



**PHRC- Renovation Project 2nd Floor Suite
Columbia, South Carolina
University Project Number FP00000192**

January 18, 2019

ADDENDUM No. 2

This addendum forms a part of the Contract documents and modifies the original Bidding Documents and any previous Addenda as noted below. Acknowledge receipt of this Addendum in the space provided in the Bid Form. Failure to do so may subject Bidder to disqualification. Addendum, excluding full-size drawings, shall be printed in color.

MODIFICATIONS TO PREVIOUS ADDENDA:

1. None.

MODIFICATIONS TO DRAWINGS:

1. Reference Sheet A801, dated 12.20.18: DELETE Sheet and ADD in its place Sheet A801, dated 12.20.18, revised 01.18.19, attached.
 - a. Clarifications to DOOR SCHEDULE.
 - b. Clarifications to FRAME TYPES.
 - c. Clarifications to GENERAL INTERIOR FINISH NOTES.
2. ADD Sheet FP 101, dated 12.20.18, revised 1-18-19, attached.
 - a. Clarifications to Fire Protection.
3. Reference Sheet CVR, dated 12.20.18: DELETE Sheet and ADD in its place Sheet CVR, dated 12.20.18, revised 01.18.19, attached.
 - a. Clarifications to DRAWING LIST.

MODIFICATIONS TO PROJECT MANUAL:

1. None.

QUESTIONS:

1. Where is the scope of the sprinkler work indicated?
 - a. See MODIFICATIONS TO DRAWINGS, this Addendum.
2. Please establish a number of ceiling tiles to be replaced by when rearranging sprinkler heads, light fixtures and HVAC ceiling registers.
 - a. The General Contractor shall determine the number of ceiling tiles to be replaced by the scope of work required to complete the Project. For Bidding purposes only, contractors shall assume 50 ceiling tiles will need to be replaced (to match existing base building ceiling panels).
3. How many sprinkler heads will be required to move?

- a. The fire sprinkler contractor shall determine the number of sprinkler heads to be moved or added to properly cover the revised spaces per the plans.
4. What door hardware is preferred? Drawings show allowance number.
 - a. New hardware should match existing hardware. "Best" is the lock company required for the locksets in PHRC. The hardware finish shall match existing hardware. Submittals will be required for review and approval.
5. Frame type 2 on sheet A801 shows the frame height the same height as frame type 1 which is 8'-0" in height. The Door Schedule shows the doors for this frame as 84" in height. Should this frame have a transom over the doors? Please clarify.
 - a. See MODIFICATIONS TO DRAWINGS, this Addendum.
6. I could not find a questions deadline for this project listed/posted. Can you confirm what it is?
 - a. The deadline for general contractor questions is **Monday, January 21st by 5pm.**
7. Please provide the Contact Information for the existing Fire Suppression (FS) Vendor currently servicing this facility.
 - a. Contact: PASCO, Ben Ricard, 803-794-1602 (office), BRicard@pasco-inc.com
8. Please provide the Contact Information for the existing Fire Alarm (FA) Vendor currently servicing this facility.
 - a. Contact: JSC Systems Columbia, Brett Lemon, 803-724-1244 (office), b.lemon@jscsystems.net
9. In order for the Fire Suppression (FS) Vendor to get a Permit to relocation the sprinkler heads and/or add more to the new office areas, a fire suppression drawing will have to be created and submitted for approval. Are you planning to work with them to create this drawing or should that be a part of our cost from the FS vendor?
 - a. The Fire Suppression Contractor shall be responsible for preparing the shop drawing showing heads, etc. The Plumbing Engineer will review/approve the submitted shop drawing. Although not anticipated, should any issues arise regarding permitting; USC/A&E will work through the process with the Awarded General Contractor.
10. Are you certain that you would like the GC to price having a superintendent onsite 8 hours per day?
 - a. Reference Project Manual, AIA Document A201-2007 General Conditions of the Contract for Construction, ARTICLE 3 CONTRACTOR, Section 3.9 SUPERINTENDENT: "3.9.1 *The Contractor shall employ a competent superintendent, acceptable to the Owner, and necessary assistants who shall be in attendance at the Project site during performance of the Work.*"
11. Are door frames to be included in Alternate 2 painting scope of work?
 - a. Existing door frames are not anticipated to be re-painted as part of Alternate 2.
12. Paragraph 9.7 of the Instruction to Bidders state that unless provided otherwise in the bid documents, the State requires the contractor to provide builder's risk insurance. Does the contractor have to furnish builder's risk insurance for the project?

- a. Reference Project Manual, AIA Document A201-2007 General Conditions of the Contract for Construction, Article 11 INSURANCE AND BONDS, Section 11.3 PROPERTY INSURANCE.

OTHER:

1. Posting of Addendum Schedule: Reference Project Manual, AIA Document A201-2007 General Conditions of the Contract for Construction, Article 3 BIDDING DOCUMENTS, Section 3.4.3.

1. Prior Approvals

Providing compliance with contract documents, the following product is acceptable for bidding purposes:

Lighting Fixtures –

<u>Type</u>	<u>Manufacturer</u>	<u>Catalog Number</u>
A	Cooper Lighting	24CZ2-50-UNV-L835-CD1-U
B	Cooper Lighting	24CZ2-29HE-UNV-L835-CD1-U
BE	Cooper Lighting	24CZ2-29HE-277-ETRD-L835-CD1-U
X	Cooper Lighting	TPX61R
Lighting Controls	Eaton/Cooper	

END OF ADDEDNDUM NO. 2

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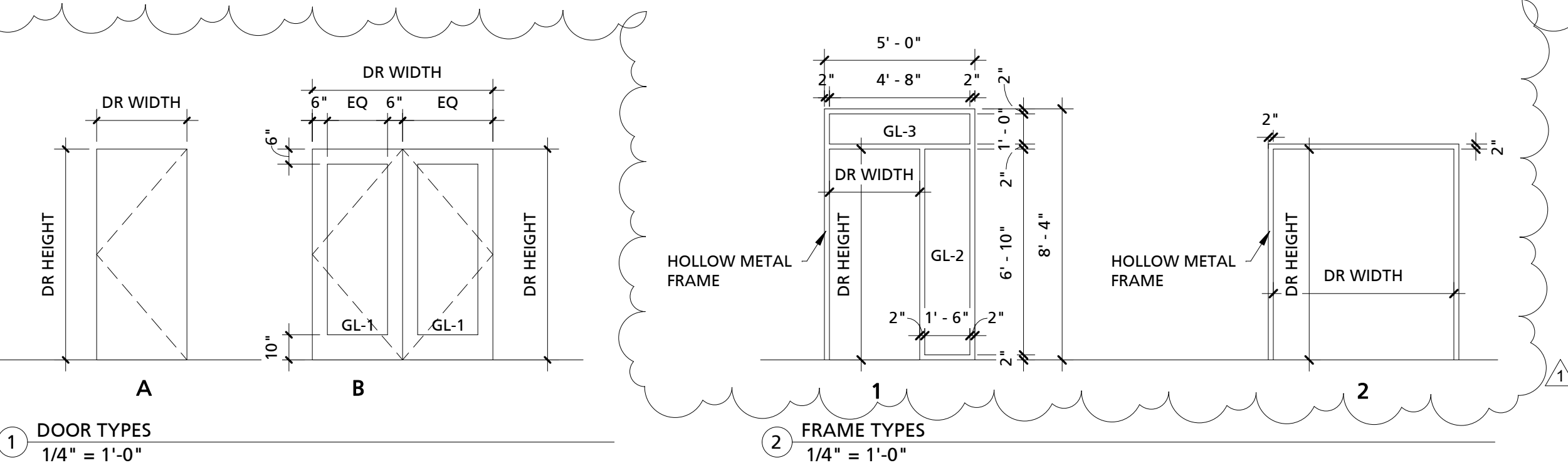
DESIGN

