UNIVERSITY OF SOUTH CAROLINA PHRC- RENOVATION PROJECT 2ND FLOOR SUITE UNIVERSITY PROJECT NUMBER: FP00000192 921 ASSEMBLY STREET, COLUMBIA SC 29208

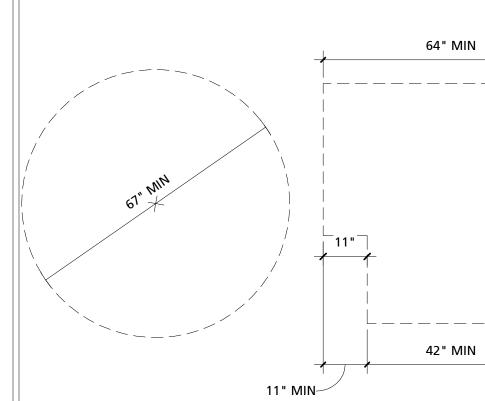
	DRAWING LIST								
SHEET NO.	HEET NO. Sheet Name								
GENERAL									
CVR	COVER								
G101	BUILDING CODE SUMMARY								
ARCHITECTURA	ÅL .								
A101	FLOOR PLANS								
A201	REFLECTED CEILING PLAN								
A801	DOOR/FINISH SCHEDULES								
MECHANICAL									
M101	SECOND FLOOR PLANS								
ELECTRICAL									
E001	ELECTRICAL NOTES & LEGENDS								
E101	ELECTRICAL DEMOLITION PLANS								
E102	ELECTRICAL RENOVATION PLANS								

STATE MAP

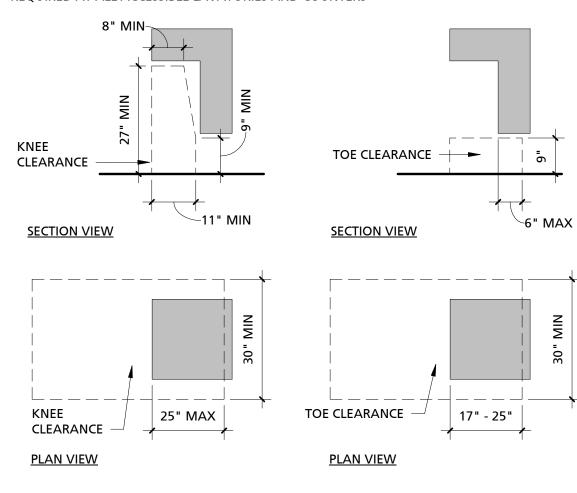
NOTE: 3-D VIEW SHOWN FOR REPRESENTATION ONLY. REFER TO DRAWINGS AND DETAILS FOR ALL MATERIALS, DIMENSIONS, AND CONSTRUCTION DETAILS.

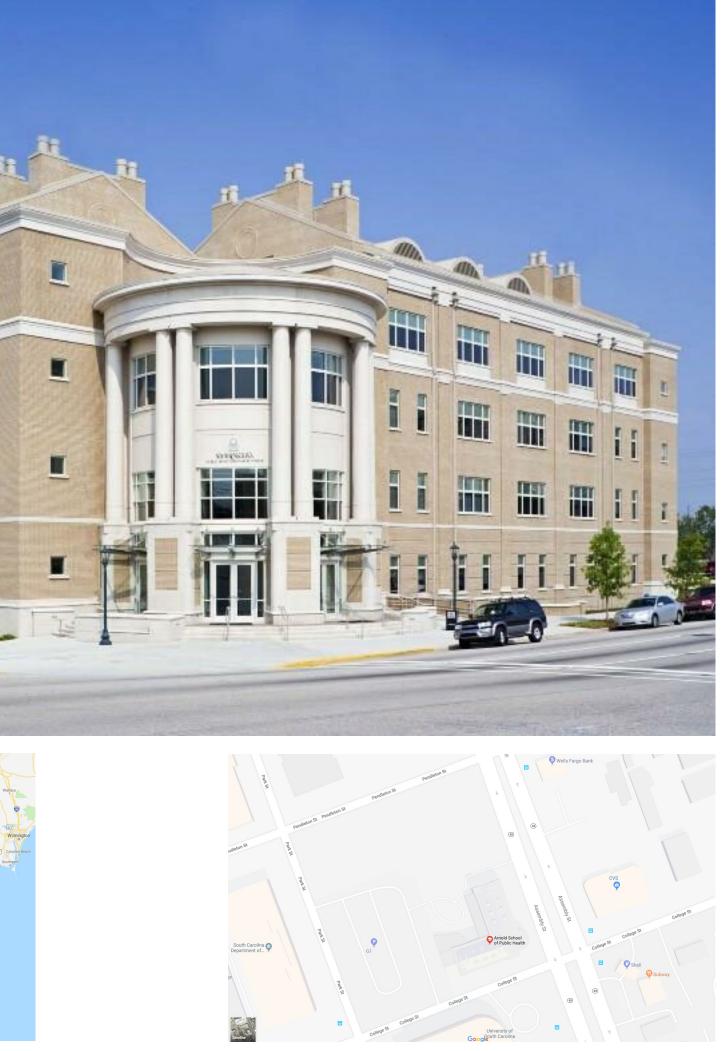
ANSI 2017

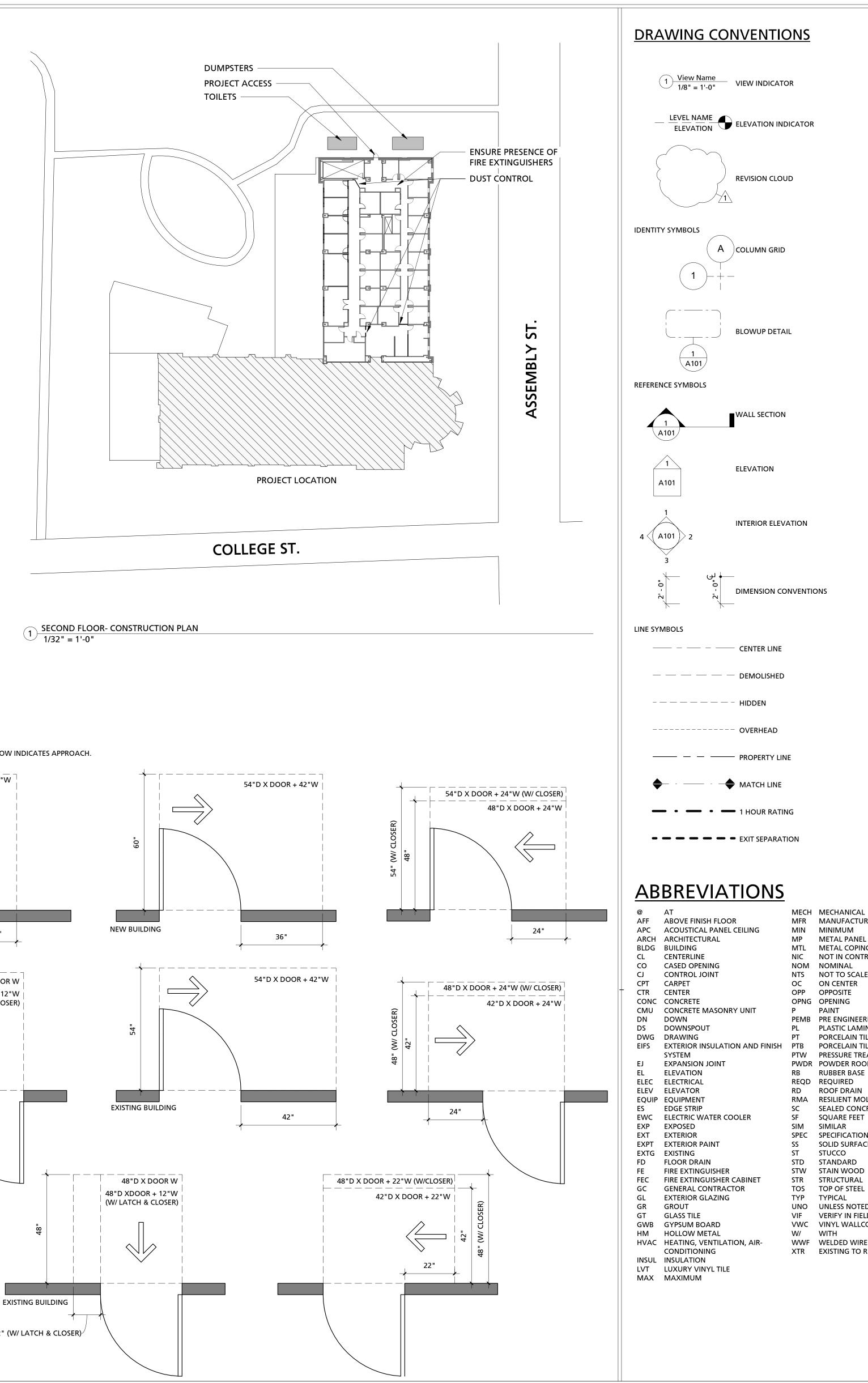
TURNING SPACE REQUIRED WITHIN ALL ACCESSIBLE RESTROOMS

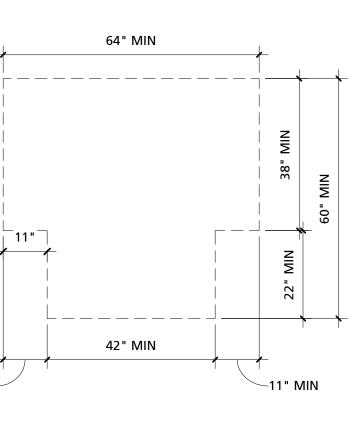


KNEE AND TOE CLEARANCE REQUIRED AT ALL ACCESSIBLE LAVATORIES AND COUNTERS





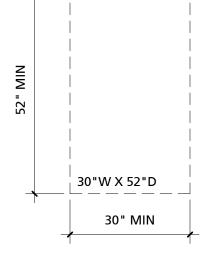


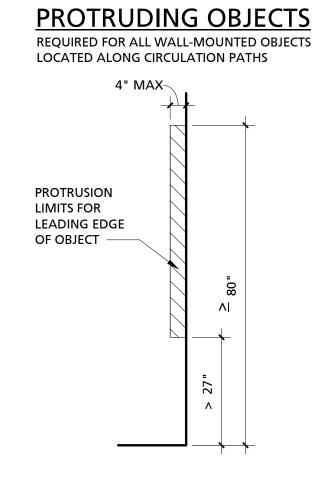


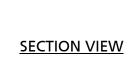
6" MAX

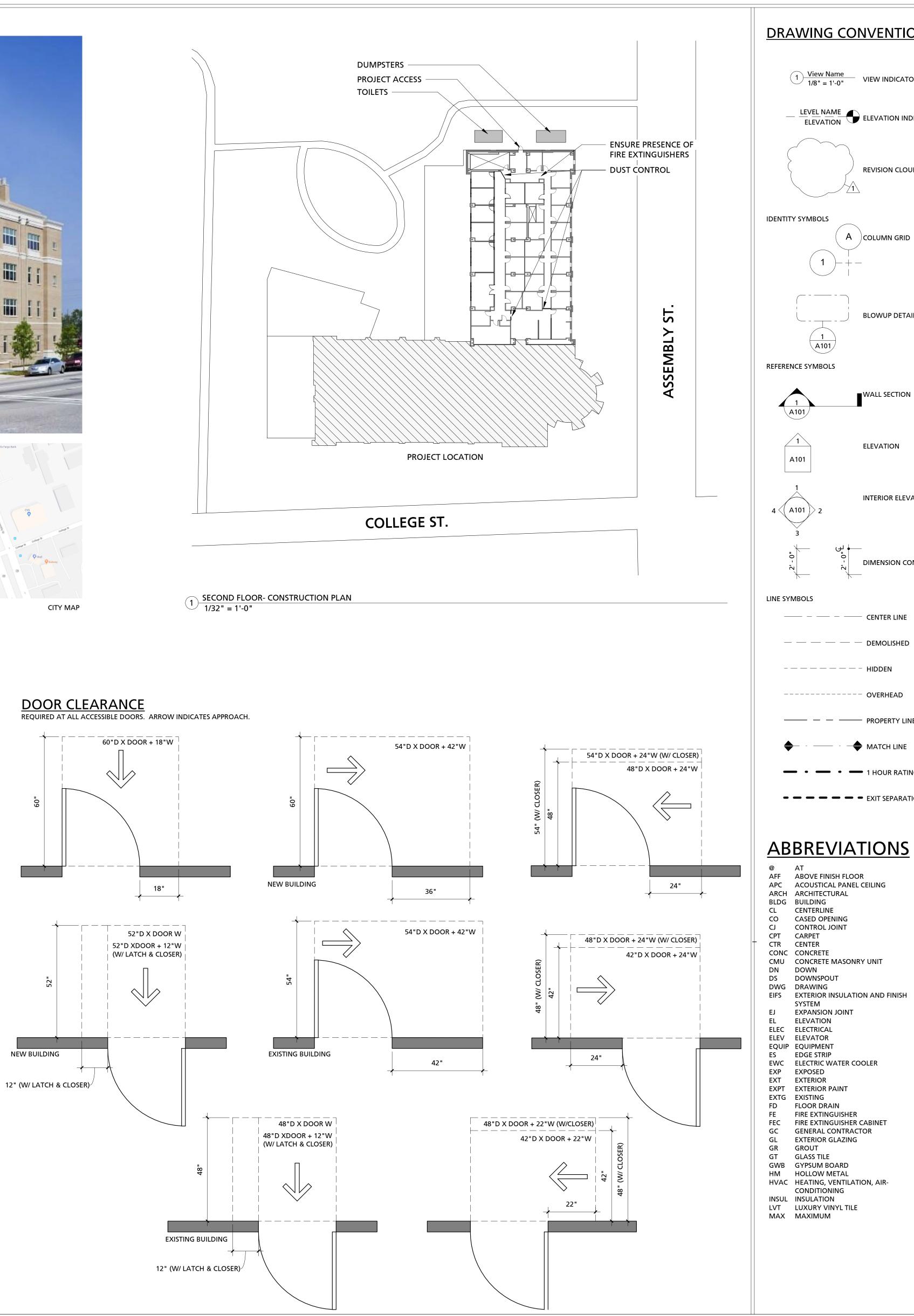


CLEAR FLOOR SPACE









UNO UNLESS NOTED OTHERWISE VIF VERIFY IN FIELD VWC VINYL WALLCOVERING WWF WELDED WIRE FABRIC XTR EXISTING TO REMAIN

SPEC SPECIFICATIONS SS SOLID SURFACES

RMA RESILIENT MOLDING ACCESSORIES SEALED CONCRETE SQUARE FEET

PTW PRESSURE TREATED WOOD PWDR POWDER ROOM RB RUBBER BASE

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COVER

DATE

PEMB PRE ENGINEERED METAL BUILDING PLASTIC LAMINATE PORCELAIN TILE PORCELAIN TILE BASE

MFR MANUFACTURER MTL METAL COPING NIC NOT IN CONTRACT NTS NOT TO SCALE

METAL PANEL

PAINT

MP

PT

4 AROLIN C ΗH SOU⁻ Ο . S UNIVER REVISIONS No. Description Date В \square В U-17-039-1 PROJECT NUMBER SHEET NUMBER **CVR** SHEET NAME

