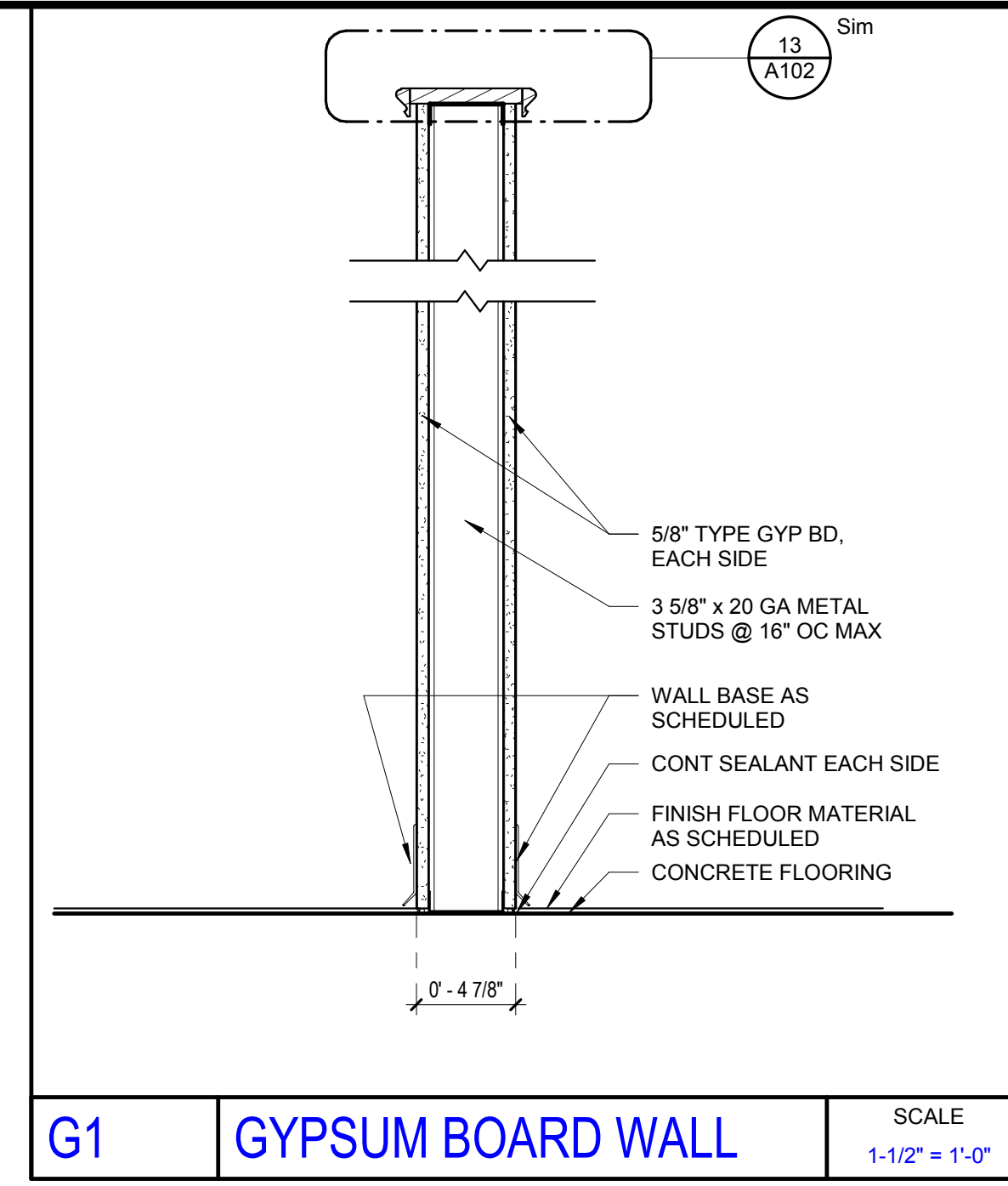
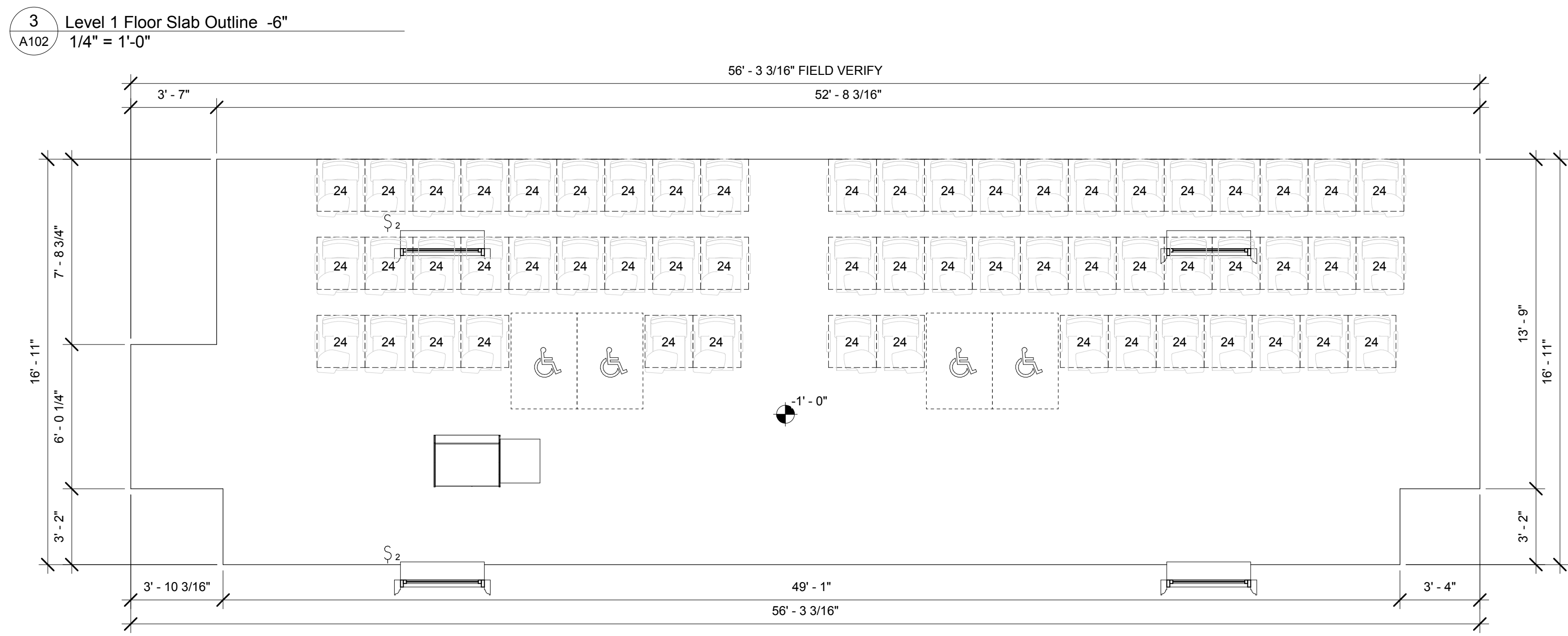
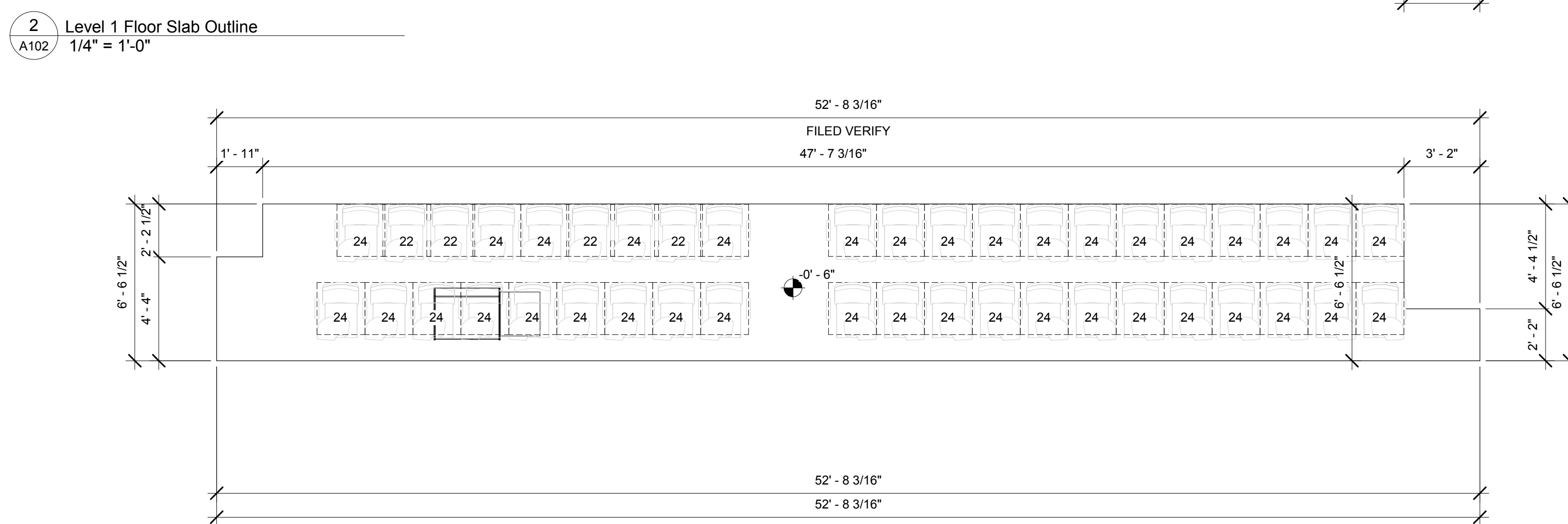
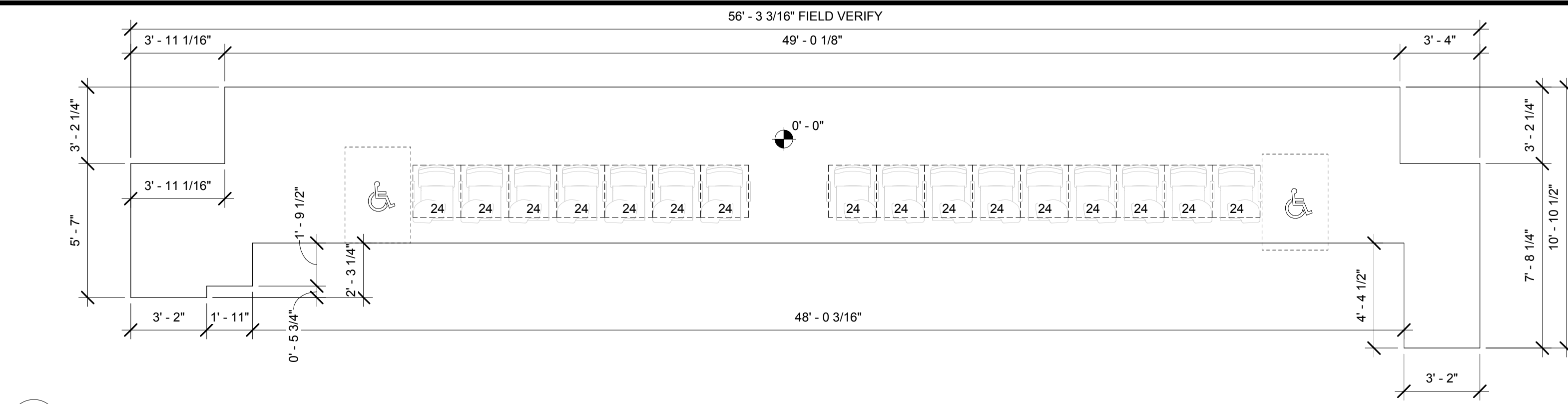
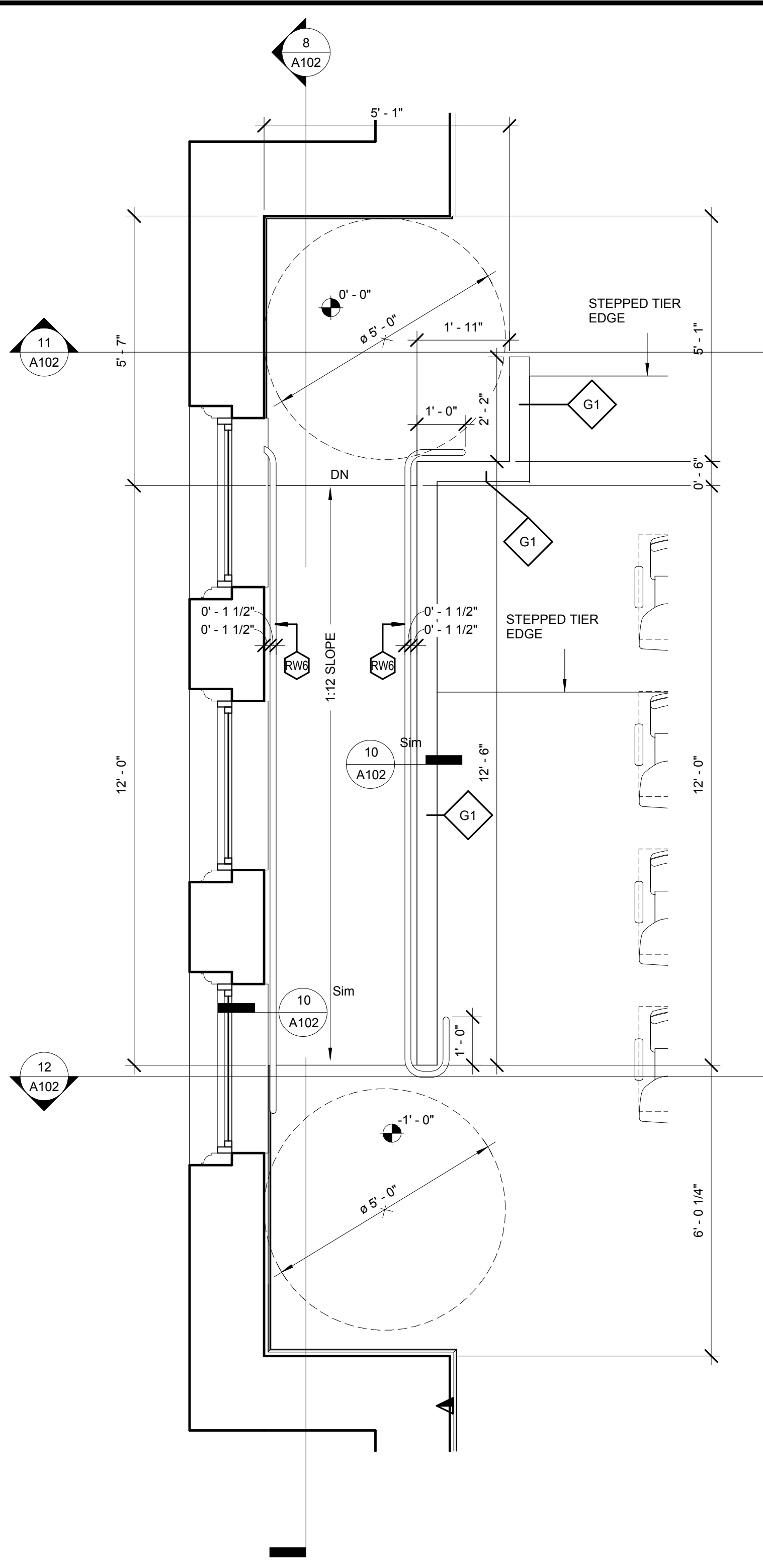
CEILING
RC1 INSTALL NEW MOTORIZED PROJECTOR SCREEN (OWNER PROVIDED / CONTRACTOR INSTALLED); CONTRACTOR TO RETRIEVE EQUIPMENT FROM 743 GREENE STREET AND DELIVER TO PROJECT SITE - COORDINATE WITH PROJECT MANAGER.)
RC2 REMOVE MANUAL BLACK OUT WINDOW SHADES
RC3 PATCH AND REPAIR LOCATION OF DEMOLISHED MOTORIZED PROJECTOR
RC4 INSTALL NEW PROJECTOR MOUNTS IN THESE LOCATIONS (OWNER PROVIDED / CONTRACTOR INSTALLED); CONTRACTOR TO RETRIEVE EQUIPMENT FROM 743 GREENE STREET AND DELIVER TO PROJECT SITE - COORDINATE WITH PROJECT MANAGER.)