221 PICKENS STREET (29205)
POST OFFICE BOX 3875
COLUMBIA, SOUTH CAROLINA
29250
803.834.4048 p
803.834.4082 f
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NO.	NAME	ROOM FINISH SCHEDULE							COMMENTS
		FLOOR FINISH	BASE FINISH	CEILING FINISH	WALL FINISH (PLAN ORIENTATION)				
					NORTH	SOUTH	EAST	WEST	
212	RECEPTION	CPT 1	RB 1	XTR	P 3	XTR	P 1	XTR	
212A	WORK/FILE AREA	CPT 1	RB 1	XTR	-	P 1	P 1	P 1	
213	STORAGE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	
214	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
215	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
216A	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
216B	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
216C	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
216D	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
216E	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
216F	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
217	TELE/COMM	XTR	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
218	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
219	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
220	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
221	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
222	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
223	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
224	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
225	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
226	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
227	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
228	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
229	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
230	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
231	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
232	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
233	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
234	BREAK ROOM	XTR	XTR	XTR	XTR	XTR	XTR	P 1	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
235	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
236	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
237	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
238	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
239	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
240	STORAGE	XTR	XTR	XTR	XTR	XTR	XTR	XTR	
241	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
H207	CORRIDOR	CPT 1	RB 1	XTR	XTR	XTR	XTR	XTR	
H209	CORRIDOR	CPT 1	RB 1	XTR	XTR	XTR	XTR	XTR	
V203	VESTIBULE	CPT 1	RB 1	XTR	XTR	XTR	XTR	XTR	

NUMBER	SIZE		DOOR			FIRE RATING	FRAME			HARDWARE COMMENTS	COMMENTS
	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH		TYPE	MATERIAL	FINISH		
216B.1	3'-0"	7'-0"	A.36.84.00	WOOD	STAINED	0	1	HOLLOW METAL	P2	A,B	
216C.1	3'-0"	7'-0"	A.36.84.00	WOOD	STAINED	0	1	HOLLOW METAL	P2	A,B	
216D.1	3'-0"	7'-0"	A.36.84.00	WOOD	STAINED	0	1	HOLLOW METAL	P2	A,B	
216E.1	3'-0"	7'-0"	A.36.84.00	WOOD	STAINED	0	1	HOLLOW METAL	P2	A,B	
216F.1	3'-0"	7'-0"	A.36.84.00	WOOD	STAINED	0	1	HOLLOW METAL	P2	A,B	
223.1	3'-0"	7'-0"	A.36.84.00	WOOD	STAINED	0	1	HOLLOW METAL	P2	A,B	
241.1	3'-0"	7'-0"	A.36.84.00	WOOD	STAINED	0	1	HOLLOW METAL	P2	A,B	

DOOR SCHEDULE COMMENTS:
 A: SEE FINISH SCHEDULE FOR PAINT DESIGNATIONS
 B: STAINED WOOD FINISH SHALL BE SELECTED FROM MANUFACTURERS' FULL RANGE



GENERAL INTERIOR FINISH NOTES

- FOR FINISH LOCATIONS, REFER TO PLAN NORTH, SOUTH, EAST AND WEST FOR FINISH PLACEMENT.
- FIELD VERIFY ALL LOCATIONS FOR CASEWORK PLACEMENT, PRIOR TO FABRICATION. ENSURE ALL CLEARANCES ARE MET AND ACCOUNTED FOR. NOTIFY CONTRACTOR OF ANY DISCREPANCIES IMMEDIATELY.
- ALL INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723. FINISHES SHALL BE MEET CLASS A REQUIREMENTS, UNLESS NOTED OTHERWISE.
- INSTALL ALL MATERIALS PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- ALL APC TO BE INSTALLED PER SEISMIC REQUIREMENTS.
- PROVIDE PROPER MATERIAL TRANSITION STRIPS WHERE NEEDED.

GENERAL DOOR NOTES

- DOOR TYPE INDICATES DOOR TYPE, DOOR WIDTH (IN INCHES), DOOR HEIGHT (IN INCHES) AND RATING (IN MINUTES). FOR EXAMPLE, DOOR TYPE A.36.84.00 IS A DOOR TYPE "A", 36" IN WIDTH, 84" IN HEIGHT, WITH A 1/2" MINUTE FIRE RATING. ALL DOORS TO BE LOCATED 6" FROM ADJACENT PERPENDICULAR WALL TO INSIDE FACE OF FRAME, UNLESS NOTED OTHERWISE. THIS DOES NOT APPLY TO STOREFRONT ITEMS.
- HEAD, JAMB AND SILL DETAILS ARE NOT SHOWN. COORDINATE WITH MANUFACTURER'S REQUIREMENTS, STRUCTURAL DRAWINGS, AND PARTITION TYPES FOR EXACT PRODUCT SELECTED AND APPROVED FOR USE. GC SHALL BE RESPONSIBLE FOR COORDINATING DETAILS AS REQUIRED.
- DOOR HARDWARE ALLOWANCE: \$600 PER NEW LEAF, MATCH EXISTING HARDWARE IF APPLICABLE AND COORDINATE WITH OWNER. SEE SPECS.
- REFER TO THIS SHEET FOR FINISH DESIGNATIONS.

GENERAL STOREFRONT NOTES

- GL 1 - BASIS OF DESIGN**
 MFR: GUARDIAN INDUSTRIES CORP OR EQUAL
 PRODUCT: CLEAR LAMINATED GLASS
 NOTE: PROVIDE SAFETY GLAZING LABEL
- GL 2 - BASIS OF DESIGN**
 MFR: GUARDIAN INDUSTRIES CORP OR EQUAL
 PRODUCT: CLEAR TEMPERED GLASS
 THICKNESS: 1/4" MIN
 NOTE: PROVIDE SAFETY GLAZING LABEL
- GL 3 - BASIS OF DESIGN**
 MFR: GUARDIAN INDUSTRIES CORP OR EQUAL
 PRODUCT: CLEAR MONOLITHIC GLASS

INTERIOR FINISH SPECIFICATION LEGEND (BASIS OF DESIGN)

FLOORING:

CPT 1 - CARPET TILE
 MFR: MANNINGTON COMMERCIAL OR APPROVED EQUAL
 DESIGN: HUSK
 COLOR: TBD
 SIZE: 24 in x 24 in
 INSTALLATION: ASHLAR OR AS RECOMMENDED BY MANUFACTURER