OST OFFICE BOX 5875 IBIA, SOUTH CAROLINA 29250 803.834.4048 p . 803.834.4082 f WWW.1X1DESIGN.COM 1X1 DESIGN INC. Columbia, SC ASHELEY SCOTT **ST JOHN**

12.20.18

BUILDING CODE SUMMARY

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF AN INTERIOR RENOVATION TO A SECOND FLOOR OFFICE SUITE IN AN EXISTING BUILDING. MODIFICATIONS TO THE LAYOUT, MECHANICAL AND ELECTRICAL SYSTEMS ARE ANTICIPATED. MINOR MODIFICATIONS TO THE FSS SYSTEM ARE ANTICIPATED.

PROJECT INFORMATION NAME OF PROJECT: ADDRESS: EXISTING OR PREVIOUS USE:	UNIVERISTY OF SOUTH CAROLINA 921 ASSEMBLY ST, COLUMBIA, SC, 2 OFFICE		TION PROJECT	2ND FLOOR SUITE			
PROPOSED USE: OWNER OR AUTH AGENT:	OFFICE OFFICE UNIVERSITY OF SOUTH CAROLINA						
CONTACT INFO: OWNED BY:	HATICE HIKMET, HIKMETH@MAILB	SOX.SC.EDU					
CODE ENFORCEMENT JURISDICTION:	STATE						
PROJECT DESIGN TEAM IN							
LEAD DESIGN PROFESSIONAL: DESIGNER	1X1 DESIGN, INC.FIRMCC	ONTACT		LICENSE #	P	HONE #	
ARCHITECTURAL:	1X1 DESIGN, INC. AS	SHELEY SCOTT	T. JOHN	7937	(8	803) 834-4	048
CIVIL: STRUCTURAL: MECHANICAL:	 SWYGERT & ASSOCIATES BIL	LL LIVINGSTON		 17994		803) 791-9	300
PLUMBING: FIRE-PROTECTION/STANDPIPE: ELECTRICAL:	 BELKA ENGINEERING JA	SON AREHEAR	r	 26181			880
FIRE ALARM: OTHER: GENERAL CONTRACTOR:	 						
CODE COMPLIANCE	2015 EDITION						
INTERNATIONAL MECHANICAL COD INTERNATIONAL PLUMBING CODE:	E: 2015 EDITION 2015 EDITION						
NATIONAL ELECTRICAL CODE:	2014 EDITION						
IECC: ICC/ANSI - 117.1:	2009 EDITION 2009 EDITION		CLIMATE ZO	DNE: 3			
AMERICAN WITH DISABILITIES ACT (
BASIC BUILDING DATA CONSTRUCTION TYPE: SPRINKLERS:	EXISTING YES						
SPRINKLERS: STANDPIPES:	EXISTING FSS SYSTEM						
	NO						
FLOOD HAZARD AREA: BUILDING HEIGHT:	NO EXISTING						
GROSS BUILDING AREA:							
FLOOR	EXISTING (SQ FT)	NEW (SQ	FT)		JB-TOTAL (S		
BUILDING TOTAL	EXISTING, UNCHANGED	0			KISTING, UN KISTING, UN		
ALLOWABLE AREA PRIMARY OCCUPANCY: SECONDARY OCCUPANCY: ACCESSORY OCCUPANCY: INCIDENTAL USE (TABLE 509): SPECIAL USE (CHAPTER 4):	BUSINESS (B) NONE NONE NONE						
SPECIAL PROVISIONS:	NONE						
MIXED OCCUPANCY: INCIDENTAL USE SEPARATION (509)	NO	SEPARAT	ION: NA	E>	CEPTION:		
THIS AREA IS NOT EXEMPT AS A NO		S)					
aı ty	ON-SEPARATED MIXED OCCUPANCY oplying the height and area limitation pe of construction, so determined s	ons for each of hall apply to th	the applicable e entire buildi	occupancies for th ng.	e entire bui	lding. The	e most restrictive
SE th	PARATED MIXED OCCUPANCY (508 bat the sum of the ratios for the actu ACTUAL REQUI	B.4) See chart by ual flo BY PR RED BY PR	DJECT SCOR acn use divid	alculation for each ded by the allowab	story, the a le floor area of OCCUPAN	area of the a for each NCY B	e occupancy shall be su use shall not exceed 1 - <u><</u> 1
	ALLON ALLON AREA	OFOCCUPANC	Y A	ALLOWABLE AREA			
BUILDING DESCRIPTION	(a) (b)	(c)		(d)	(e)		(f)
& USE	(A _t) TABLE 506.2 (NS) TABLE AREA NON-SPRINE SM BUILDING A	506.2 (I _f) S KLERED FACT AREA FOR	ECTION 506.3 FOR INCREASE OPEN SPACE	(S _a) BUILDING	(A _a) MAXI BUILDING OR UNLIM	AREA	ACTUAL BUILDING AREA
BUILDING, B (BUSINESS), MULTIFLOOR, SPRINKLERED		N/A		4			
		I _f = [F	/ P - 0.25]W/30		$A_a = [A_t +$	(NS x I)]	15
Building perimeter fronting public	c way or open space having 20ft mir Total building per				$A_a = [XX + A_a = [XXX]$)] x XX
	Total building per Minimum width of pub		X - 0.25]XX/30		A _a = XXX		
		Ι _f = XX	< colored and set of the set of t				
ALLOWABLE HEIGHT							
	ALLOWABLE (TABLE 504.3, 504.4, 5	06.2)	SHOWN ON	PLANS		CODE	REFERENCE
TYPE OF CONSTRUCTION BUILDING HEIGHT (FT)	EXISTING EXISTING EXISTING		EXISTING				
BUILDING HEIGHT (STORIES)			5				
DESIGN OCCUPANT LOAD FUNCTION OF SPACE	FLOOR AREA IN SQ FT PER OCCU		ECTED) PER PLANS		TOTAL O	CCUPANT	S PER FUNCTION
ACCESSORY STORAGE AREAS,	200 CDOSS	100-55	CE.		0.5		
BUSINESS AREAS	S 300 GROSS 100 GROSS	4509.2			0.6 45		
NON-OCCUPIED		2960.6					
2ND FLOOR (AFFECTED) TOTAL		7,639.7	4.55			: = 46 OC0	

EIRE PROTECTION REQUIRE	MENTS						
BUILDING ELEMENT	FIRE	RA	TING	DETAIL # AND	DESIGN # FOR	DESIGN # FOR	DESIGN # FOR
	SEPARATION DISTANCE (FEET)	REQ'D	PROVIDED WITH* REDUCTION	SHEET #	RATED ASSEMBLY	RATED PENETRATION	RATED JOIN75
STRUCTURAL FRAMES, INCLUDING COLUMNS, GIRDERS, TRUSSES							74
BEARING WALLS:						- /	
EXTERIOR						/	
NORTH	-				/	/	
EAST					/		
WEST					/		
SOUTH		-			-/		
INTERIOR							
NONBEARING WALLS AND PARTITIONS		-	 EQUIRED BY PRC 	- COPE			
EXTERIOR WALLS				ect s			
NORTH							
EAST			- 84.				
WEST			- IRED .				
SOUTH			eQUII.				
INTERIOR WALLS & PARTITIONS							
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS		- N ⁰					
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS							
SHAFT ENCLOSURES-EXIT	<u></u>						
SHAFT ENCLOSURES-OTHER							
OCCUPANCY SEPARATION							
PARTY/FIRE WALL SEPARATION							+
SMOKE BARRIER SEPARATION							
TENANT SEPARATION							
INCIDENTAL USE SEPARATION							-

FIRE PROTECTION REQUIREMENTS EMERGENCY LIGHTING YTR

EWERGENCY LIGHTING:	AIR
EXIT SIGNS:	XTR
FIRE ALARM:	XTR
SMOKE DETECTION SYSTEMS:	XTR

XTR

NOTE: PER 2015 INTERNATIONAL FIRE CODE SECTION 509.1, DOORS TO ROOMS CONTAINING FIRE PROTECTION EQUIPMENT, CONTROLS FOR AIR CONDITIONING SYSTEMS, SPRINKLER RISERS, AND VALVES, OR OTHER FIRE DETECTION, SUPPRESSION, OR CONTROL ELEMENTS, SHALL BE IDENTIFIED FOR THE USE OF THE FIRE DEPARTMENT WITH DURABLE MATERIALS, PERMANENTLY INSTALLED, AND READILY VISIBLE. INSTALL "SPRINKLER RISER ROOM" AND "FIRE ALARM CONTROL PANEL" SIGNS.

LIFE SAFETY PLAN REQUIREMENTS LIFE SAFETY PLAN SHEET #: G101

LIFE SAF

PANIC HARDWARE

AFETY PLAN SHEET #:	<u>G101</u>	
AFETY PLAN INFORM	ATION:	
INCLUDED	N/A FOR PROJE	CT
	\square	FIRE AND/OR SMOKE RATED WALL LOCATIONS (CHAPTER 7)
	\square	ASSUMED AND REAL PROPERTY LINES LOCATIONS
	\square	EXTERIOR WALL OPENING AREA WITH RESPECT TO DISTANCE TO ASSUMED PROPERTY LINES (705.8)
	\square	EXISTING STRUCTURES WITHIN 30' OF PROPOSED BUILDING
\square		OCCUPANCY TYPES FOR AREA AS IT RELATES TO OCCUPANT LOAD CALCULATIONS (TABLE 1004.1.2)
\square		OCCUPANT LOADS FOR EACH AREA
\square		EXIT ACCESS TRAVEL DISTANCES (1017)
\square		COMMON PATH OF TRAVEL DISTANCES (1006.2.1 & 1029.8)
	\square	DEAD END LENGTHS (1020.4)
\square		CLEAR EXIT WIDTH FOR EACH EXIT DOOR
\square		MAXIMUM OCCUPANT LOAD CAPACITY EACH EXIT DOOR CAN ACCOMMODATE BASED ON EGRESS WIDTH (1005.1)
\square		ACTUAL OCCUPANT LOAD FOR EACH EXIT DOOR
		SEPARATE SCHEMATIC PLAN INDICATING WHERE FIRE RATED FLOOR/CEILING AND/OR ROOF STRUCTURE IS PROVIDED FOR PURPOSES OF OCCUPANCY SEPARATION
\square		LOCATION OF DOORS WITH PANIC HARDWARE (1010.1.10)
	\square	LOCATION OF DOORS WITH DELAYED EGRESS LOCKS AND AMOUNT OF DELAY (1010.1.10)
	\square	LOCATION OF DOORS WITH ELECTROMAGNETIC EGRESS LOCKS (1010.1.9.7)
\square		LOCATION OF DOORS EQUIPPED WITH HOLD-OPEN DEVICES
	\square	LOCATION OF EMERGENCY ESCAPE WINDOWS (1030)
	\square	THE SQUARE FOOTAGE OF EACH FIRE AREA (901.7, 903)
	\square	THE SQUARE FOOTAGE OF EACH SMOKE COMPARTMENT (407.5)

NOTE ANY CODE EXCEPTIONS OR TABLE NOTES THAT MAY HAVE BEEN UTILIZED REGARDING THE ITEMS ABOVE:

EXIT REQUIREMENTS - 2ND FLOOR (AFFECTED)

FLOOR, ROOM OR SPACE		IBER OF EXITS ²	TRAVEL DISTANCE	1	ARRANGEMENTS MEANS OF EGRESS (SECTION 1007.1.1) ^{1,3}	
	REQ'D	SHOWN ON PLANS	ALLOWABLE TRAVEL DISTANCE (TABLE 1017.1)	ACTUAL TRAVEL DISTANCE SHOWN ON PLANS	REQUIRED DISTANCE BETWEEN EXIT DOORS	ACTUAL DISTANCE SHOWN ON PLANS
2ND FLOOR (AFFECTED)	2	3	300'-0"	82'-3"	44'-4"	116'-0"

¹ Corridor dead ends (section 1020.4)

² Single exits (from spaces - table 1006.2.1; from story - tables 1006.3.1 and 1006.3.2(2))