ELECTRICAL
RE1 INSTALL NEW SWITCH/ DIMMER (SEE E101)

Room Schedule			
Floor Finish	Wall Finish	Ceiling Finish	Base Finish
CARPET	PAINT	NO CHANGE SELECTIVE ACT REMOVAL	PAINTED MILLWORK

DEMOLITION AND RENOVATION GENERAL NOTES

- A. IT IS NOT THE OWNERS INTENTION TO LIMIT COMPETITION AMONG CONTRACTORS BUT TO ENSURE QUALITY STANDARD ARE MET THROUGH STANDARD NATIONAL REGULATION. THE OWNER IS ISSUING A BUY AMERICA CLAUSE TO ADD TO ALL ITEMS.
- B. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS WITH EXISTING CONDITIONS FOR SIZES, QUANTITIES, AND LOCATIONS.
- C. ALL ITEMS INDICATED TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION.
- D. CONTRACTOR SHALL REMOVE ALL LOOSE FURNITURE, SHELVING AND EQUIPMENT FROM RENOVATION AREAS AND DELIVER TO OWNER PRIOR TO WORK COMMENCING.
- E. PREPARE ALL EXISTING AREAS TO RECEIVE NEW FINISHES AS REQUIRED IN WRITING BY MANUFACTURER FOR SPECIFIED FINISHES.
- F. PATCH EXISTING WALLS TO REMAIN. PREPARE SURFACE TO RECEIVE NEW FINISHES WHERE CASEWORK, THERMOSTATS, ETC. ARE REMOVED. REPAIR WALLS TO RECEIVE NEW FINISHES AS SCHEDULED. PAINT ALL DISTURBED AREAS TO MATCH EXISTING UNLESS NOTED OTHERWISE.
- G. IN AREAS OF RENOVATION WORK, PROTECT ALL EXISTING PIPING AND INSULATION AND CONDUIT TO REMAIN IN USE.
- H. ALL GENERAL NOTES AND CEILING NOTES APPLY TO RENOVATION SCOPE UNLESS NOTED OTHERWISE.
- I. WHERE ITEMS ARE REMOVED PREVIOUSLY OR AS PART OF THIS CONTRACT, PATCH, REPAIR, AND PREPARE ALL DOOR, WALL, CEILING, AND FLOOR SURFACES TO RECEIVE NEW FINISHES AS SCHEDULED.
- J. ALL DEMOLITION SHALL BE REMOVED AND PROPERLY DISPOSED OF OFF SITE IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION.
- K. EXISTING TABLET ARM CHAIRS AND ADJUSTABLE HEIGHT TABLES TO REMAIN - STORE AS REQUIRED. RETURN MISCELLANEOUS CHAIRS, STORAGE CABINETS, TABLES, MARKER BOARDS WORK SURFACES, ETC TO OWNER. IF ITEMS REQUIRE TRANSFER TO INVENTORY CONTROL, CONTACT OWNER.
- L. ROOM SIGN INSTALLATION AND/OR MODIFICATIONS TO BE COORDINATED BY PROJECT MANAGER.
- M.