CPT 2 - CARPET TILE
 MFR: MANNINGTON COMMERCIAL OR APPROVED EQUAL
 DESIGN: HUSK
 COLOR: TBD
 SIZE: 24 in x 24 in
 INSTALLATION: ASHLAR OR AS RECOMMENDED BY MANUFACTURER

PAINT:

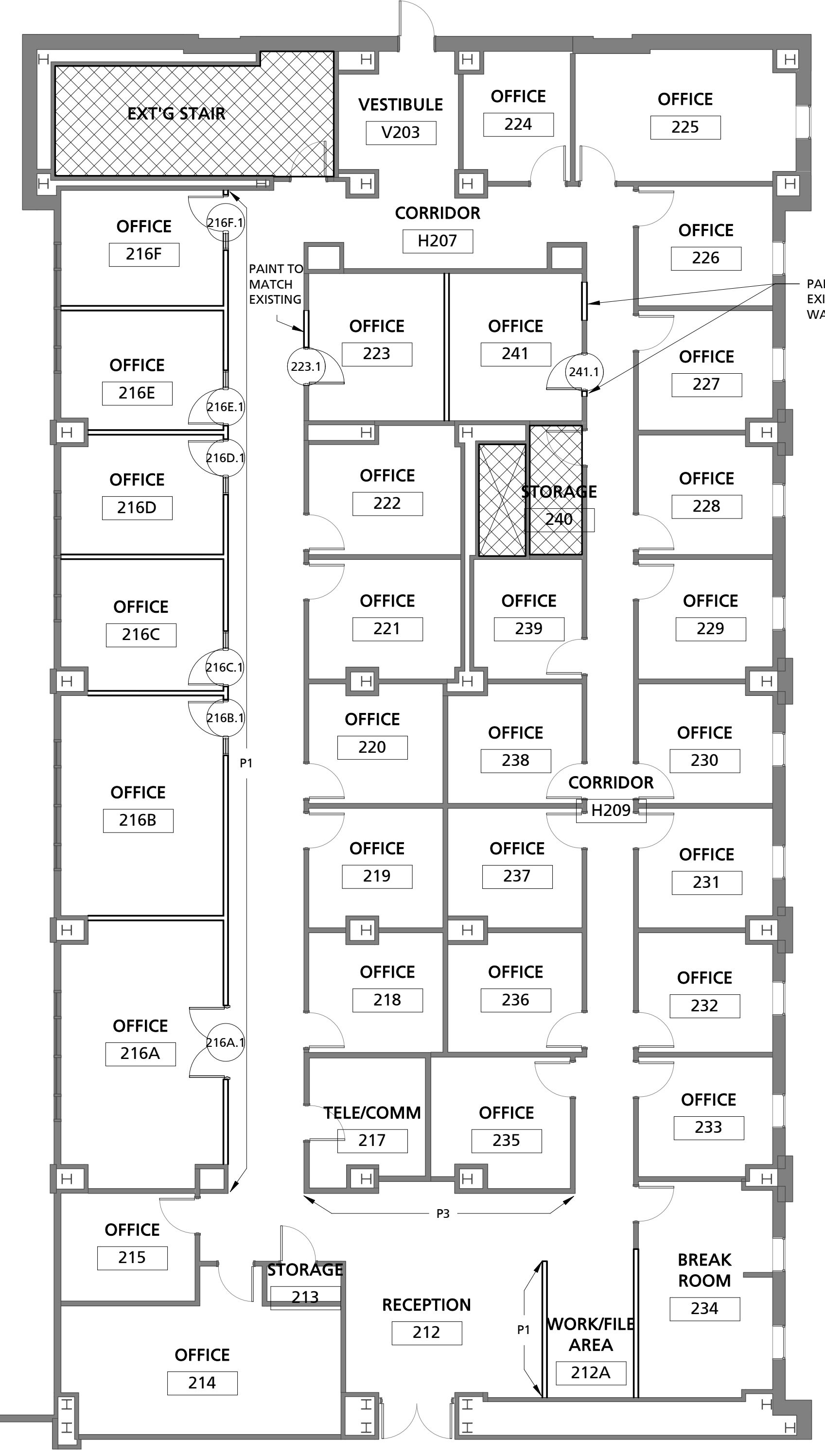
P 1 - (GENERAL FIELD COLOR)
 MFR: SHERWIN WILLIAMS OR APPROVED EQUAL
 COLOR: TBD
 FINISH: EG-SHEL

P 2 - (HOLLOW METAL FRAME PAINT)
 MFR: SHERWIN WILLIAMS OR APPROVED EQUAL
 COLOR: TBD
 FINISH: SEMI-GLOSS

P 3 - (ACCENT COLOR)
 MFR: SHERWIN WILLIAMS OR APPROVED EQUAL
 COLOR: TBD
 FINISH: EG-SHEL

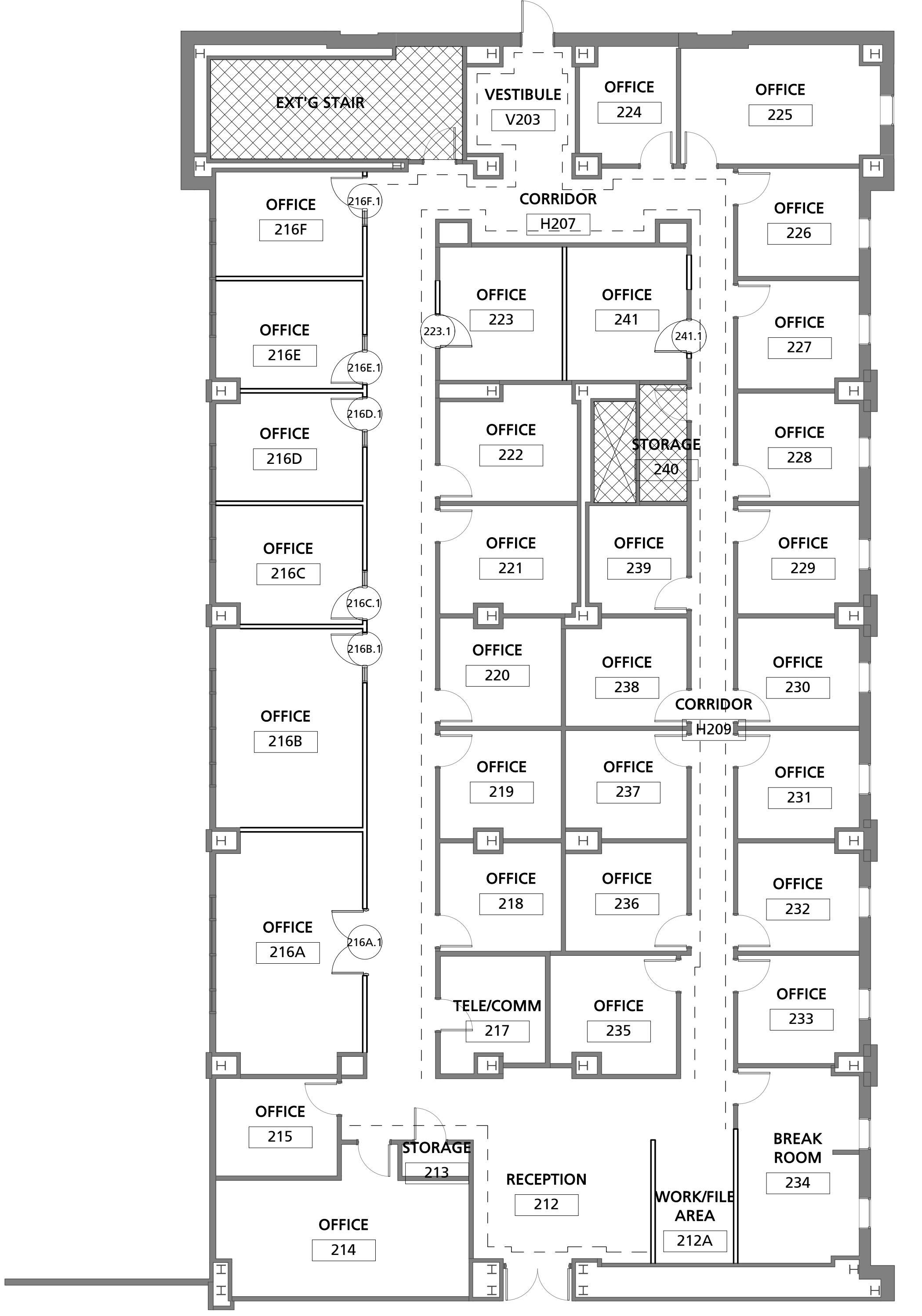
RB 1 - RUBBER COVE BASE
 MFR: JOHNSONITE OR APPROVED EQUAL
 STYLE: BASIS OF DESIGN, PERCEPTIONS WALL BASE CONTOUR
 COLOR: TBD
 SIZE: 4 1/4"