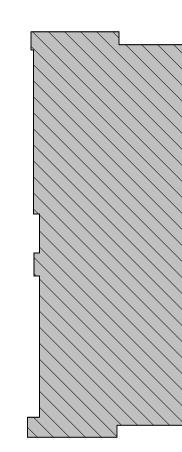
³ Common path of travel (table 1006.2.1)

EXIT WIDTH - 2ND FLOOR (AFFECTED)

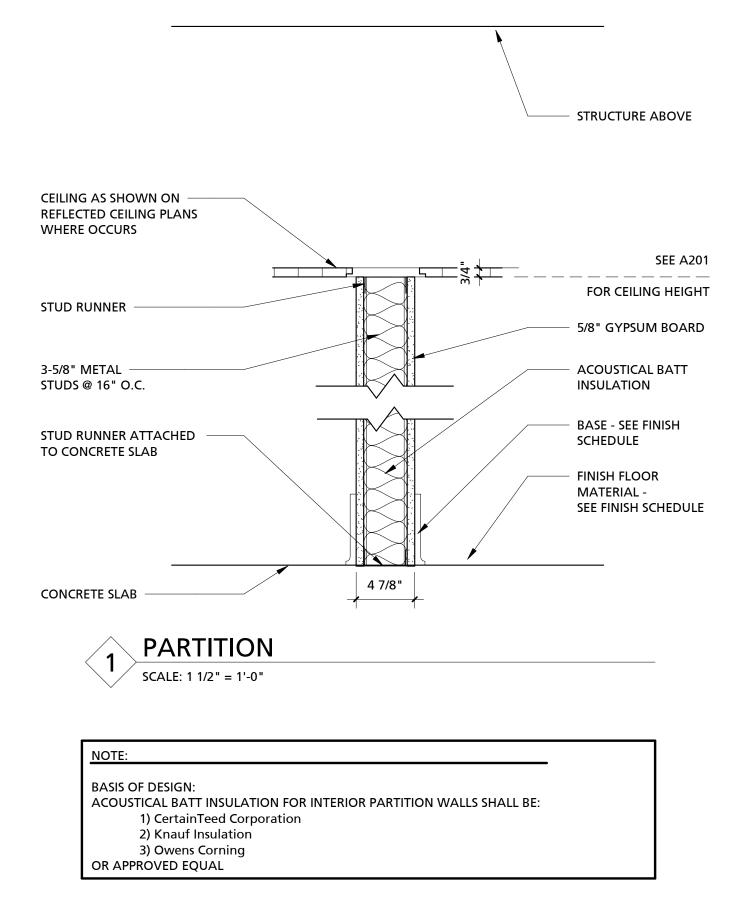
USE GROUP OR SPACE DESIGNATION	OCCUPANT LOAD BASED ON 1004.1.2	EGRESS WIDTH PER OCCUPANT (SECTION 1005)	REQUIRED WIDTH		ACTUAL EXIT WIDTH SHOWN ON PLANS	
			STAIRS	OTHER ELEMENTS	STAIRS	OTHER ELEMENTS
2ND FLOOR (AFFECTED)	46	0.2"/0.15"	NA	6.9"	34"	72"

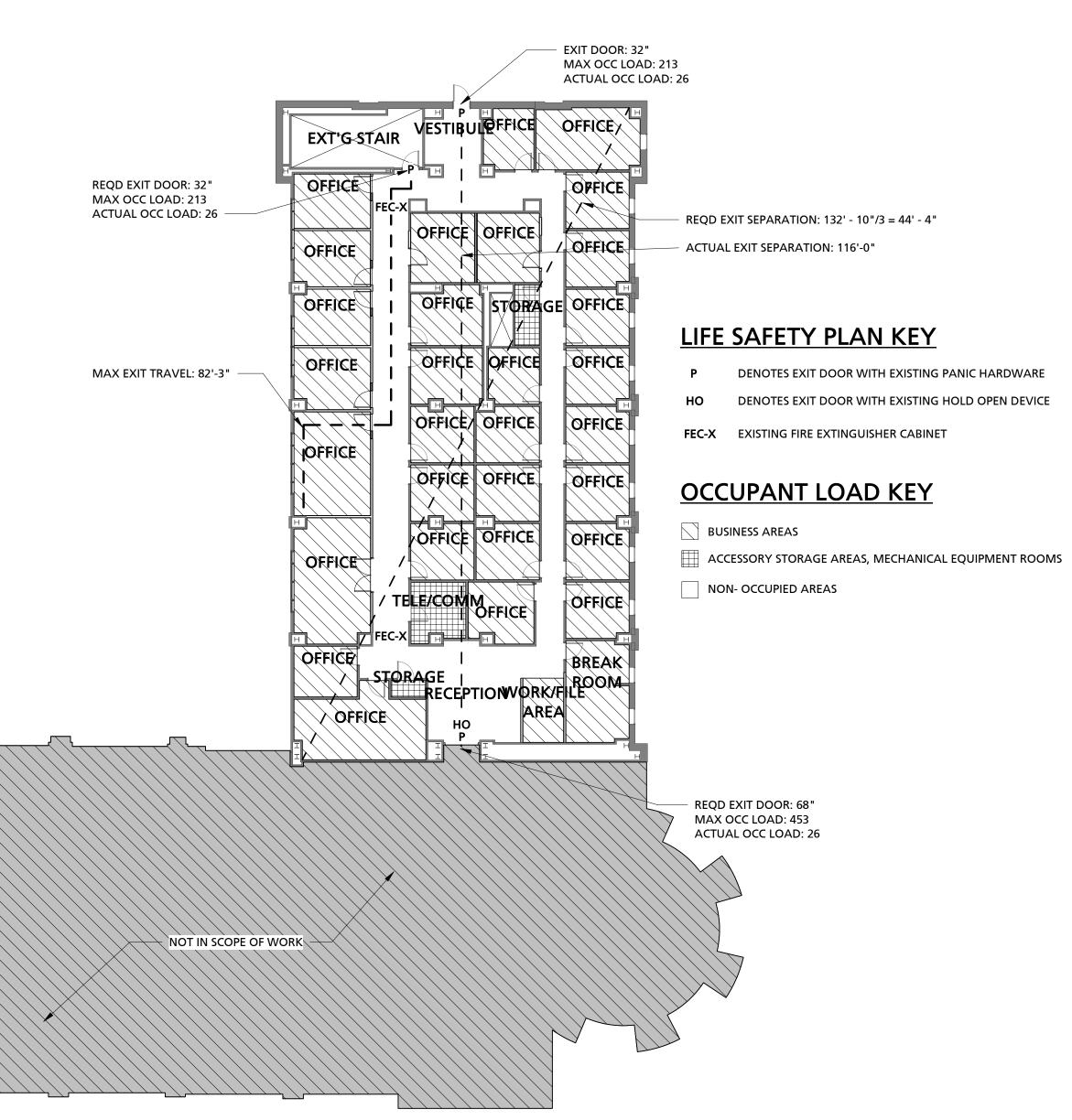
PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1) NOTE: FIXTURE COUNTS BASED UPON DESIGN OCCUPANT LOAD

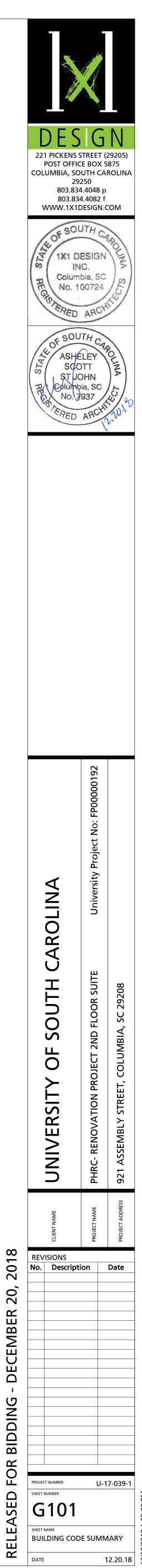
	WATER CLOSE		URINALS	LAVATORIES MAI F. SCOPEFEMALE: OJECT SCOPE 		SHOWERS /TUB S	DRINKING FOUNTAINS	
	MALE:	FEMALE:		MALE SCOP	EFEMALE:		REGULAR:	ANSI/ADA:
REQUIRED:			DV PR	OJECT J				
			UIRED BT .					
		NOT REQ						
PROVIDED:								
-								