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Seal

STATE OF SOUTH CAROLINA
BROWNSTONE
 Columbia, SC
 No. 100797
 REGISTERED ARCHITECTS

STATE OF SOUTH CAROLINA
KENNETH ALLEN WHITTED
 Columbia, SC
 No. 7738
 REGISTERED ARCHITECT
 2-1-2019

Client
UNIVERSITY OF SOUTH CAROLINA

Project
2019 RENOVATION OF SLOAN RM 112 USC# 50003348-3 STATE # H27-Z341

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 • BIDDING

No.	Item	Date

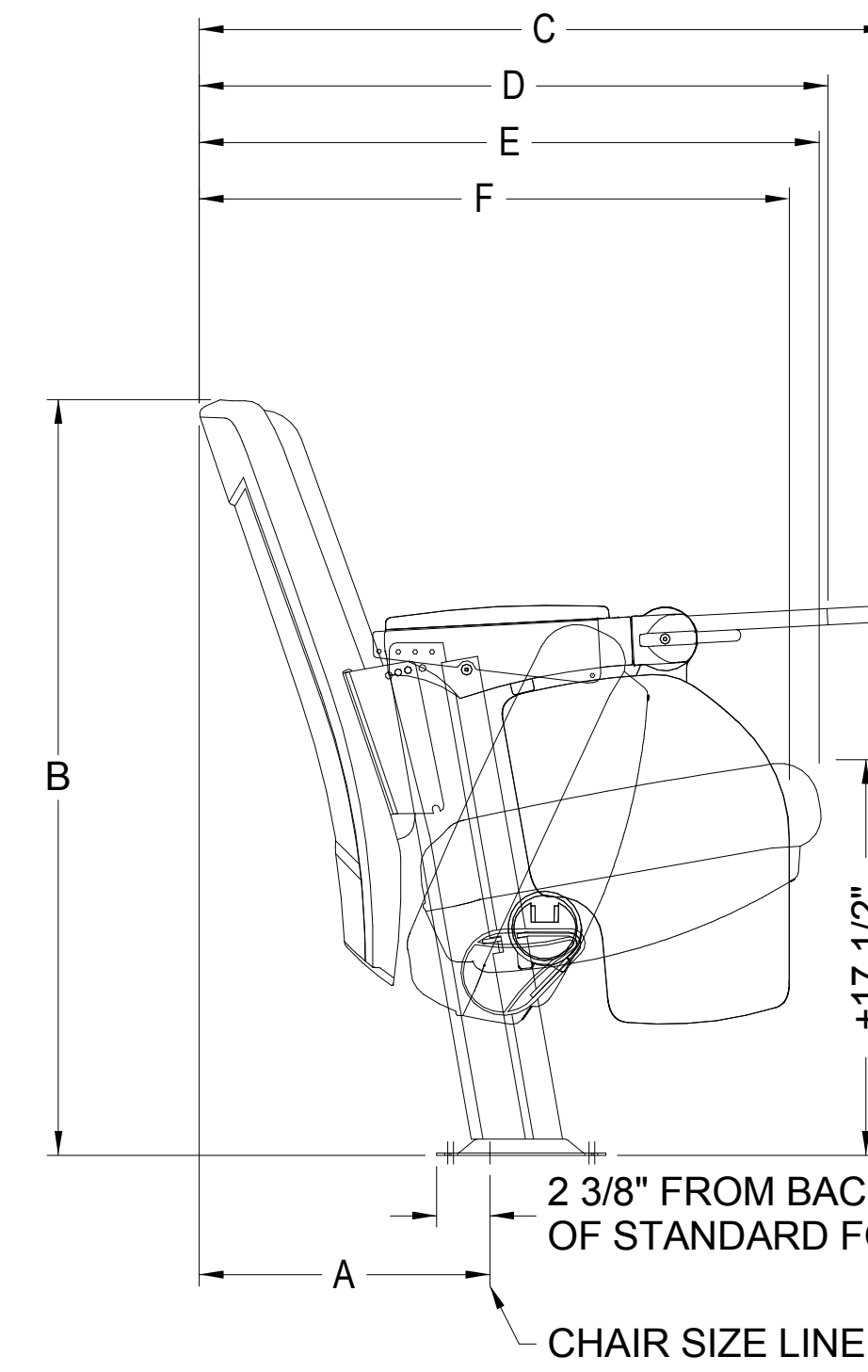
Key Plan

ENLARGED PLANS AND RAISED SLAB CONFIG.

A102

Drawn By _____ Author
 Checked By _____ Checker

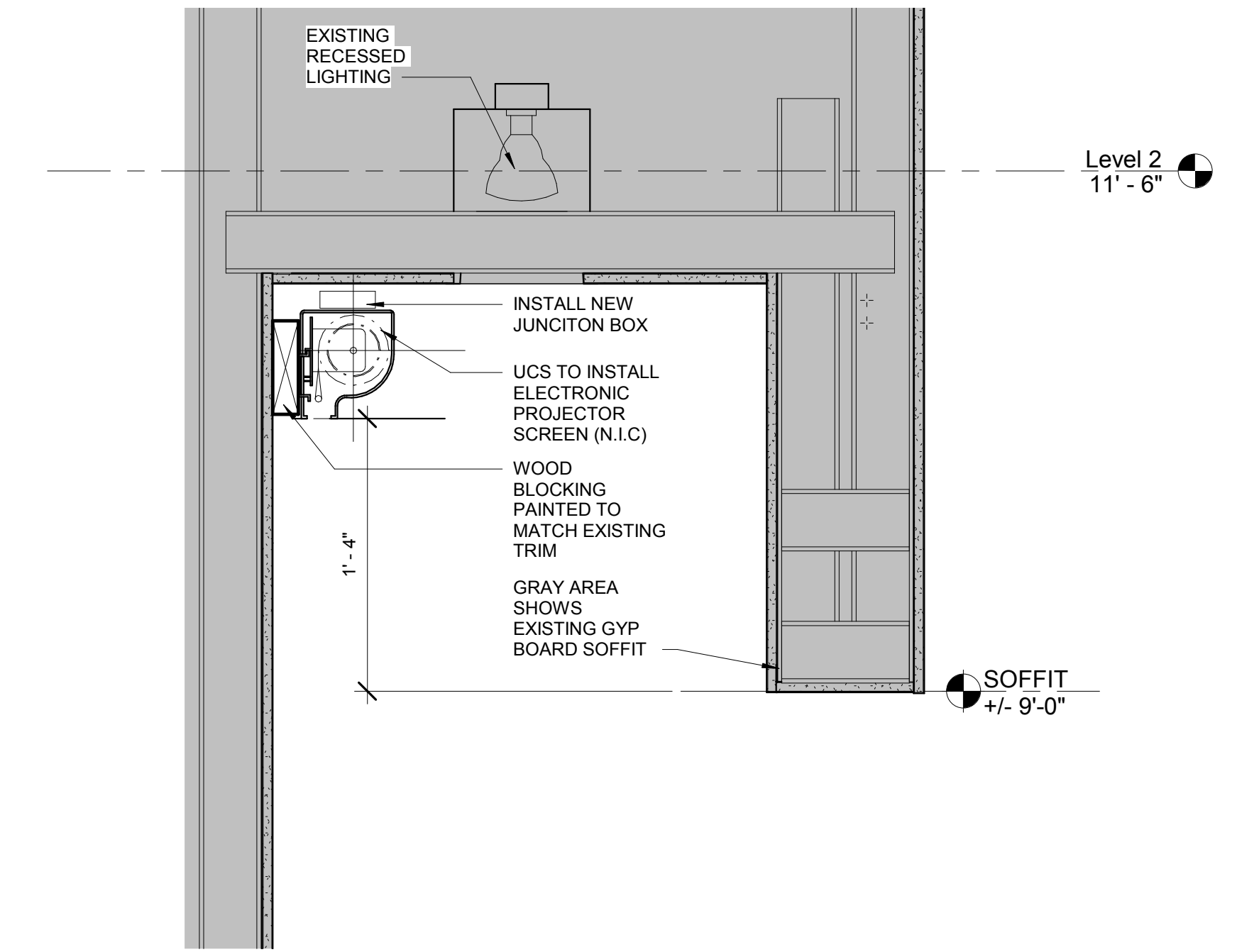
**CITATION 90B.12.00.4
FLOOR MOUNT - 3/4 FOLD SEAT
WITH 151 SQ. IN. TABLET ARM**