* ALL FINISHES TO MEET FLAME SPREAD REQUIREMENTS. INSTALL ALL MATERIALS PER MANUFACTURER RECOMMENDATIONS.
 * REFER TO PROJECT MANUAL FOR ADDITIONAL INFORMATION ON OTHER ACCEPTABLE MANUFACTURERS.



ALTERNATE #2:

PAINT ALL COMMON AREA WALLS NOT IN THE BASE BID INCLUDED IN AREAS H207, H209, V203 TO EXTENTS SHOWN ON THIS DRAWING. PAINT COLOR TO BE DETERMINED IF ALTERNATE IS ACCEPTED.



RELEASED FOR BIDDING - DECEMBER 20, 2018

UNIVERSITY OF SOUTH CAROLINA
PHRC- RENOVATION PROJECT 2ND FLOOR SUITE
921 ASSEMBLY STREET, COLUMBIA, SC 29208

University Project No: UP00000192

REVISIONS	No.	Description	Date
1	ADDENDUM 2	01.18.19	

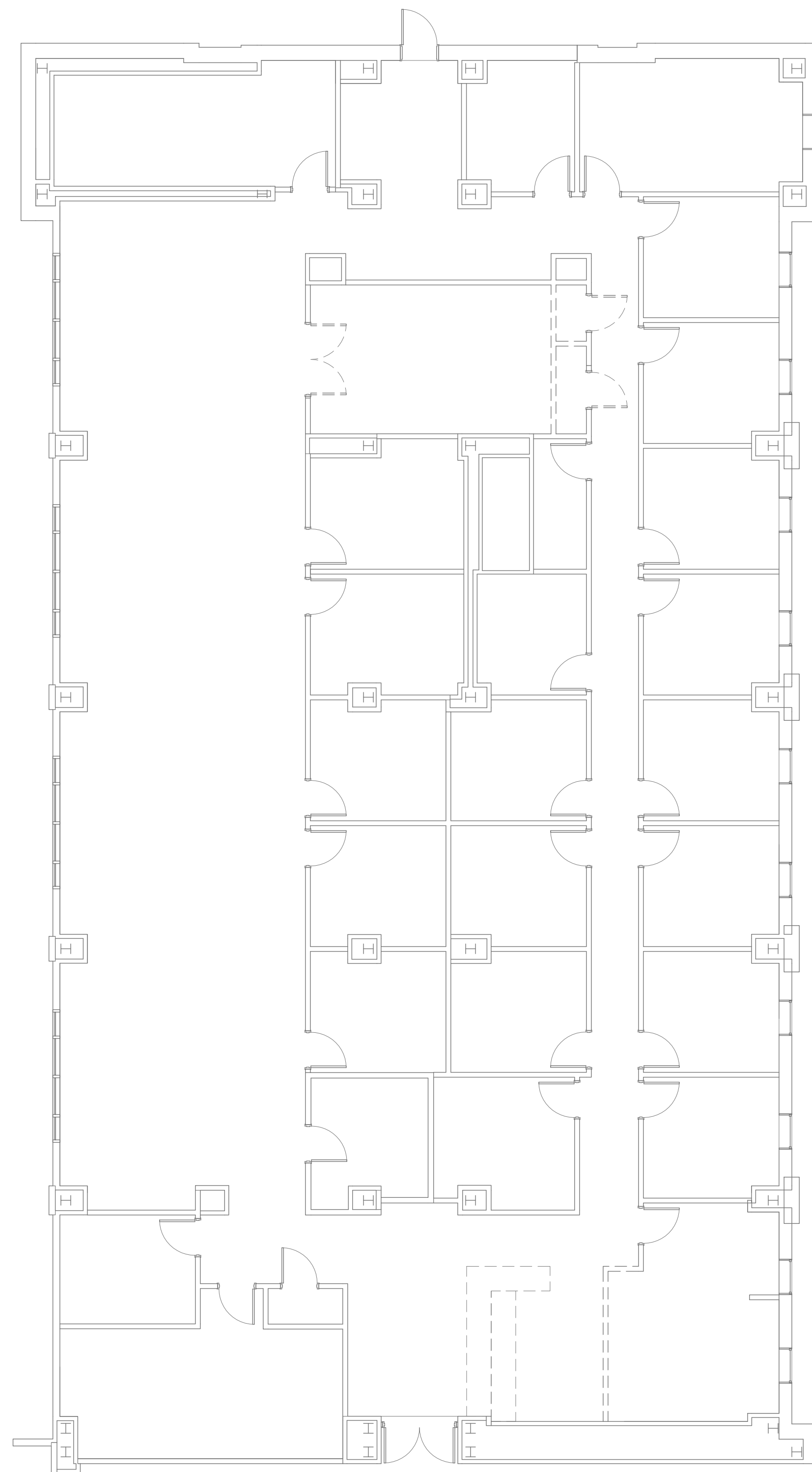
PROJECT NUMBER: U-17-039-1
 SHEET NUMBER: A801
 SHEET NAME: DOOR/FINISH SCHEDULES
 DATE: 12.20.18