*NOTE: EXISTING BULDING PLUMBING FIXTURES XTR







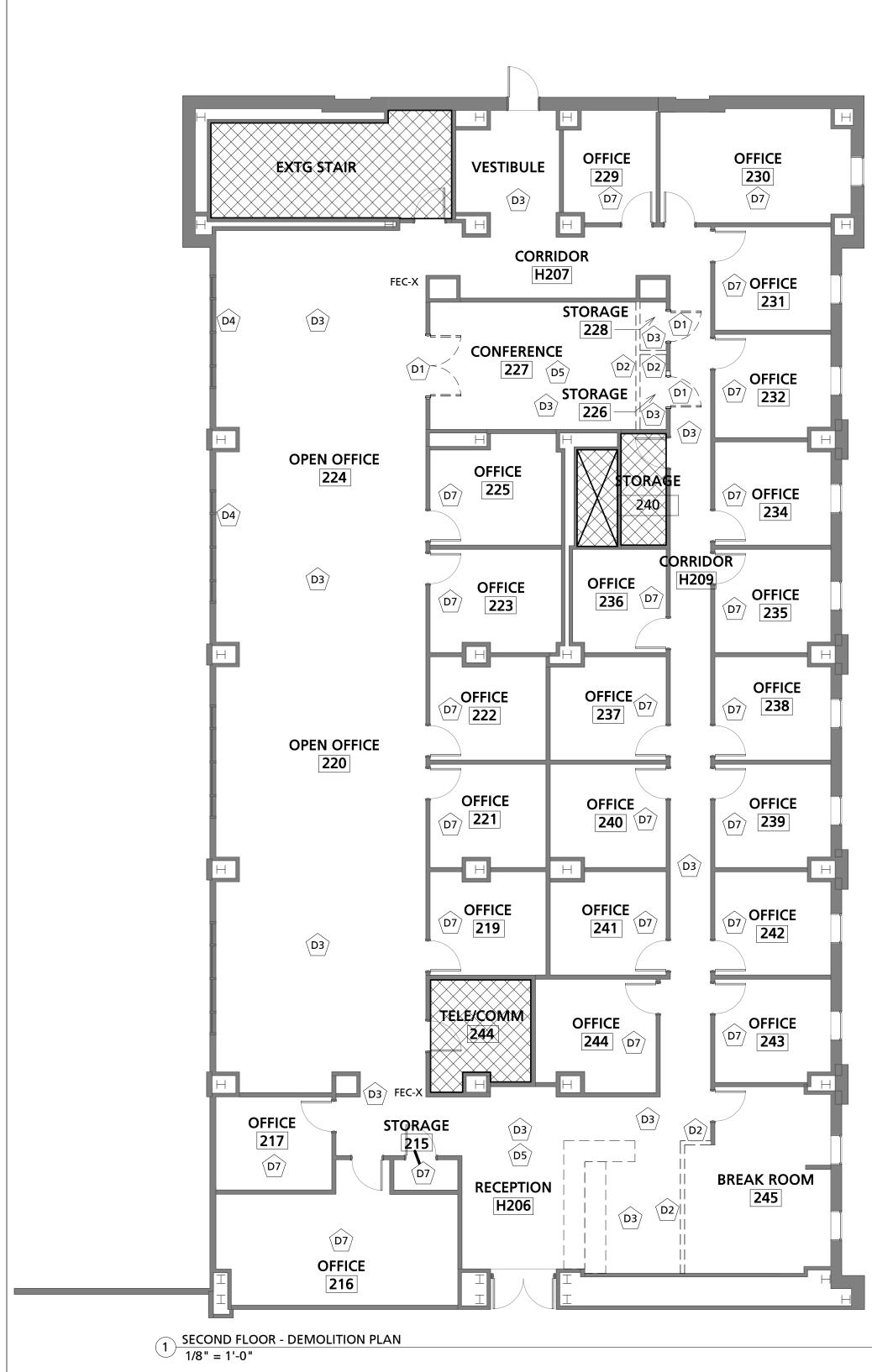


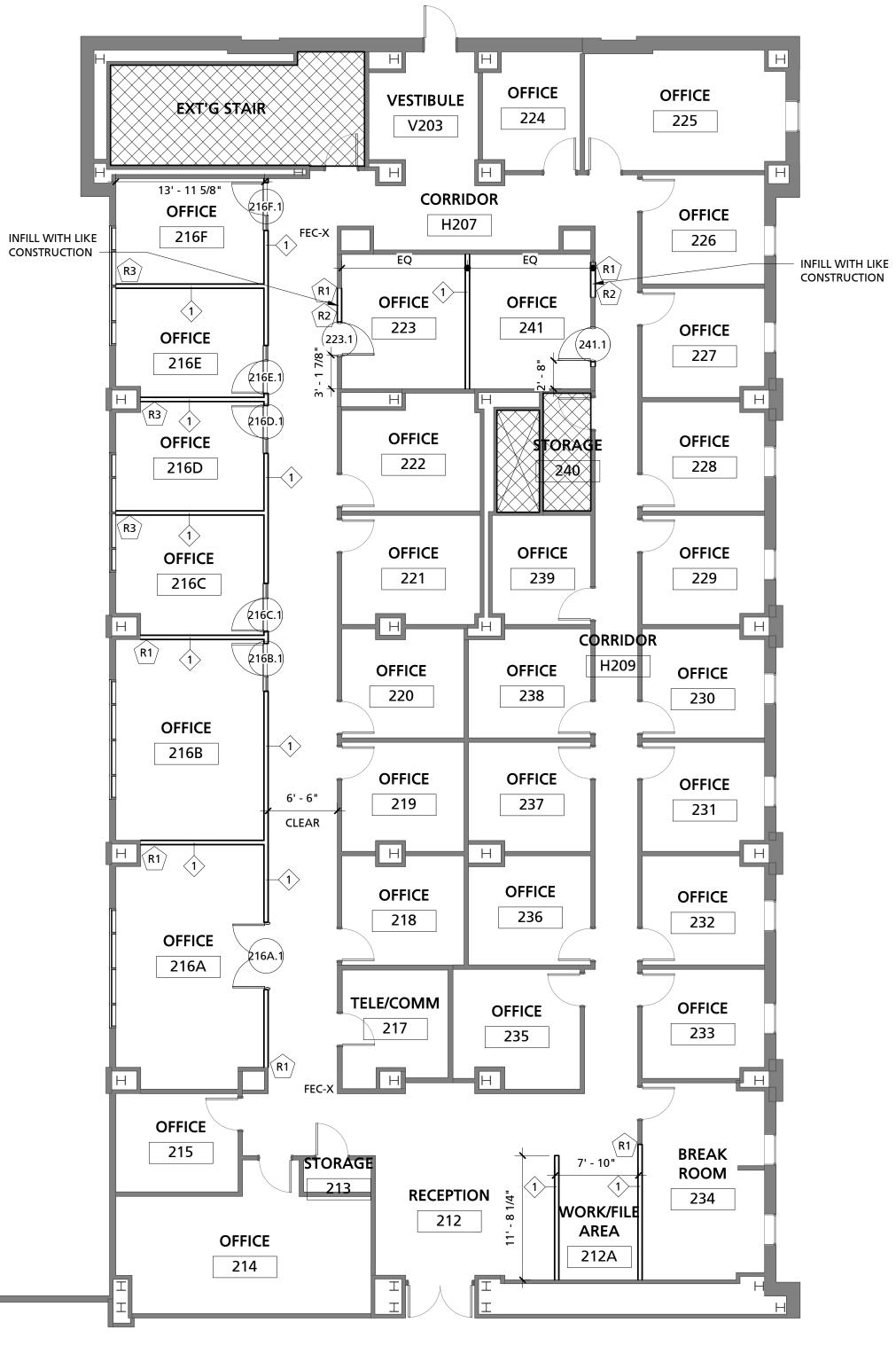




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2 SECOND FLOOR RENOVATION PLAN 1/8" = 1'-0"

NO WORK ANTICIPATED

GENERAL DEMOLITION NOTES

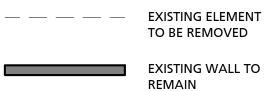
- EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS AND INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING
- CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY. GENERAL CONTRACTOR TO PROTECT ALL ADJACENT SURFACES TO REMAIN FROM DAMAGE
- DURING CONSTRUCTION. GENERAL CONTRACTOR TO REPAIR/REPLACE ANY ADJACENT SURFACES DAMAGED DURING CONSTRUCTION TO MATCH ORIGINAL CONDITIONS.
- GENERAL CONTRACTOR TO FIELD VERIFY CONDITIONS PRIOR TO START OF CONSTRUCTION. ALL EXISTING EXTERIOR ALUMINUM STOREFRONT TO REMAIN.
- SECURE ALL INTERIOR BLINDS DURING CONSTRUCTION FOR REUSE. INVENTORY ANY DAMAGED ROLLERSHADES, AND REPORT TO ARCHITECT.

DEMOLITION KEY NOTE LEGEND

- (D1) REMOVE EXISTING DOOR, STORE FOR OWNER REUSE IN FUTURE PROJECT. OWNER TO PACKAGE AND RELOCATE FROM PROJECT SITE.
- $\langle D2 \rangle$ REMOVE WALL ENTIRELY. CEILING TO REMAIN.
- (D3) REMOVE EXISTING FLOORING AND RUBBER BASE.
- (D4) REMOVE EXISTING ROLLERSHADE AND SALVAGE FOR OWNER'S REUSE IN FUTURE PROJECT.
- OWNER TO PACKAGE AND RELOCATE FROM PROJECT SITE.
- (D5) REMOVE EXISTING LIGHTING THIS AREA, SEE ELECTRICAL FOR EXACT LOCATIONS.
- GC TO PROTECT EXISTING ROLLER SHADES, OPTION TO REMOVE, PROTECT AND REINSTALL AT COMPLETION OF PROJECT.
- (D7) REMOVE EXISTING FLOORING AND RUBBER BASE. SCORE RUBBER BASE SO IT'S REMOVAL FROM THE EXISTING WALL CREATES MINIMAL DAMAGE/REQUIRED TOUCH-UP. EXISTING FURNITURE TO REMAIN.

DEMOLITION LEGEND

NOTE: SEE DEMOLITION TAGS AND NOTES FOR MORE DETAILS.



BE REMOVED

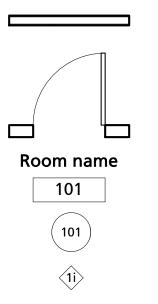
EXISTING DOOR TO BE REMOVED EXISTING STOREFRONT, TO BE

REMOVED

GENERAL FLOOR PLAN NOTES

- OWNER, AND INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY. ALL DIMENSIONS ARE TO FACE OF EXISTING ELEMENT OR FACE OF NEW STUD 2.
- UNLESS NOTED OTHERWISE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. SEE <u>A800S</u> FOR FINISH SELECTION AND DETAILS.
- GENERAL CONTRACTOR TO COORDINATE ALL A/V REQUIREMENTS WITH TENANT. 4.
- SEE G101 FOR PARTITION TYPES AND NOTES.

FLOOR PLAN LEGEND



1.

NEW WALL, SEE PARTITION TYPES

NEW DOOR, SEE DOOR SCHEDULE

ROOM TAG, SEE PLAN AND FINISH SCHEDULE

DOOR TAG, SEE PLAN AND DOOR SCHEDULE

INTERIOR WALL TAG, SEE PARTITION TYPES

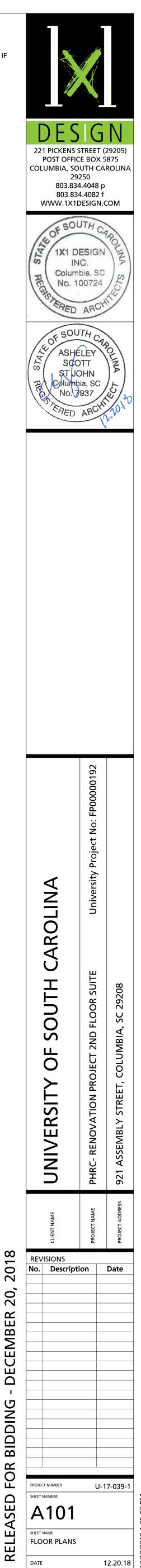
FIRE EXTINGUISHER CABINETS

FIRE EXTINGUISHER CABINET (FEC-X): EXISTING TO REMAIN

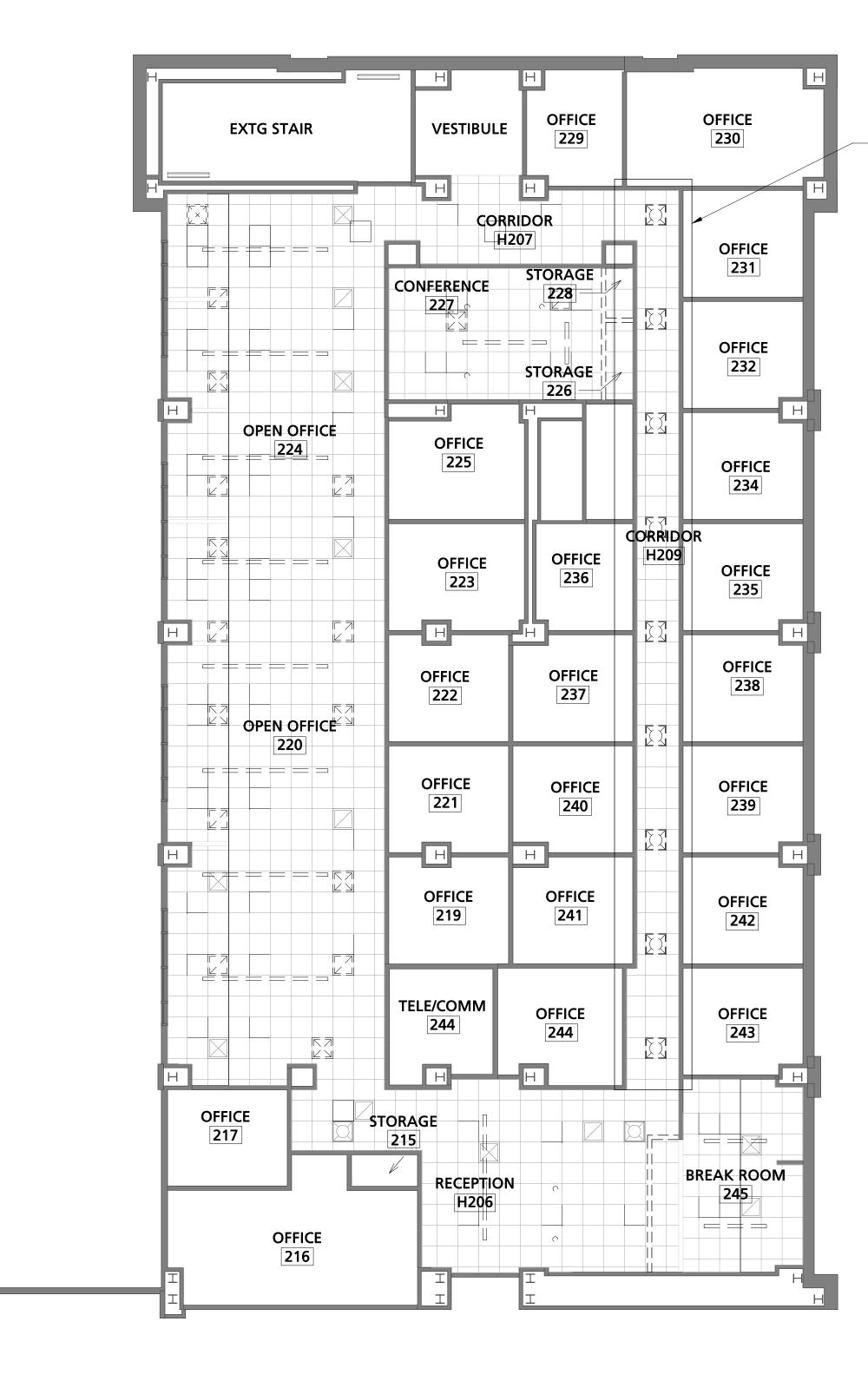
RENOVATION KEY NOTE LEGEND

- (R1) ALIGN FINISHED FACE OF WALLS
- (R2) INFILL WALL TO MATCH EXISTING
- (R3) ALIGN WALL TO CENTER OF EXISTING ELEMENT
- $\langle R4 \rangle$ NEW PARTITION TO FOLLOW JOG IN EXISTING CEILING.

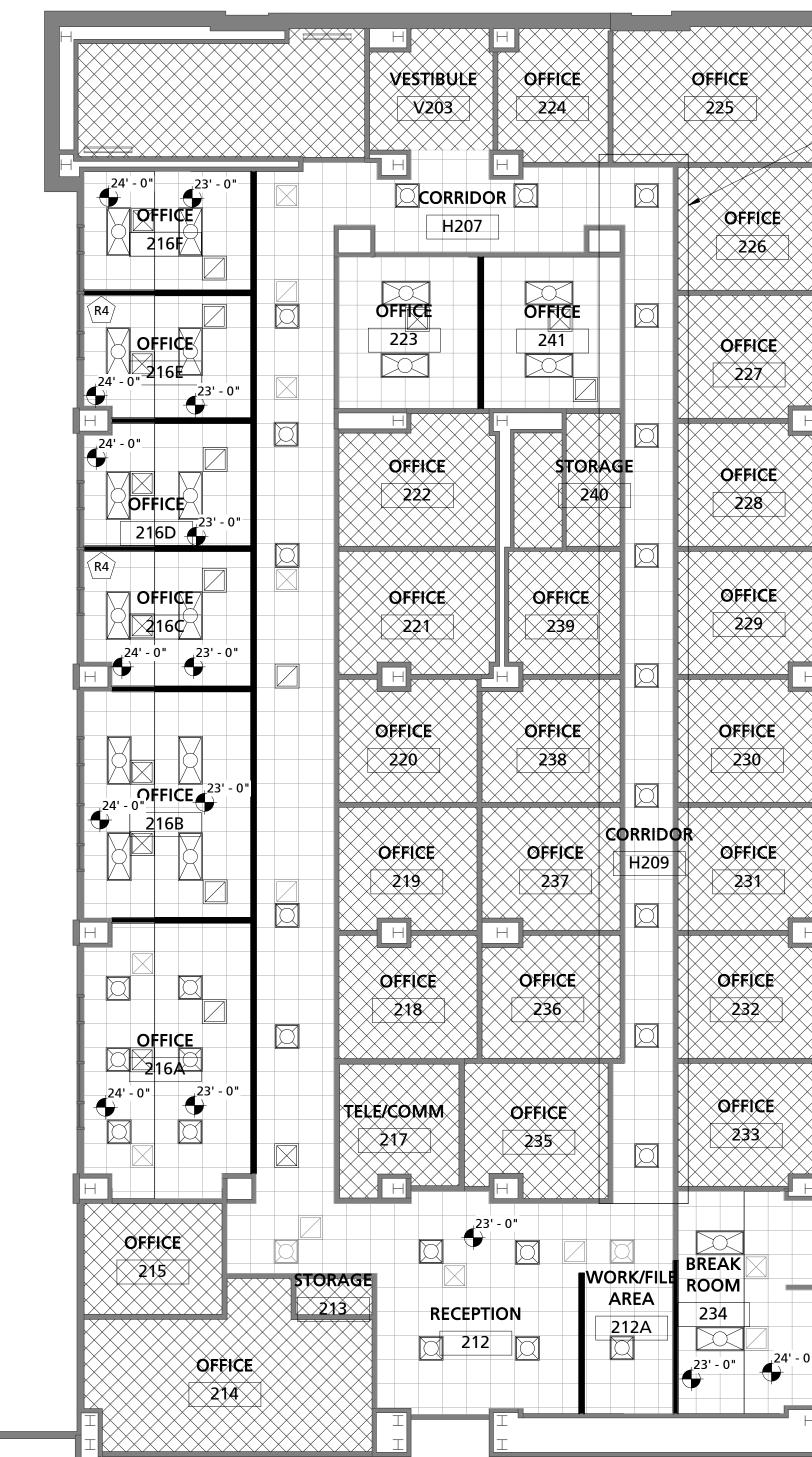
EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS,