EXPLANATION OF DIMENSIONS
A = BACK PITCH ALLOWANCE FROM SIZE LINE
B = BACK HEIGHT
C = 151 SQ. IN. TABLET ARM AT BELLY ROOM POSITION
D = 151 SQ. IN. TABLET ARM AT NO BELLY ROOM POSITION
E = SEAT IN DOWN POSITION
F = 151 SQ. IN. TABLET ARM IN DOWN POSITION

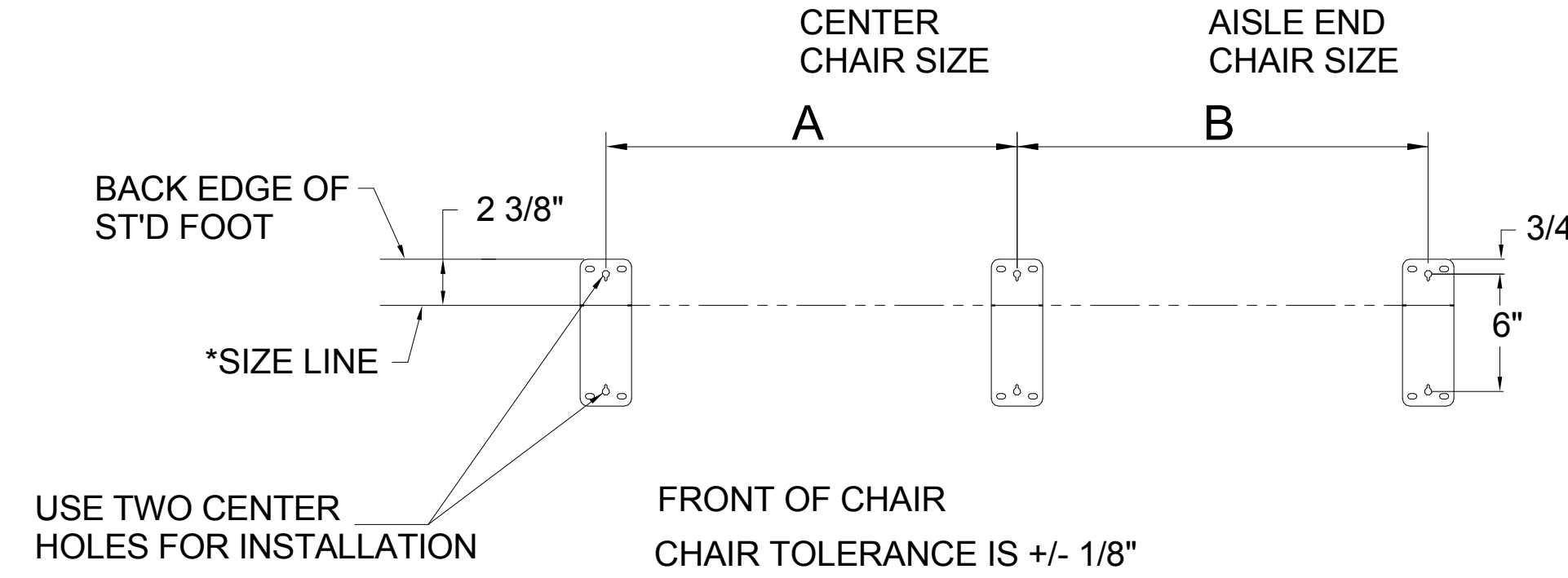
		BACK PITCHES AVAILABLE					
		9°	11°	13°	15°	19°	23°
A	9 11/16"	10 1/4"	11"	11 5/8"	12 7/8"	14 1/16"	
B	34 13/16"	34 5/8"	34 5/16"	34"	33 7/16"	32 11/16"	
C	27 5/16"	27 7/8"	28 5/8"	29 1/4"	30 1/2"	31 11/16"	
D	24 5/8"	25 3/16"	25 15/16"	26 9/16"	27 13/16"	29"	
E	24 1/4"	24 13/16"	25 9/16"	26 3/16"	27 7/16"	28 5/8"	
F	22 15/16"	23 1/2"	24 1/4"	24 7/8"	26 1/8"	27 5/16"	

1 Detail at AV Projection Screen
A103 1 1/2" = 1'-0"



4C DRILL TEMPLATE

CONCRETE FLOOR - FLOOR MOUNT - 813 FOOT
(4E END - ALL CHAIR SIZES)



CHAIR SIZE (FROM PRINT)	A	B
22"	22"	22"
23"	23"	23"
24"	24"	24"