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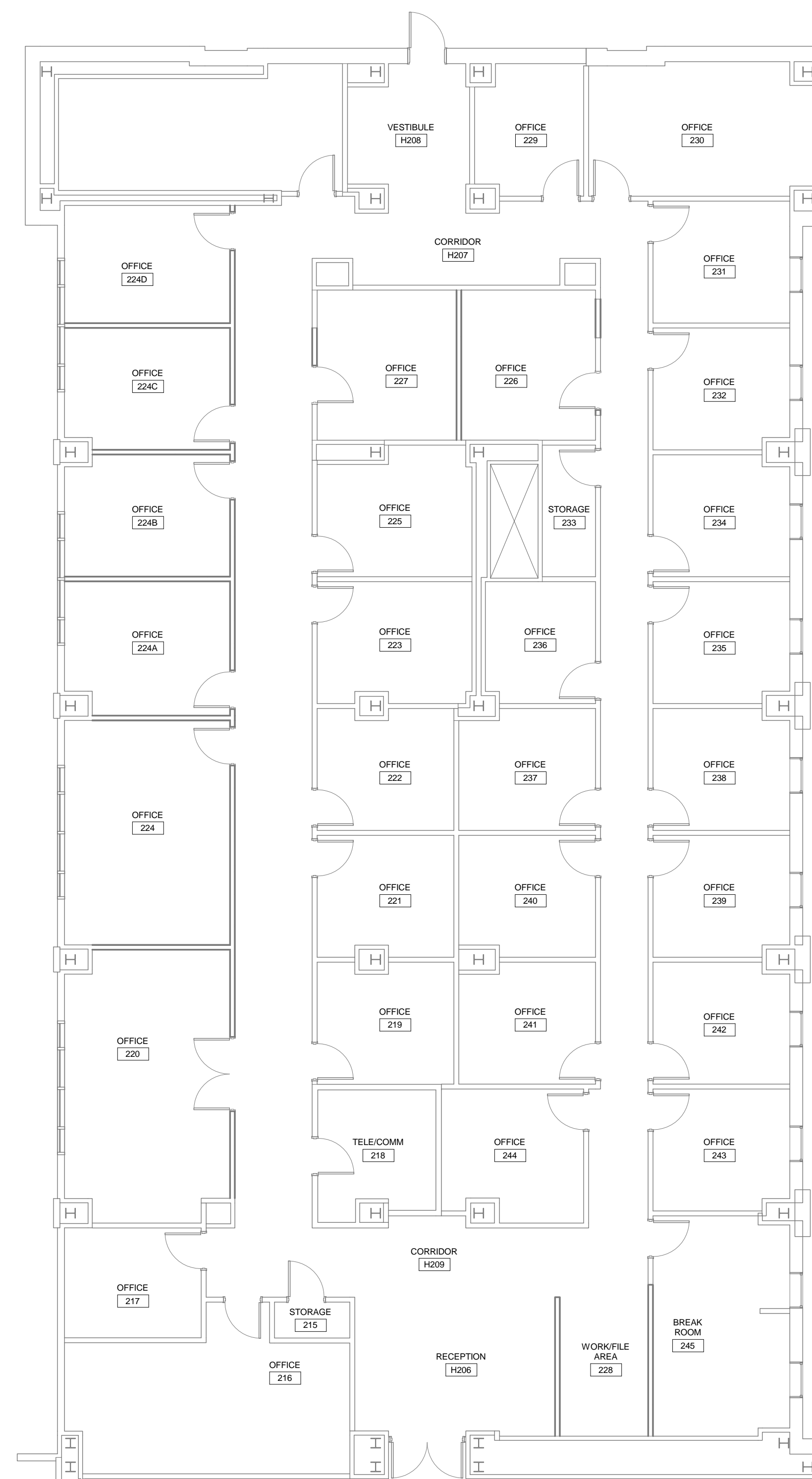
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GENERAL NOTES

1. SUBMIT DRAWINGS INDICATING EXACT LOCATION OF ALL SPRINKLER HEADS FOR ARCHITECT'S REVIEW AND BRING ALL FIELD CONFLICTS AND REQUIRED ADJUSTMENTS TO THE ARCHITECT'S ATTENTION FOR VERIFICATION OF FINAL LOCATION OF ALL SPRINKLER HEADS.
2. SPRINKLER DRAWINGS PROVIDED ARE TO ASSIST THE CONTRACTOR. SUCCESSFUL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF A COMPLETE SYSTEM PER THESE PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ALL APPLICABLE CODES. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMISSION TO THE OFFICE OF THE STATE FIRE MARSHAL IF REQUIRED.
3. THE DESIGN TEAM, TO INSURE COMPATIBILITY WITH THE BUILDING DESIGN INTENT, WILL CAREFULLY REVIEW SPRINKLER PLANS. CORRECTIONS WILL BE MADE BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
4. SPRINKLER HEADS SHALL BE LOCATED A MINIMUM OF 6" AWAY FROM CEILING GRID IN ALL ACOUSTICAL CEILING TILES.
5. SPRINKLER PIPING SHALL BE INSTALLED TO MEET SEISMIC REQUIREMENTS WITH LATERAL SWAY BRACING, LONGITUDINAL SWAY BRACING, AND FOUR-WAY BRACING AS REQUIRED BY NFPA AND THE INTERNATIONAL BUILDING CODES.
6. ALL PIPING 2-1/2" AND LARGER SHALL BE SCHEDULE 10 STEEL PIPING AND ALL PIPING SMALLER THAN 2-1/2" SHALL BE SCHEDULE 40 STEEL PIPING.
7. THIS CONTRACTOR SHALL NOT SUPPLY MORE THAN ONE SPRINKLER HEAD FROM ANY ONE EXISTING OUTLET.
8. ALL SPRINKLERS SHALL BE QUICK RESPONSE TYPE RECESSED PENDENT HEADS. DO NOT REUSE EXISTING.
9. COORDINATE WITH BUILDING OWNER FOR ANY REQUIRED INTERRUPTION TO BUILDING FIRE SPRINKLER SYSTEM. INTERRUPTION SHALL BE KEPT TO A MINIMUM AND THE CITY OF COLUMBIA FIRE DEPARTMENT SHALL BE NOTIFIED.



1 SECOND FLOOR DEMOLITION PLAN
 PP101 1/8" = 1'-0"



2 SECOND FLOOR RENOVATION PLAN
 PP101 1/8" = 1'-0"

PROJECT SCOPE:
 EXISTING SPACE IS COMPLETELY PROTECTED BY A NFPA 13 COMPLIANT SYSTEM. CONTRACTOR SHALL REVISE SYSTEM AS REQUIRED TO ACCOMMODATE NEW WALLS AND CEILING. SEE ARCHITECTURAL PLANS. COMPLETED SYSTEM SHALL BE IN COMPLIANCE WITH NFPA 13 - 2013 EDITION AND THE INTERNATIONAL FIRE CODE - 2015 EDITION. ALL SPACES WHERE WORK IS TO BE DONE ARE TO BE CONSIDERED LIGHT HAZARD.