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¹⁾ SECOND FLOOR- DEMOLITION RCP 1/8" = 1'-0"



3 SECOND FLOOR- RENOVATION RCP 1/8" = 1'-0"

ALTERNATE 1: SEE SHEET E101

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- ALTERNATE 1: SEE SHEET E102

NO CEILING WORK ANTICIPATED

GENERAL	REFLECTED	CEILING	PLAN

- EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS AND INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY.
- ALL CEILING TILE TO BE CENTERED IN SPACE EXACTLY AS SHOWN UNLESS NOTED OTHERWISE. ALL APC TO BE INSTALLED PER SEISMIC REQUIREMENTS. SEE SPECS.
- SEE ELECTRICAL FOR ALL LIGHT FIXTURES AND ELECTRICAL REQUIREMENTS. SEE ELECTRICAL FOR ALL EMERGENCY AND EGRESS FIXTURE LOCATIONS.
- SEE MECHANICAL FOR ALL MECHANICAL ELEMENTS. COORDINATE WITH ELECTRICAL AND MECHANICAL FOR ALL FIXTURES AND
- EQUIPMENT SPECIFICATIONS. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION. WHERE ENGINEERING DRAWINGS CALL FOR ROOF PENETRATIONS WITH EXISTING ROOFING SYSTEM OR ROOF SYSTEM TO BE REPLACED, FLASH AND SEAL AS REQUIRED.

DEMOLITION REFLECTED CEILING PLAN LEGEND

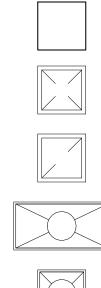
i × i `K____'

1.

RETURN REGISTER, SEE MECHANICAL.



REFLECTED CEILING PLAN LEGEND



2'x2' ACOUSTICAL PANEL CEILING (APC) (EXISTING). HEIGHT VARIES.

SUPPLY DIFFUSER, SEE MECHANICAL.

RETURN REGISTER, SEE MECHANICAL.

2'x4' LIGHTING FIXTURE

2'x2' LIGHTING FIXTURE

DEMOLITION KEY NOTE LEGEND

- (D1) REMOVE EXISTING DOOR, STORE FOR OWNER REUSE IN FUTURE PROJECT. OWNER TO PACKAGE AND RELOCATE FROM PROJECT SITE.
- (D2) REMOVE WALL ENTIRELY. CEILING TO REMAIN.
- (D3) REMOVE EXISTING FLOORING AND RUBBER BASE.
- D4 REMOVE EXISTING ROLLERSHADE AND SALVAGE FOR OWNER'S REUSE IN FUTURE PROJECT. OWNER TO PACKAGE AND RELOCATE FROM PROJECT SITE.
- (D5) REMOVE EXISTING LIGHTING THIS AREA, SEE ELECTRICAL FOR EXACT LOCATIONS.
- GC TO PROTECT EXISTING ROLLER SHADES, OPTION TO REMOVE, PROTECT AND REINSTALL AT COMPLETION OF PROJECT.
- (D7) REMOVE EXISTING FLOORING AND RUBBER BASE. SCORE RUBBER BASE SO IT'S REMOVAL FROM THE EXISTING WALL CREATES MINIMAL DAMAGE/REQUIRED TOUCH-UP. EXISTING FURNITURE TO REMAIN.

RENOVATION KEY NOTE LEGEND

- (R1) ALIGN FINISHED FACE OF WALLS
- (R2) INFILL WALL TO MATCH EXISTING
- (R3) ALIGN WALL TO CENTER OF EXISTING ELEMENT
- (R4) NEW PARTITION TO FOLLOW JOG IN EXISTING CEILING.

NOTES

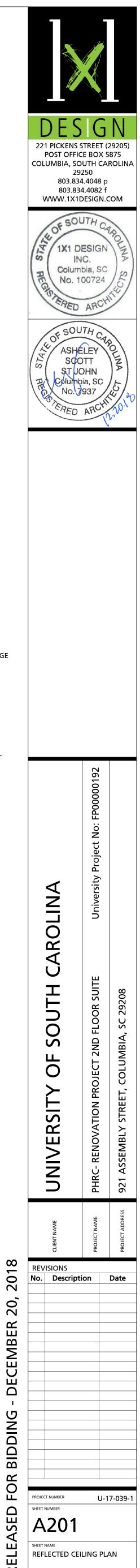
SUPPLY DIFFUSER, SEE MECHANICAL.

EXISTING LIGHTING FIXTURE

EXISTING LIGHTING FIXTURE

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DATE



12.20.18

				R	DOM FINIS	H SCHEDU	ILE		
		FLOOR	BASE	CEILING					
NO.	NAME	FINISH	FINISH	FINISH	NORTH	SOUTH	EAST	WEST	COMMENTS
212	RECEPTION	CPT 1	RB 1	XTR	P 3	XTR	P 1	XTR	
12 12A	WORK/FILE AREA	CPT 1	RB 1	XTR	P 3	P 1	P 1 P 1	P 1	
	STORAGE	CPT 2	RB 1	XTR	XTR	XTR		XTR	
13							XTR		
214	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPA
215	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPA
216A	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
216B	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
216C	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
216D	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
216E	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
216F	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
217	TELE/COMM	XTR	RB 1	XTR	XTR	XTR	XTR	XTR	
010	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	WHILE WORK IS ONGOING. EXISTING FURNITURE TO REMAIN IN SPA
218									WHILE WORK IS ONGOING.
219	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SP/ WHILE WORK IS ONGOING.
220	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPA WHILE WORK IS ONGOING.
221	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SP/ WHILE WORK IS ONGOING.
222	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SP/ WHILE WORK IS ONGOING.
		CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	WHILE WORK IS ONGOING.
223	OFFICE								
224	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPA WHILE WORK IS ONGOING.
225	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SP/ WHILE WORK IS ONGOING.
226	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPA WHILE WORK IS ONGOING.
227	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPA
228	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SP/ WHILE WORK IS ONGOING.
229	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SP/ WHILE WORK IS ONGOING.
230	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPA
231	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	WHILE WORK IS ONGOING. EXISTING FURNITURE TO REMAIN IN SPA
232	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	WHILE WORK IS ONGOING. EXISTING FURNITURE TO REMAIN IN SPA
233	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	WHILE WORK IS ONGOING. EXISTING FURNITURE TO REMAIN IN SP/
234	BREAK ROOM	XTR	XTR	XTR	XTR	XTR	XTR	P 1	WHILE WORK IS ONGOING. EXISTING FURNITURE TO REMAIN IN SP/
235	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	WHILE WORK IS ONGOING. EXISTING FURNITURE TO REMAIN IN SPA
236	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	WHILE WORK IS ONGOING. EXISTING FURNITURE TO REMAIN IN SP
									WHILE WORK IS ONGOING.
237	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPA WHILE WORK IS ONGOING.
238	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SP/ WHILE WORK IS ONGOING.
239	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SP/ WHILE WORK IS ONGOING.
240	STORAGE	XTR	XTR	XTR	XTR	XTR	XTR	XTR	
241	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
1207	CORRIDOR	CPT 1	RB 1	XTR	XTR	XTR	XTR	XTR	
1209	CORRIDOR	CPT 1	RB 1	XTR	XTR	XTR	XTR	XTR	
/203	VESTIBULE	CPT 1	RB 1	XTR	XTR	XTR	XTR	XTR	
203	VLJIDULE		וטו						

INTERIOR FINISH SPECIFICATION LEGEND (BASIS OF DESIGN)

FLOORING:

P 3 - (ACCENT COLOR)

CPT 1 - CARPET		RB 1 - RUBBER C	OVE BASE
MFR: DESIGN: COLOR: SIZE: INSTALLAT	MANNINGTON COMMERCIAL OR APPROVED EQUAL HUSK TBD 24 in x 24 in ION: ASHLAR OR AS RECOMMENDED BY MANUFACTURER	MFR: STYLE: COLOR: SIZE:	JOHNSONITE OR APPROVED EQUAL BASIS OF DEISGN, PERCEPTIONS WALL BASE CONTO TBD 4 1/4"
CPT 2 - CARPET	TILE		
MFR:	MANNINGTON COMMERCIAL OR APPROVED EQUAL		
DESIGN:	HUSK		
COLOR:	TBD		
SIZE:	24 in x 24 in		
INSTALLAT	ION: ASHLAR OR AS RECOMMENDED BY MANUFACTURER		
NINT:			
P 1 - (GENERAL	FIELD COLOR)	P 2 - (HOLLOV	V METAL FRAME PAINT)
MFR:	SHERWIN WILLIAMS OR APPROVED EQUAL	MFR:	SHERWIN WILLIAMS OR APPROVED EQUAL
COLOR:	TBD	COLOR:	TBD
FINISH:	EG-SHEL	FINISH:	SEMI-GLOSS