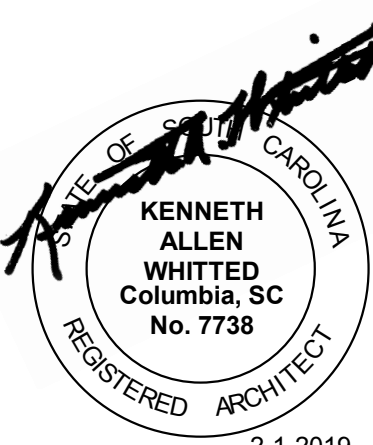
***NOTE TO INSTALLER:**

-A & B DIMENSIONS ARE FROM CENTER TO CENTER OF STANDARDS
-USE SIZE LINE WHEN LAYING OUT CHAIR SIZES

END STANDARD END ALLOWANCES:
Z FOR EACH END
STANDARD

2 Detail at Chair
A103 1 1/2" = 1'-0"

Seal



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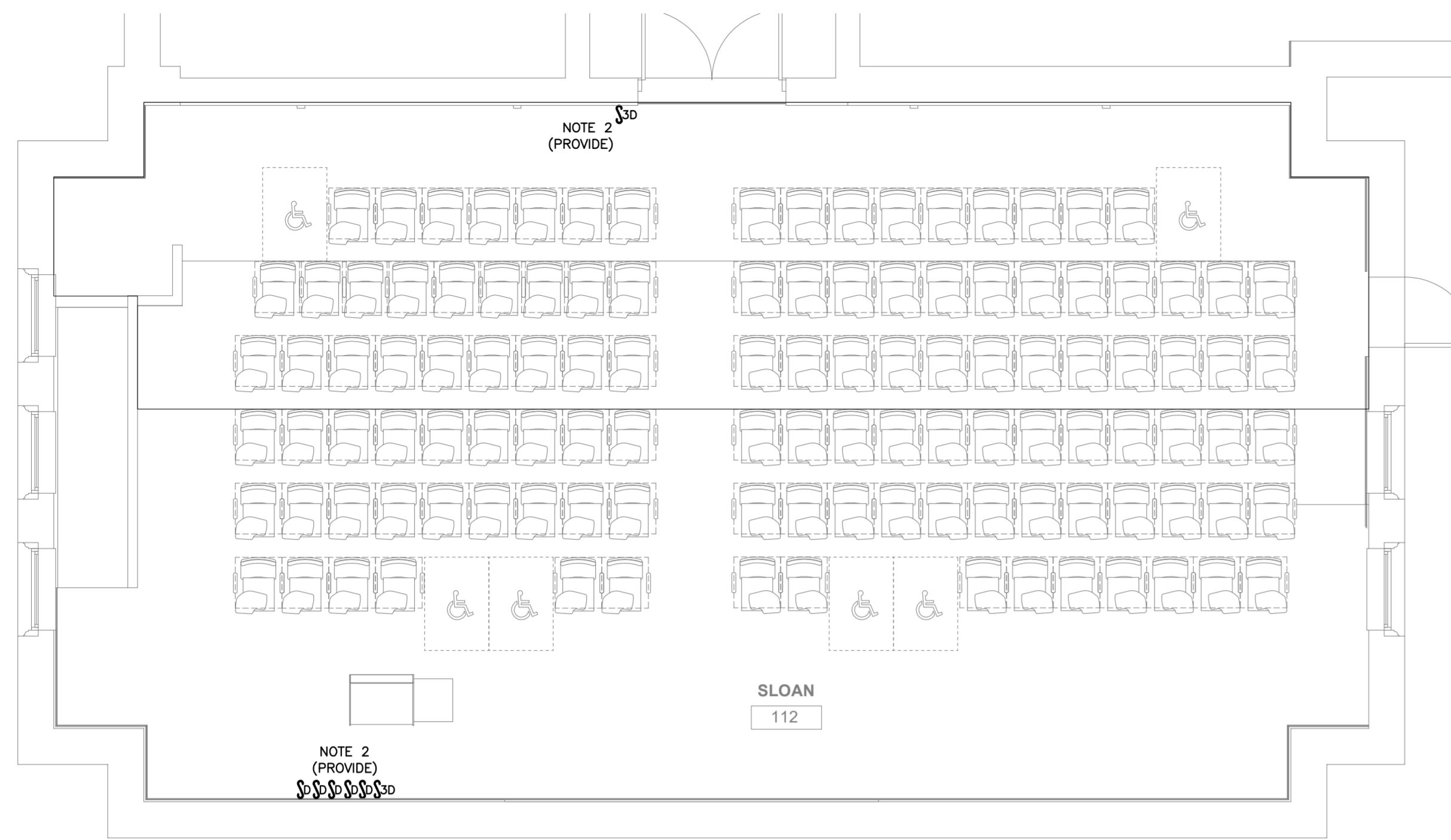
No.	Item	Date