1x1 DESIGN
 221 PICKENS STREET (29205)
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UNIVERSITY OF SOUTH CAROLINA
 USC PHRC EX SCI
 921 ASSEMBLY STREET, COLUMBIA, SC 29208

RELEASED FOR BIDDING - DECEMBER 20, 2018

CLIENT NAME	UNIVERSITY OF SOUTH CAROLINA
PROJECT NAME	USC PHRC EX SCI
PROJECT ADDRESS	921 ASSEMBLY STREET, COLUMBIA, SC 29208

REVISIONS	No.	Description	Date
	1	Addendum 2	1-18-19

Swygert & Associates
 CONSULTING ENGINEERS

DBA Swygert & Assoc., Ltd. Telephone: (803) 791-6300
 Post Office Box 11666 Columbia, S.C. 29211 Facsimile: (803) 791-8839
 mail@swygert-associates.com

PROJECT NUMBER
 SHEET NUMBER
FP101
 SHEET NAME
SECOND FLOOR PLANS
 DATE 12.20.18

UNIVERSITY OF SOUTH CAROLINA

PHRC- RENOVATION PROJECT 2ND FLOOR SUITE

UNIVERSITY PROJECT NUMBER: FP00000192

921 ASSEMBLY STREET, COLUMBIA SC 29208



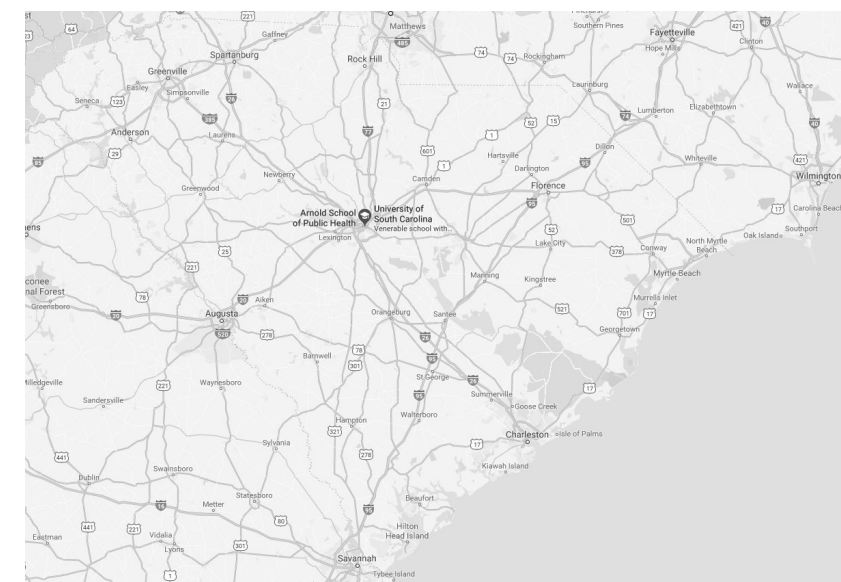
DESIGN

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29250
803.834.4048 p
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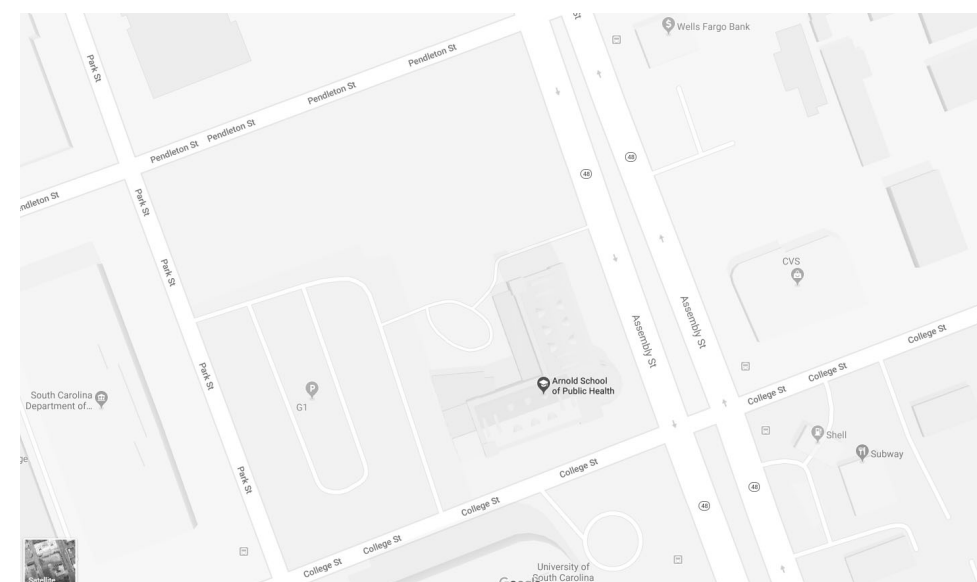
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DRAWING LIST

SHEET NO.	Sheet Name
GENERAL	
CVR	COVER
G101	BUILDING CODE SUMMARY
ARCHITECTURAL	
A101	FLOOR PLANS
A201	REFLECTED CEILING PLAN
A801	DOOR/FINISH SCHEDULES
MECHANICAL	
M101	SECOND FLOOR PLANS
FIRE PROTECTION	
FP101	SECOND FLOOR PLANS
ELECTRICAL	
E001	ELECTRICAL NOTES & LEGENDS
E101	ELECTRICAL DEMOLITION PLANS
E102	ELECTRICAL RENOVATION PLANS