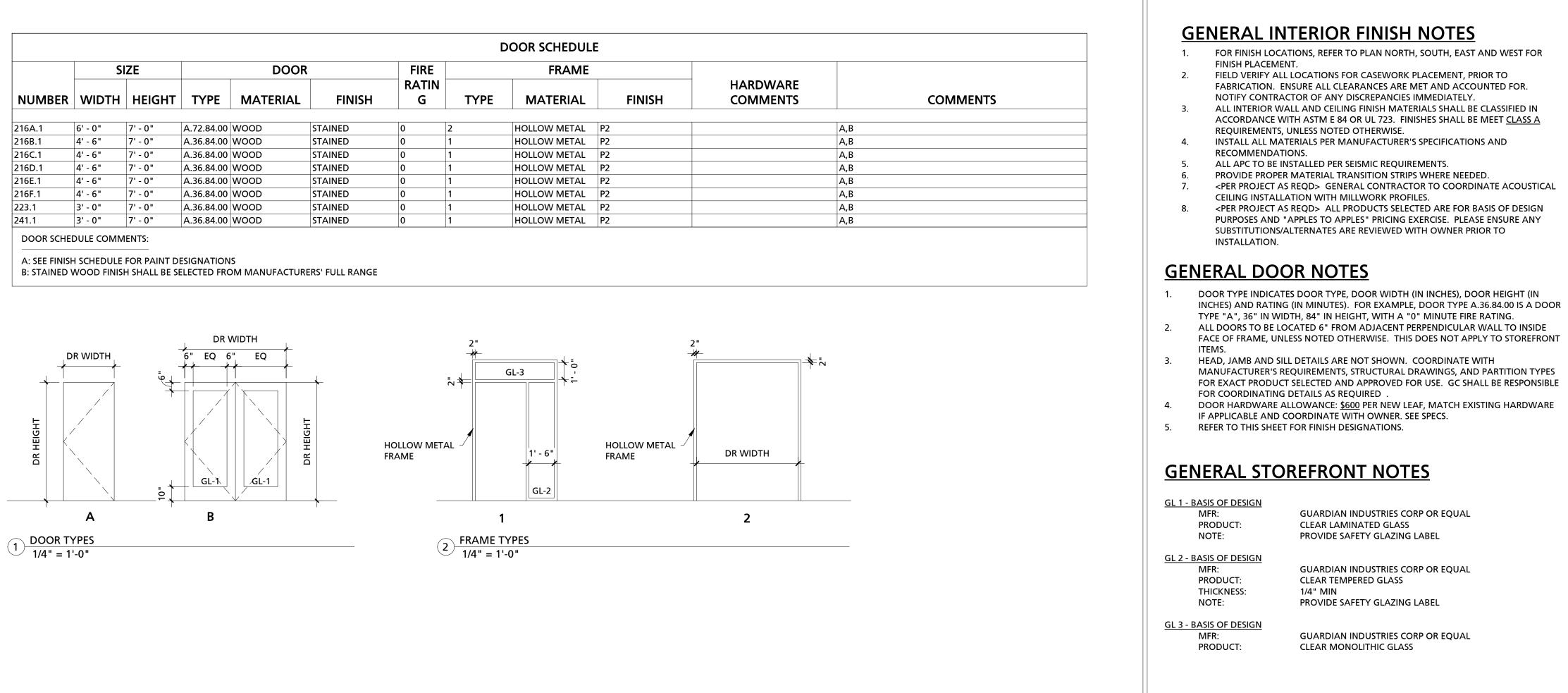
SHERWIN WILLIAMS OR APPROVED EQUAL MFR: COLOR: TBD FINISH: EG-SHEL

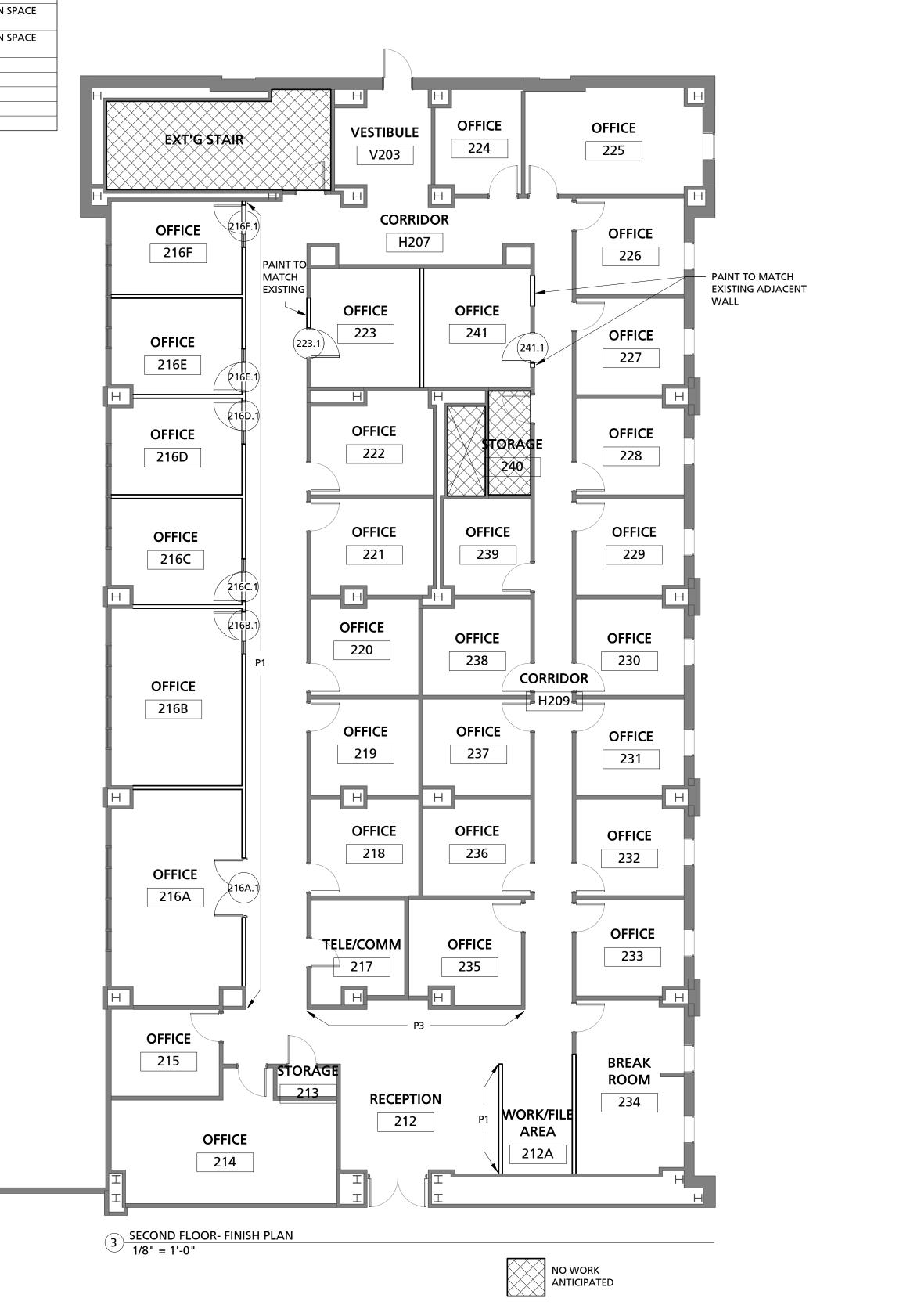
* ALL FINISHES TO MEET FLAME SPREAD REQUIREMENTS. INSTALL ALL MATERIALS PER MANUFACTURER RECOMMENDATIONS.

* REFER TO PROJECT MANUAL FOR ADDITIONAL INFORMATION ON OTHER ACCEPTABLE MANUFACTURERS.

							[DOOR SCHEDUL	.Е	
	SIZE		DOOR			FIRE	FRAME			
NUMBER	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	RATIN G	TYPE	MATERIAL		
216A.1	6' - 0"	7' - 0"	A.72.84.00	WOOD	STAINED	0	2	HOLLOW METAL	P2	
216B.1	4' - 6"	7' - 0"	A.36.84.00	WOOD	STAINED	0	1	HOLLOW METAL	P2	
216C.1	4' - 6"	7' - 0"	A.36.84.00	WOOD	STAINED	0	1	HOLLOW METAL	P2	
216D.1	4' - 6"	7' - 0"	A.36.84.00	WOOD	STAINED	0	1	HOLLOW METAL	P2	
216E.1	4' - 6"	7' - 0"	A.36.84.00	WOOD	STAINED	0	1	HOLLOW METAL	P2	
216F.1	4' - 6"	7' - 0"	A.36.84.00	WOOD	STAINED	0	1	HOLLOW METAL	P2	
223.1	3' - 0"	7' - 0"	A.36.84.00	WOOD	STAINED	0	1	HOLLOW METAL	P2	
241.1	3' - 0"	7' - 0"	A.36.84.00	WOOD	STAINED	0	1	HOLLOW METAL	P2	

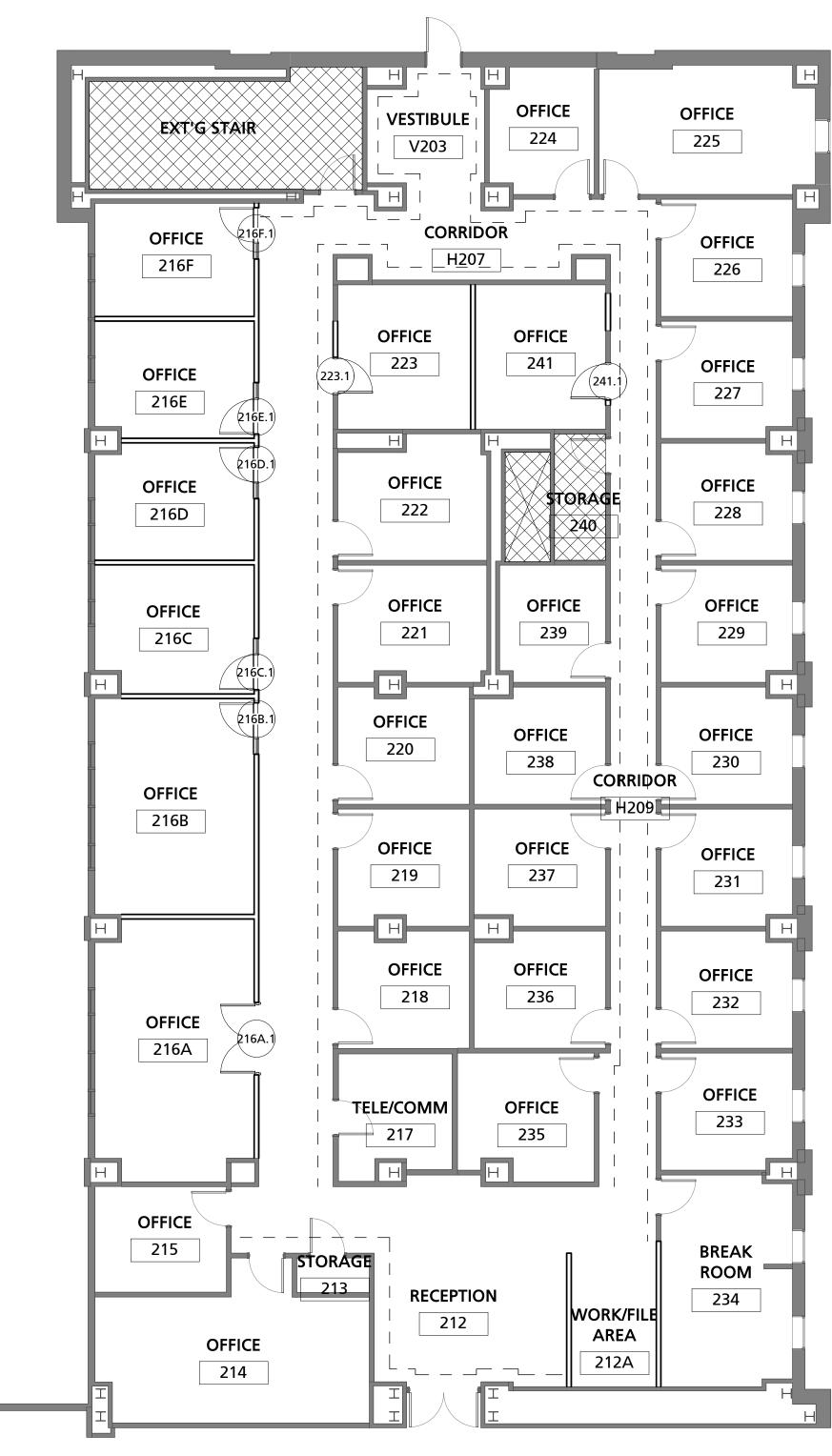
DOOR SCHEDULE COMMENTS:





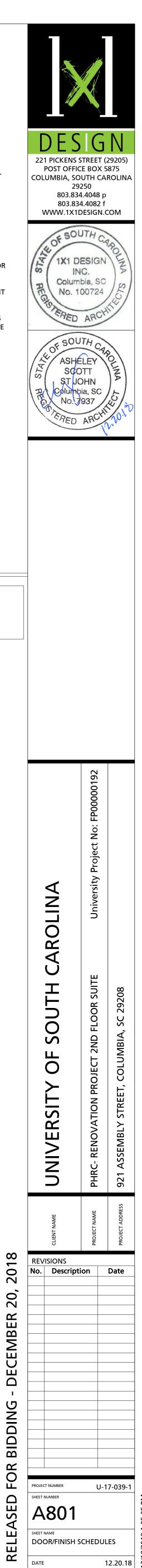
PAINT ALL COMMON AREA WALLS NOT IN THE BASE BID INCLUDED IN AREAS H207, H209, 212, V203 TO EXTENTS SHOWN ON THIS DRAWING. PAINT COLOR TO BE DETERMINED IF ALTERNATE IS ACCEPTED.

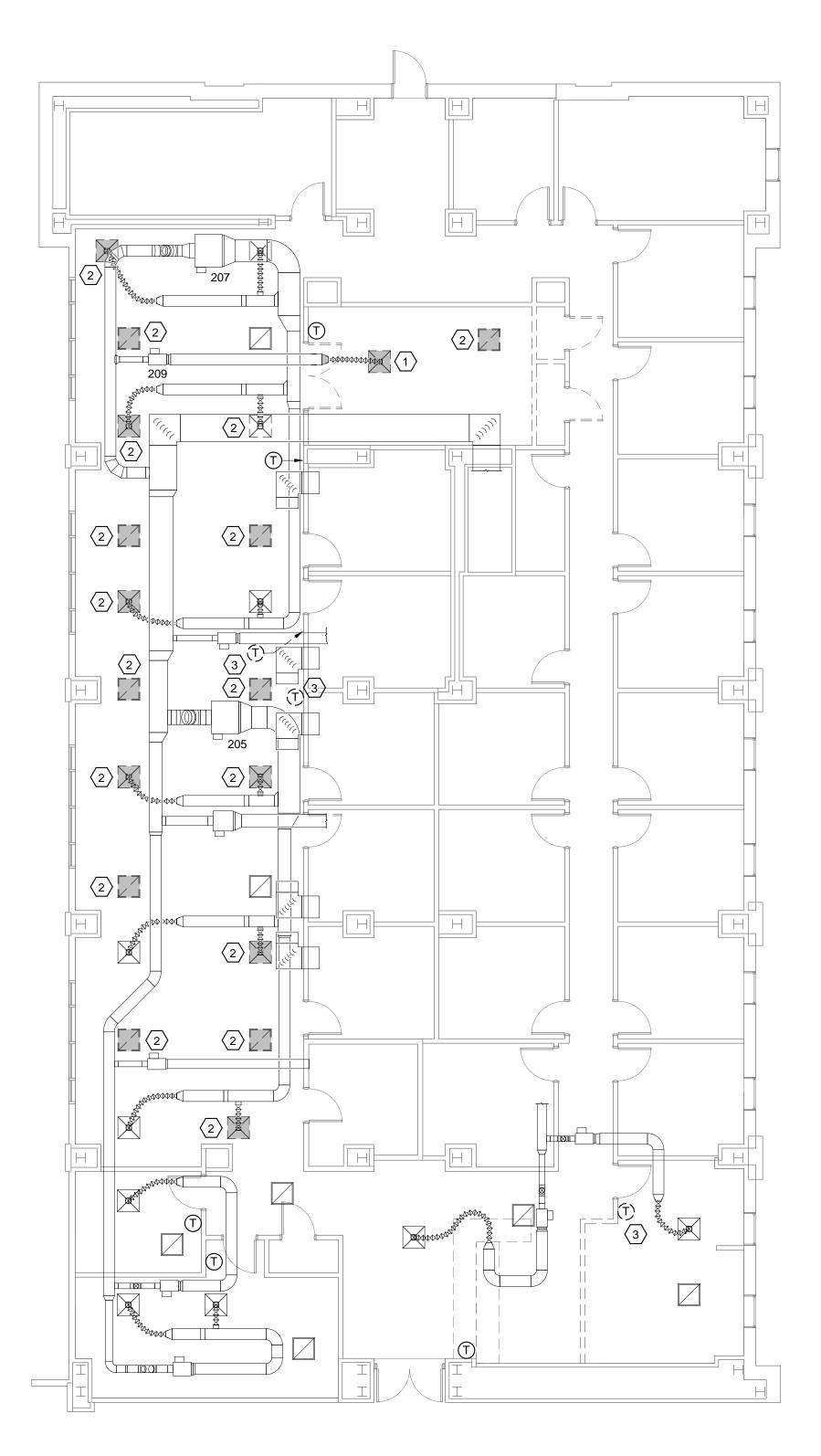
<u>ALTERNATE #2:</u>



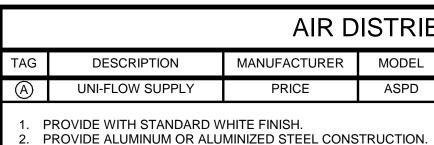
4 SECOND FLOOR- FINISH PLAN- ALTERNATE #2 1/8" = 1'-0"