Key Plan

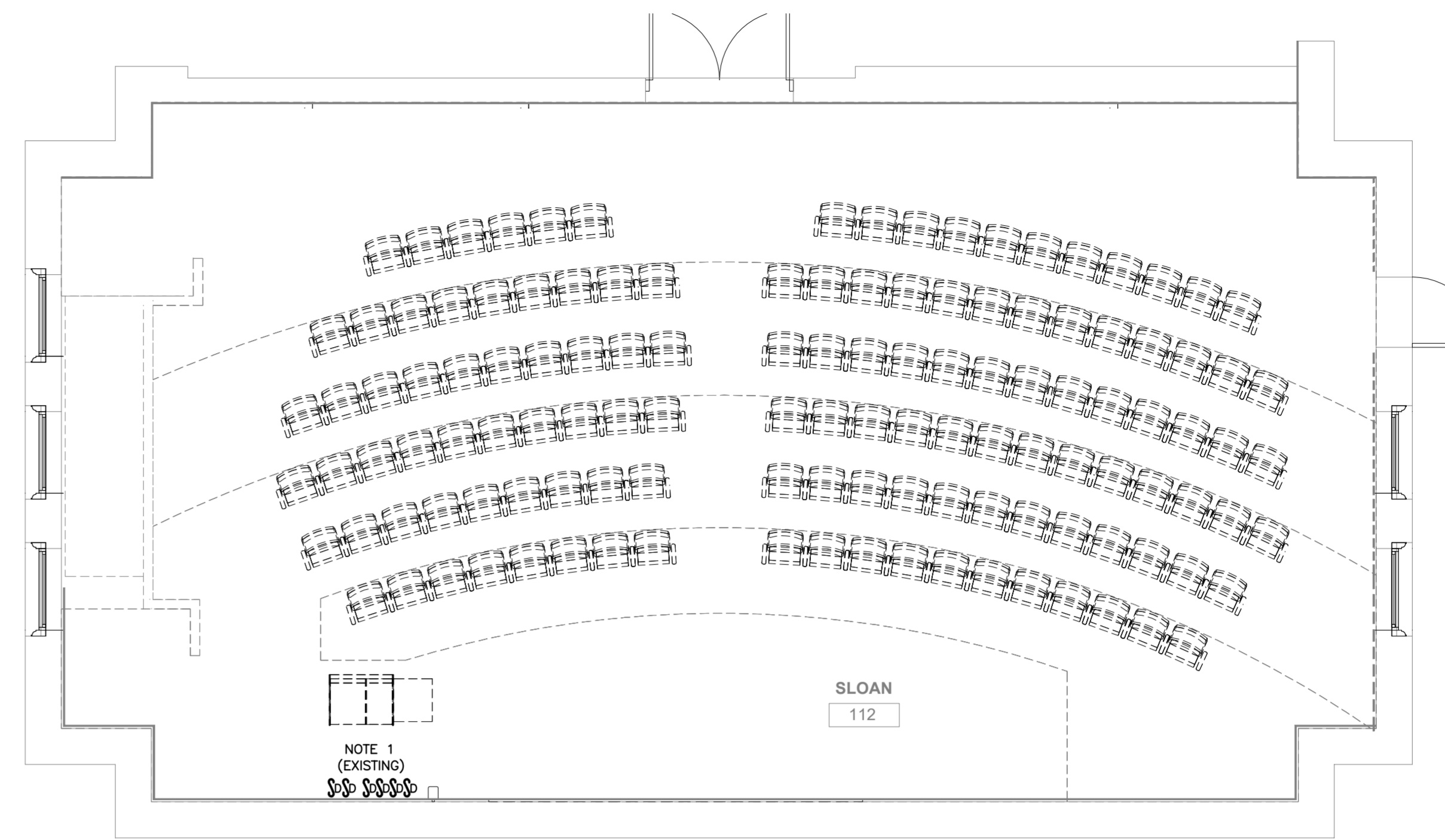
Sheet Title
ENLARGED DETAILS

A103

Drawn By
Checked By
Author
Checker



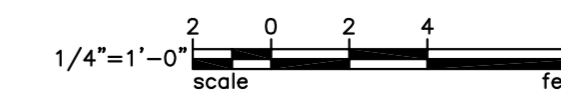
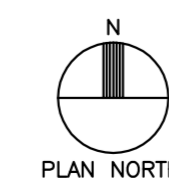
2 ELECTRICAL RENOVATION PLAN
E101 1/4" = 1'-0"



1 ELECTRICAL DEMOLITION PLAN
E101 1/4" = 1'-0"

ELECTRICAL NOTES

1. REMOVE EXISTING DIMMER SWITCHES FROM EXISTING BOXES AND MAINTAIN SWITCH LEG WIRING FOR DEVICE REPLACEMENT.
2. PROVIDE FIVE (5) DIMMER SWITCHES (LUTRON "M" SERIES OR APPROVED EQUAL) TO REPLACE ONE-FOR-ONE EXISTING DIMMER SWITCHES NEAR LECTERN POSITION. PROVIDE ONE SET OF 3-WAY DIMMER SWITCHES - ONE AT ENTRANCE TO SPACE AND ONE AT LECTERN POSITION IN SAME GANG AS THE FIVE MENTIONED ABOVE. THE FRONT 2'x4' FIXTURES SHALL BE CONTROLLED WITH THESE 3-WAY DIMMER SWITCHES. EXTEND OR PROVIDE NEW SWITCH LEGS AS REQUIRED. PROVIDE NEW PERMANENT LABELS ON DIMMERS - "FRONT", "REAR" AND "SOFFIT DOWNS."
3. ALL CONDUCTORS SHALL INSULATED COPPER, #12 IN SIZE AND INSTALL IN 3/4" CONDUIT. MC TYPE CABLE MAY BE USED WITH APPROVAL FROM ENGINEER, ONLY METALLIC BOXES SHALL BE USED.
4. SWITCHES SHALL BE MOUNTED WITH TOP OF BOX AT 48" AFF (ADA COMPLIANT). THE THREE DIMMER BANK AT RELOCATED DOORWAY SHALL BE AT SAME HEIGHT.
5. COORDINATE REPLACEMENT OF PROJECTION SCREEN WITH OWNER'S REPRESENTATIVE AND PROVIDE ANY ELECTRICAL DISCONNECTION AND RECONNECTION. CONTROL STATION SHALL REMAIN IN EXISTING LOCATION.



8521901



BELKA ENGINEERING ASSOCIATES, INC.

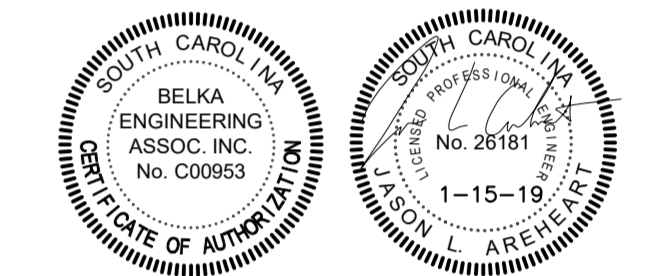
CONTACT: CLIFF STRINGFIELD
7 CLUSTERS COURT, SUITE 201 | COLUMBIA, SC | 29210
(803) 731-0650 p | (803) 731-2880 f
Cstringfield@BEA-Consulting.com

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CLASSROOM ENHANCEMENTS 2019 SLOAN 112

Issued For

* USC REVIEW SET

No.	Item	Date

Key Plan

Sheet Title

Electrical Plans

E101

Drawn By _____ CES
Checked By _____ CES