STATE MAP



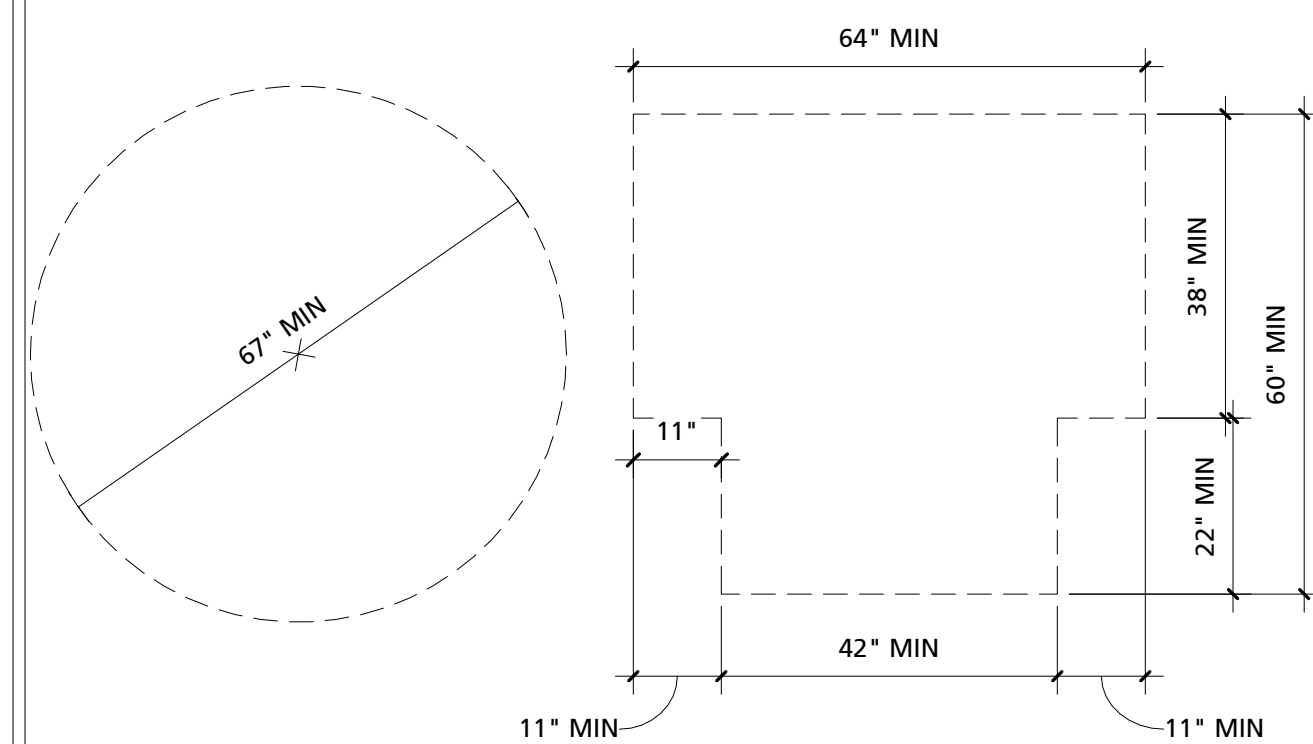
CITY MAP

NOTE: 3-D VIEW SHOWN FOR REPRESENTATION ONLY. REFER TO DRAWINGS AND DETAILS FOR ALL MATERIALS, DIMENSIONS, AND CONSTRUCTION DETAILS.