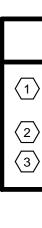
NO WORK ANTICIPATED



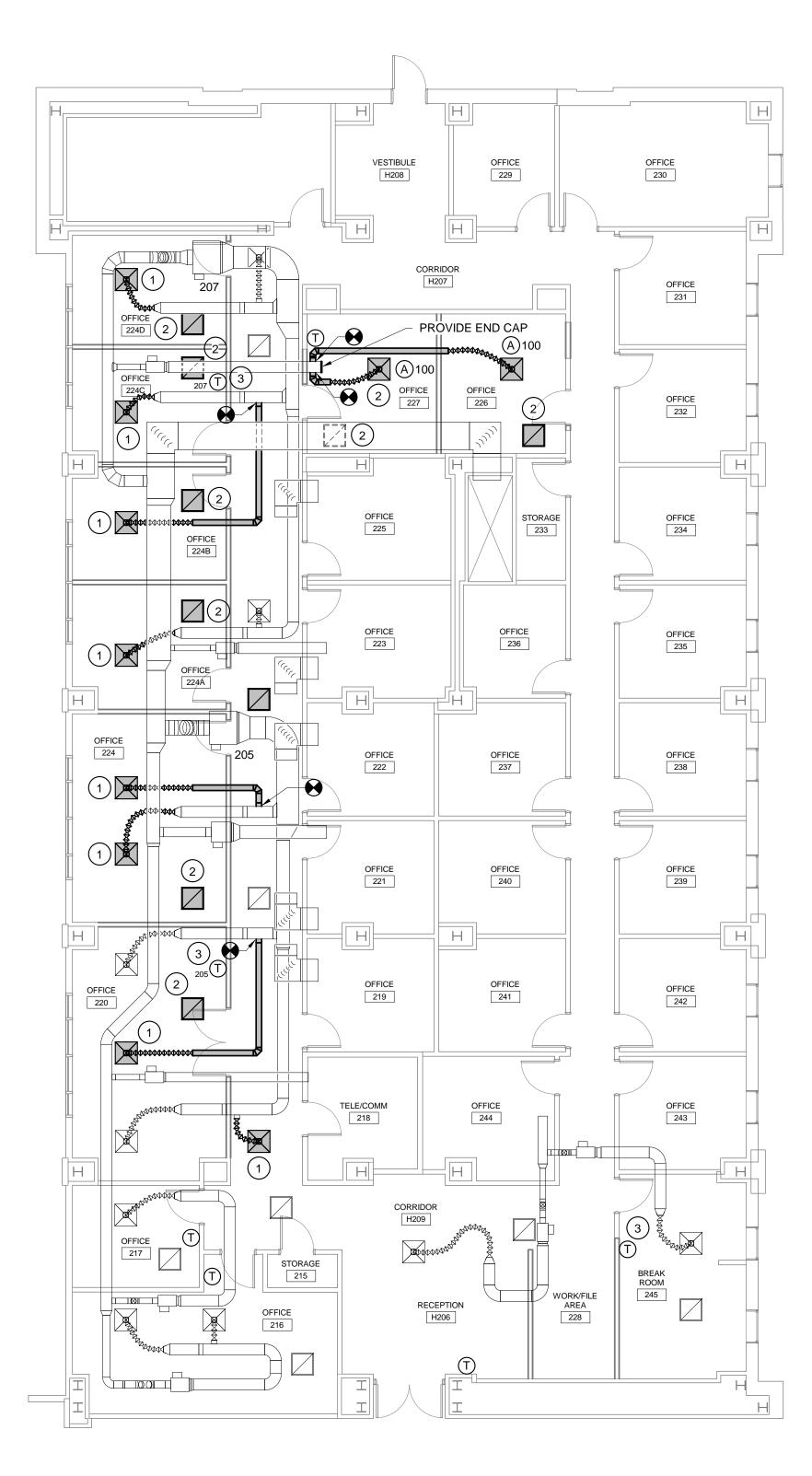


1 SECOND FLOOR DEMOLITION PLAN









DISTRIBUTION SCHEDULE							
ER	MODEL	FRAME	CFM	NECK SIZE	FACE SIZE	MAX NC	REMARKS
	ASPD	LAY-IN	126-250	8"ø	24"x24"	30	1, 2

DEMOLITION NOTES

| REMOVE EXISTING CEILING GRILLE AND DUCTWORK BACK TO TRUNK DUCT. PATCH TRUNK DUCT WITH SHEET METAL AND DUCT SEALER. PATCH INSULATION TO MATCH EXISTING. $\langle 2 \rangle$ RELOCATE EXISTING GRILL AS SHOWN ON RENOVATION PLAN.

 $\langle 3 \rangle$ RELOCATE EXISTING THERMOSTAT AS SHOWN ON RENOVATION PLAN.

NOTES TO SHEET

1) RELOCATE EXISTING SUPPLY DIFFUSER TO THIS LOCATION. PROVIDE ADDITIONAL ROUND METAL DUCT AND FLEXIBLE DUCT AS REQUIRED.

(2) RELOCATE EXISTING GRILLE TO THIS LOCATION.

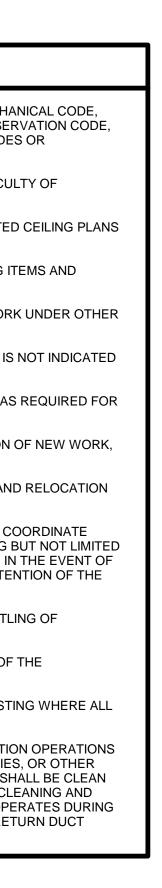
3) RELOCATE EXISTING THERMOSTAT TO THIS LOCATION.

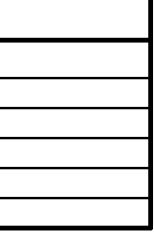
GENERAL NOTES

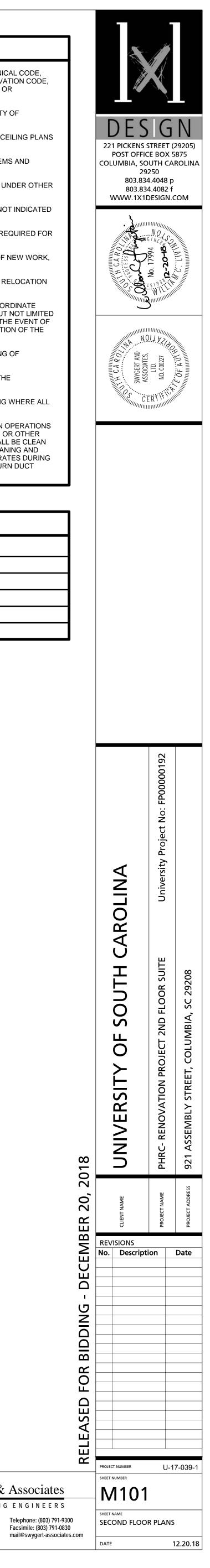
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL CODE, 2015 INTERNATIONAL FUEL GAS CODE, 2009 INTERNATIONAL ENERGY CONSERVATION CODE, AND 2005 SMACNA HVAC DUCT CONSTRUCTION STANDARD. ALL LOCAL CODES OR REQUIREMENTS STILL APPLY.
- VISIT SITE PRIOR TO BIDDING. THIS CONTRACTOR SHALL DETERMINE DIFFICULTY OF INSTALLATION AND REFLECT THIS IN HIS BIDDING.
- DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF DOORS, WINDOWS, AIR DISTRIBUTION, ETC.
- DO NOT SCALE DRAWINGS. THIS CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND LOCATIONS IN THE FIELD.
- ALL PIPING AND DUCTWORK LOCATIONS SHALL BE COORDINATED WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID INTERFERENCE.
- SPACE ABOVE CEILING TO BE USED AS RETURN AIR PLENUM WHERE DUCT IS NOT INDICATED ABOVE RETURN AIR GRILLES.
- THIS CONTRACTOR SHALL PROVIDE ALL ITEMS OF MISCELLANEOUS STEEL AS REQUIRED FOR INSTALLATION OF ALL MECHANICAL ITEMS.
- REMOVAL AND REPLACEMENT OF CEILING, AS REQUIRED FOR INSTALLATION OF NEW WORK, SHALL BE DONE BY GENERAL CONTRACTOR.
- THIS CONTRACTOR SHALL INCLUDE THE COST FOR ALL CONTROL WIRING AND RELOCATION OF THERMOSTATS. CONTROLS SHAL LBE BY JOHSNONS CONTROLS.
- 10. LOCATE ALL SPACE CONTROL INSTRUMENTS 4'-0" ABOVE FINISHED FLOOR. COORDINATE LOCATIONS WITH ARCHITECTURAL ELEVATIONS TO AVOID ITEMS INCLUDING BUT NOT LIMITED TO CUSTOM FINISHES, FIXED CASEWORK, FURNITURE, AND DOOR SWINGS. IN THE EVENT OF CONFLICTS IN THE FIELD, THE CONTRACTOR SHALL BRING THIS TO THE ATTENTION OF THE A/E FOR FINAL APPROVAL OF LOCATION.
- . THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY DISMANTLING OF EQUIPMENT TO BE REMOVED.
- 2. ITEMS REMOVED UNDER THIS CONTRACT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY.
- 13. THIS CONTRACTOR SHALL PATCH ALL WALLS AND FINISHES TO MATCH EXISTING WHERE ALL ITEMS OR EQUIPMENT ARE REMOVED.
- 14. THE HVAC SYSTEMS SHALL NOT BE OPERATED DURING HEAVY CONSTRUCTION OPERATIONS INCLUDING MASONRY, GYPSUM BOARD SANDING, HEAVY CLEANUP ACTIVITIES, OR OTHER ACTIVITIES THAT CREATE AIRBORNE PARTICLES OR DEBRIS. ALL SYSTEMS SHALL BE CLEAN OF CONSTRUCTION DEBRIS, DUST AND DIRT AT FINAL COMPLETION. DUCT CLEANING AND UNIT/COIL CLEANING SHALL BE PERFORMED IF REQUIRED. IF EQUIPMENT OPERATES DURING CONSTRUCTION PROVIDE FILTER MEDIA OVER ALL RETURN GRILLES AND RETURN DUCT OPENINGS TO PROTECT DUCTS AND EQUIPMENT.

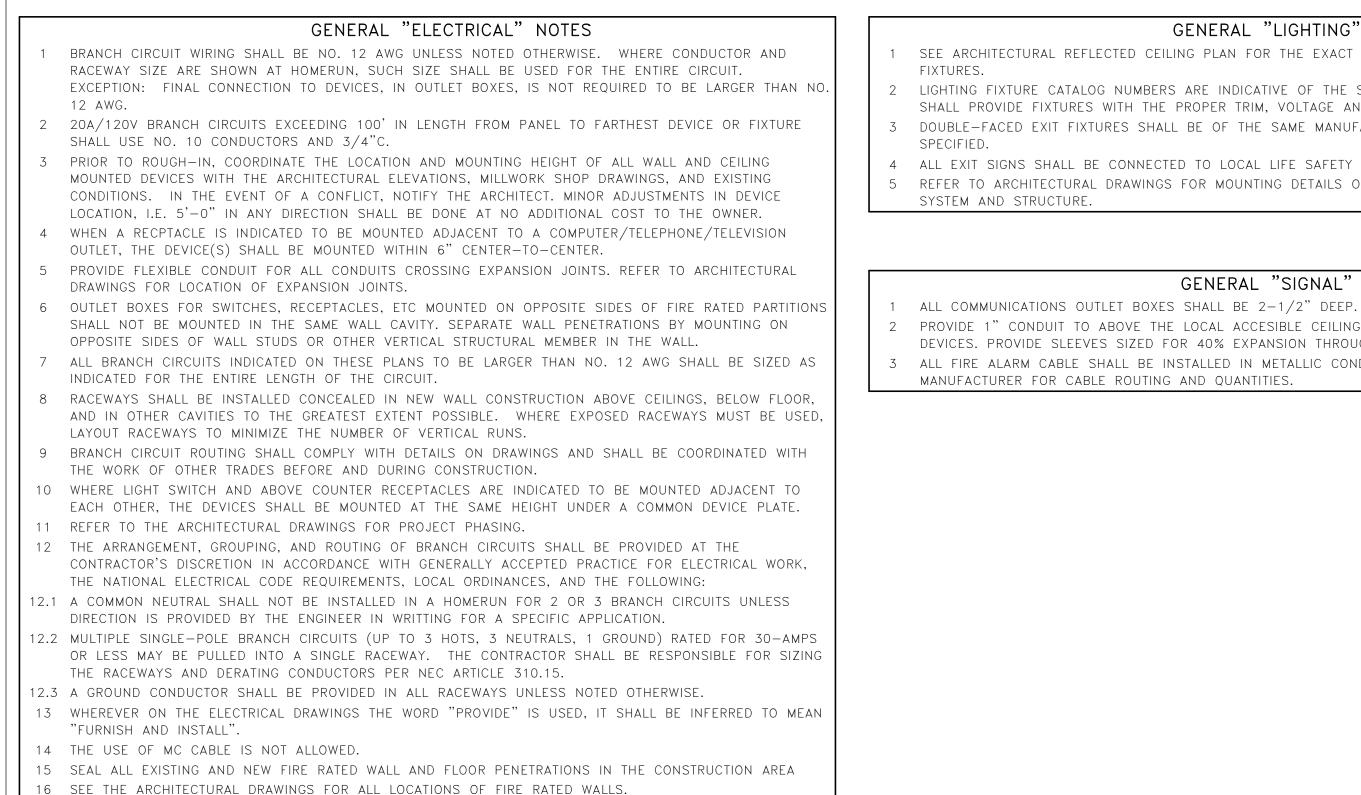
	LEGEND
SYMBOL	DESCRIPTION
A 100	TYPE "A" DIFFUSER, 100 CFM
T	THERMOSTAT
\boxtimes	RECTANGULAR SUPPLY DUCTWORK
	RETURN AND FRESH AIR DUCTWORK
\bullet	CONNECTION POINT OF NEW TO EXISTING