ANSI 2017

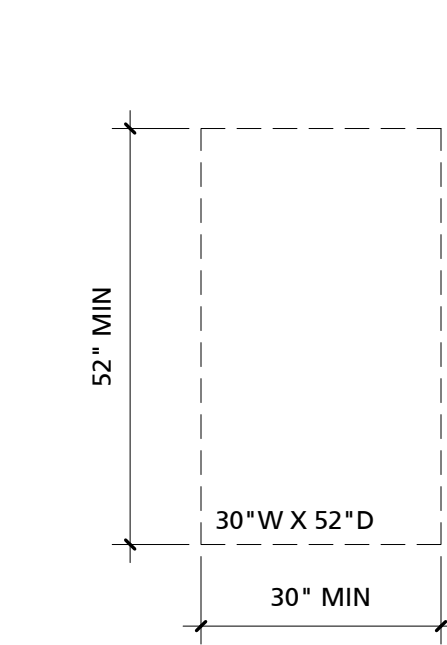
TURNING SPACE

REQUIRED WITHIN ALL ACCESSIBLE RESTROOMS



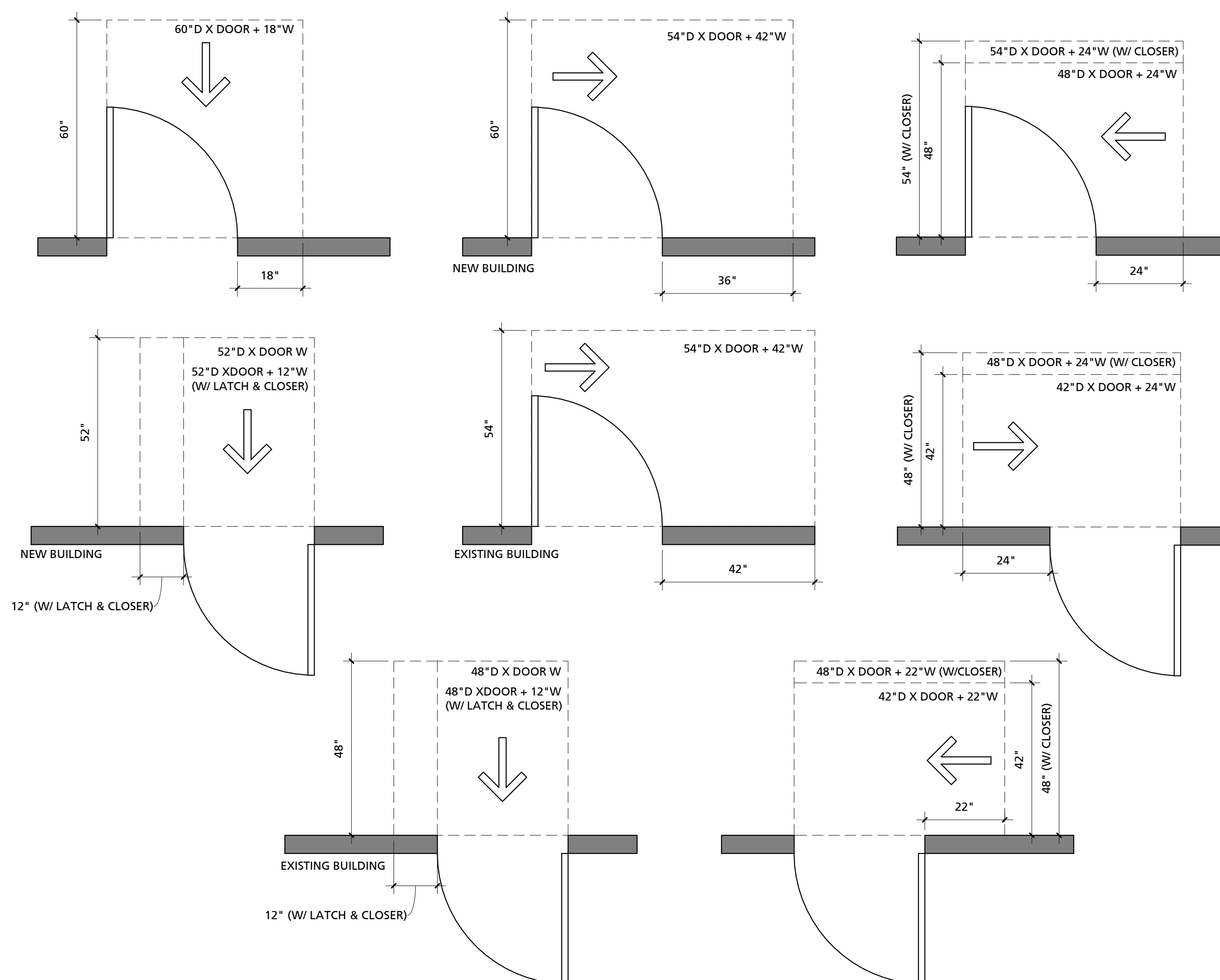
CLEAR FLOOR SPACE

REQUIRED AT ALL ACCESSIBLE LAVATORIES, TOILET COMPARTMENTS AND URINAL COMPARTMENTS



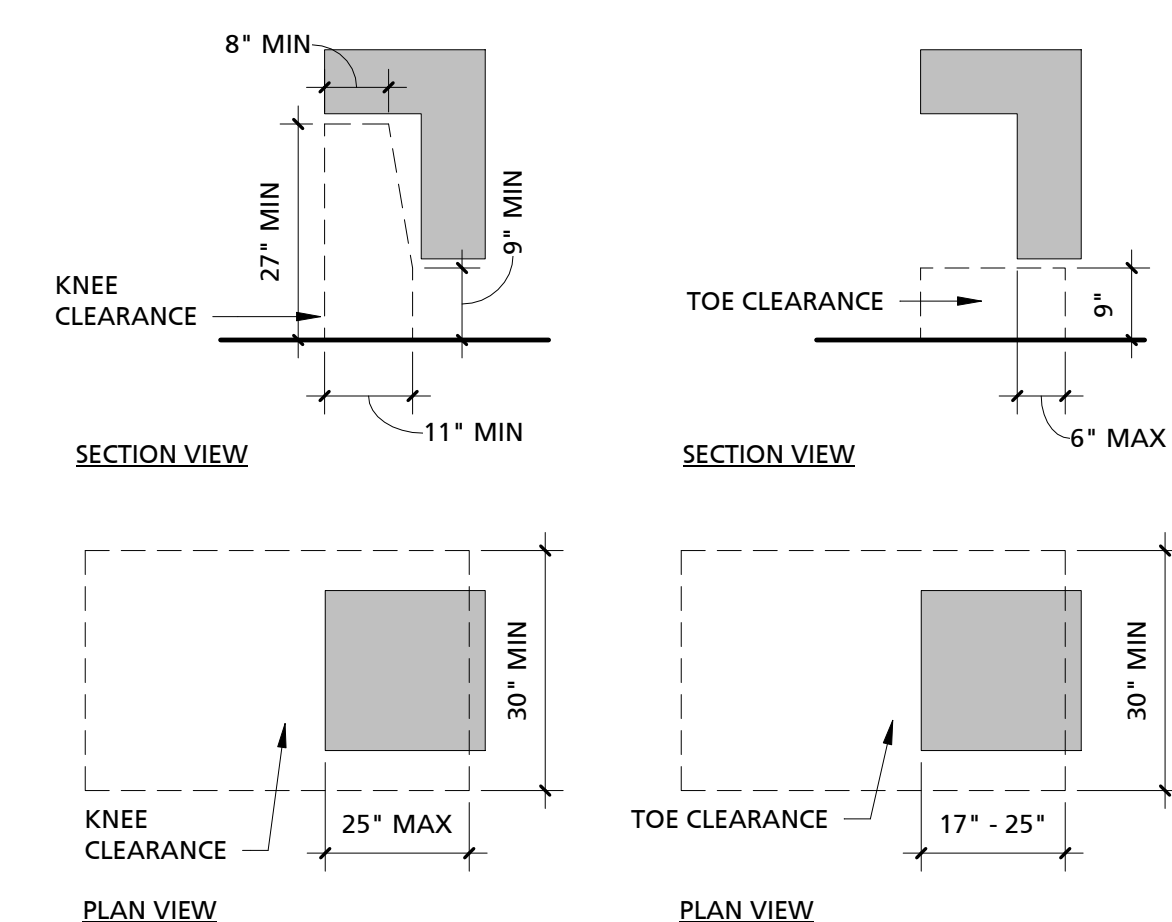
DOOR CLEARANCE

REQUIRED AT ALL ACCESSIBLE DOORS. ARROW INDICATES APPROACH.



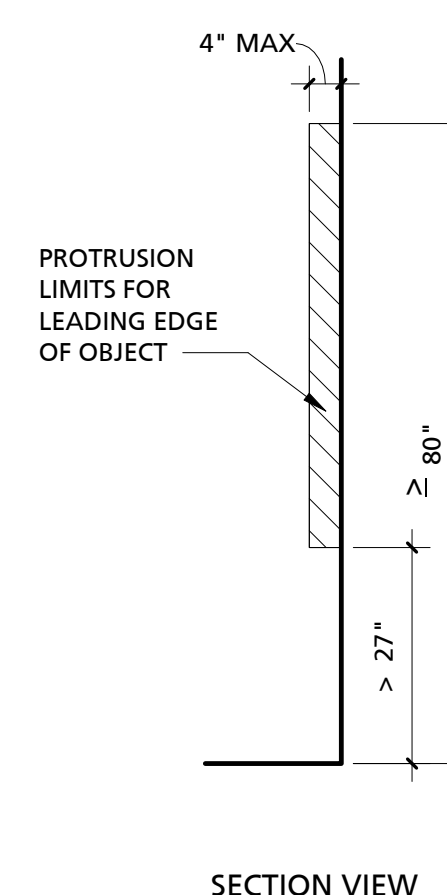
KNEE AND TOE CLEARANCE

REQUIRED AT ALL ACCESSIBLE LAVATORIES AND COUNTERS



PROTRUDING OBJECTS

REQUIRED FOR ALL WALL-MOUNTED OBJECTS LOCATED ALONG CIRCULATION PATHS



DRAWING CONVENTIONS

- View Name: 1/8" = 1'-0" VIEW INDICATOR
- LEVEL NAME: ELEVATION ELEVATION INDICATOR
- REVISION CLOUD
- IDENTITY SYMBOLS: COLUMN GRID (A), BLOWUP DETAIL (1/A101)
- REFERENCE SYMBOLS: WALL SECTION (1/A101), ELEVATION (A101), INTERIOR ELEVATION (1/A101/2), DIMENSION CONVENTIONS (2'-0" = 2'-0")
- LINE SYMBOLS: CENTER LINE, DEMOLISHED, HIDDEN, OVERHEAD, PROPERTY LINE, MATCH LINE, 1 HOUR RATING, EXIT SEPARATION

ABBREVIATIONS

AT	MECH	MECHANICAL
AFF	MFR	MANUFACTURER
APC	MIN	MINIMUM
ARCH	MP	METAL PANEL
BLDG	MTL	METAL COPING
CL	NIC	NOT IN CONTRACT
CO	NOM	NOMINAL
CJ	NTS	NOT TO SCALE
CPT	OC	CARPET ON CENTER
CTR	OPP	OPPOSITE
CONC	OPNG	OPENING
CMU	P	PAINT
DN	PEMB	PRE ENGINEERED METAL BUILDING
DS	PL	PLASTIC LAMINATE
DWG	PT	PORCELAIN TILE
EIFS	PTB	PORCELAIN TILE BASE
EJ	PTW	PRESSURE TREATED WOOD
EQIP	PWR	POWDER ROOM
EL	RB	RUBBER BASE
EL	REQD	REQUIRED
ELEV	RD	ROOF DRAIN
EQUIP	RMA	RESILIENT MOLDING ACCESSORIES
ES	SC	SEALED CONCRETE
EVC	SF	SQUARE FEET
EXP	SIM	SIMILAR
EXT	SPEC	SPECIFICATIONS
EXPT	SS	SOLID SURFACES
EXTG	ST	STUCCO
FD	STD	STANDARD
FE	STW	STAIN WOOD
FEC	STR	STRUCTURAL
GC	TOS	TOP OF STEEL
GL	TYP	TYPICAL
GR	UNO	UNLESS NOTED OTHERWISE
GT	VIF	VERIFY IN FIELD
GWB	VWC	VINYL WALLCOVERING
HM	WV	W/TH
HVAC	WWF	WELDED WIRE FABRIC
INSUL	XTR	EXISTING TO REMAIN
LVT		
MAX		

UNIVERSITY OF SOUTH CAROLINA

RELEASED FOR BIDDING - DECEMBER 20, 2018

PHRC- RENOVATION PROJECT 2ND FLOOR SUITE
921 ASSEMBLY STREET, COLUMBIA, SC 29208

REVISIONS	No.	Description	Date
1	ADDENDUM 2		01.18.19

PROJECT NUMBER: U-17-039-1
SHEET NAME: CVR
COVER
DATE: 12.20.18