2 SECOND FLOOR RENOVATION PLAN M101 1/8" = 1'-0"









LIGHTING CONTROL SCHEME LEGEND								
MANUAL / WALL		MULTI-LEVEL	OCCUPANCY	VACANCY	SCHEDULED	SCHEDULED	DAYLIGHT CONTROL	
MARK	STATION(S)	SWITCHED/ZONED	SENSOR	SENSOR	AUTO-ON	AUTO-OFF	DAYLIGHT ON / OFF	DAYLIGHT DIMMED
1	Yes	No	No	Yes	No	No	No	No
2	No	No	Yes	No	No	No	No	No
#		LIGHTING	CONTROL	SCHEME	NOTES			
		:H SHALL BE PART OF TION(S) IN EACH SPACE		CONTROL SYS	STEM. REFER T	O PLANS FOR	MANUAL	

2 ROOMS WITH DIMMING TYPE SWITCHES SHOWN IN PLAN WILL REQUIRE DIMMING CONTROL

5 SET DELAYS FOR ALL OCCUPANCY AND VACANCY SENSORS TO 20-MINS.

				LIGHT FIXTURE SCH	IEDULI	Ξ				
		FIXTURE SPECIFICATIONS				LAMPING		RICAL		
		FIXTURE					FIXT.			
SYMBOL	TYPE	DESCRIPTION	MANUFACTURER	CAT. #	NO.	LAMP TYPE	LOAD	VOLTS	MOUNTING REMARKS	NOTES
0	A	2x4 VOLUMETRIC LED LIGHTING FIXTURE	HUBBELL (COLUMBIA)	LCAT24-35-ML-G-ED-U	_	5000 LUMENS 3500K	39	277 V	RECESS MTD IN GRID CEILING	
0	В	2x2 VOLUMETRIC LED LIGHTING FIXTURE	HUBBELL (COLUMBIA)	LCAT22-35-LW-G-ED-U	_	2800 LUMENS 3500K	23	277 V	RECESS MTD IN GRID CEILING	
	BE	2x2 VOLUMETRIC LED LIGHTING FIXTURE WITH CONNECTION TO EMERGENCY GENERATOR	HUBBELL (COLUMBIA)	LCAT22-35-LW-G-ED-U	_	2800 LUMENS 3500K	23	277 V	RECESS MTD IN GRID CEILING	
	Х	EXIT SIGN	HUBBELL (COLUMBIA)	CCES(D)R	_	LED	1	277 V	CEILING MTD	

LIGHT FIXTURE SCHEDULE NOTES

1 LUMENS LISTED IN SCHEDULE REPRESENT DELIVERED LUMENS OF FIXTURES. 2 THREE DIGIT NUMBERS LISTED IN LAMP COLUMN REPRESENT CRI AND COLOR TEMPERATURE. FIRST DIGIT INDICATES MINIMUM CRI AND LAST TWO DIGITS INDICATE COLOR TEMPERATURE. EXAMPLE: 830 INDICATES

MINIMUM CRI OF 80 AND A COLOR TEMPERATURE OF 3000K. 3 SEE ARCHITECTURAL RCP AND ELEVATIONS FOR EXACT LOCATION AND MOUNTING HEIGHTS. 4 CONFIRM QUANTITIES OF FIXTURES SHOWN IN RCP MATCH QUANTITIES SHOWN ON ELECTRICAL PLANS PRIOR TO BID. IF NO DISCREPANCIES ARE NOTED PRIOR TO BID THE HIGHEST QUANTITY OF EACH FIXTURE TYPE SHOWN SHALL BE PROVIDED.

GENERAL "LIGHTING" NOTES

SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR THE EXACT LOCATION OF ALL CEILING MOUNTED LIGHTING 2 LIGHTING FIXTURE CATALOG NUMBERS ARE INDICATIVE OF THE STYLE OF FIXTURE REQUIRED. CONTRACTOR SHALL PROVIDE FIXTURES WITH THE PROPER TRIM, VOLTAGE AND OPTIONS NECESSARY FOR INSTALLATION. 3 DOUBLE-FACED EXIT FIXTURES SHALL BE OF THE SAME MANUFACTURER & SERIES AS THE SINGLE TYPE 4 ALL EXIT SIGNS SHALL BE CONNECTED TO LOCAL LIFE SAFETY LIGHTING CIRCUIT AHEAD OF ALL SWITCHING. 5 REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING DETAILS OF LIGHT FIXTURE TO ACOUSTICAL CEILING

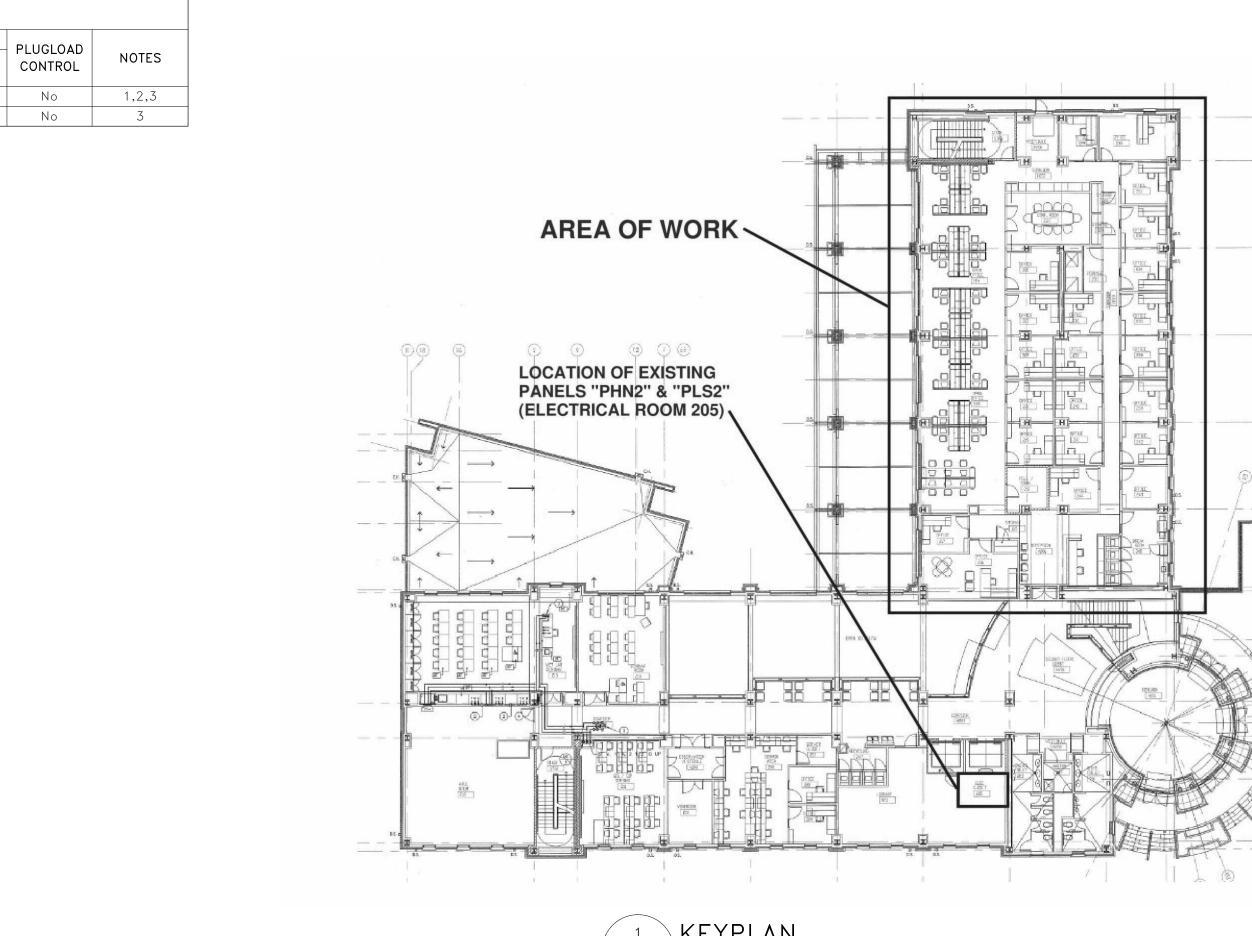
GENERAL "SIGNAL" NOTES

2 PROVIDE 1" CONDUIT TO ABOVE THE LOCAL ACCESIBLE CEILING FOR ALL COMMUNICATION WALL MOUNTED DEVICES. PROVIDE SLEEVES SIZED FOR 40% EXPANSION THROUGH CORRIDOR WALLS. 3 ALL FIRE ALARM CABLE SHALL BE INSTALLED IN METALLIC CONDUIT. COORDINATES WITH FIRE ALARM SYSTEM

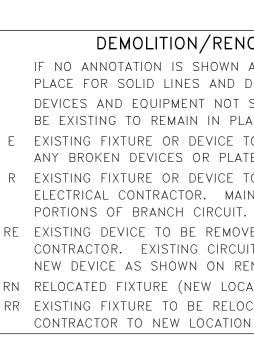
- GENERAL EXISTING CONDITION NOTES
- AREAS OF WORK EXIST FOR THIS PROJECT WHICH ARE NOT ACCESSIBLE OR HAVE DESIGN. AS SUCH CONTRACTOR SHALL VERIFY ALL UTILITIES IN AREA OF WORK BE SERVICE. ANY ELECTRICAL COMPONENTS NOT SHOWN SHALL BE IDENTIFIED AND ENGINEER SHALL BE NOTIFIED AS SOON AS POSSIBLE. NO ELECTRICAL REWORK S WITHOUT COORDINATION OF BOTH ARCHITECT AND ENGINEER.
- 2 IN AREAS WHERE THE EXISTING CEILINGS ARE NOT SLATED TO BE REMOVED, THE THRU THE EXISTING CEILINGS (SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY DAMAGED TILE OR GRID THEIR WORK.
- REFER TO ARCHITECTURAL PLANS FOR PHASING OF CONSTRUCTION. 4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A FIRESTOP SYSTEM IN FIRE-RATED WALLS CREATED BY THE REMOVAL OF EXISTING ELECTRICAL CONDUIT THOSE CREATED BY NEWLY INSTALLED CONDUITS AND SLEEVES.
- WHERE INSTALLATION REQUIRES CUTTING OR DRILLING OF THE EXISTING FLOOR SLA SHALL X-RAY THE EXISTING SLAB PRIOR TO WORK TO ENSURE THAT NO EXISTING ELEMENTS IN THE SLAB WILL BE COMPROMISED BY THE WORK. NOTIFY THE ARCHI CONFLICTS THAT WILL REQUIRE RELOCATING THE PROPOSED SLAB WORK. THE COM RESPONSIBLE FOR THE REPAIR OF ANY DAMAGED UTILITIES OR STRUCTURAL ELEME DEMOLITION.
- SUPPORT ALL EXISTING CONDUITS AND JUNCTION BOXES ABOVE THE CEILING PER CONSTRUCTION AREA.
- REMOVE ALL ABANDONED CONDUIT, WIRE, AND COMMUNICATION CABLES ABOVE THE CONSTRUCTION AREA. 8 PROVIDE JUNCTION BOX COVER PLATES ON ALL EXISTING JUNCTION BOXES ABOVE
- CONSTRUCTION AREA. 9 SUPPORT ALL EXISTING COMMUNICATION CABLES ABOVE THE CEILING IN THE CONST
- 10 WHERE INFORMATION SHOWN ON THESE DRAWINGS CONFLICTS WITH VERIFIED FIELD BROUGHT TO THE ATTENTION OF THE ENGINEER

GENERAL "DEMOLITION" NOTES

- 1 ALL ELECTRICAL EQUIPMENT TO BE REMOVED SHALL REMAIN THE PROPERTY OF TH CONTRACTOR SHALL NOT DISPOSE OF ANY MATERIALS UNTIL RELEASED BY OWNER MATERIALS THAT OWNER'S PROJECT MANAGER CHOOSES TO RETAIN SHALL BE DEL CONTRACTOR TO A LOCATION DESIGNATED BY THE PROJECT MANAGER. ALL OTHER PROPERLY DISPOSED OF BY THE CONTRACTOR.
- ELECTRICAL DEVICES NOT SHOWN ON WALLS TO BE DEMOLISHED SHALL BE DEMOL COST TO OWNER. 3 ELECTRICAL DEVICES NOT SHOWN ON CEILINGS OR WALLS TO REMAIN SHALL REMA
- FROM DAMAGE DURING CONSTRUCTION 4 ELECTRICAL DEVICES NOT SHOWN ON CEILINGS TO BE REMOVED SHALL BE TEMPOF
- REMOVED DURING DEMOLITION AND RE-INSTALLED ON NEW CEILING IN SAME LOCA







ELECTRICAL DRAWING INDEX SHEET NAME E001 ELECTRICAL NOTES & LEGENDS E101 ELECTRICAL DEMOLITION PLANS E102 ELECTRICAL RENOVATION PLANS

		ELECTRICAL SY		GEND
VE LIMITED ACCESS DURING	SYMBOL	DESCRIPTION	SYMBOL	
BEFORE DEMOLITION OF ANY THE ARCHITECT AND	φ	SINGLE RECEPTACLE (WALL MOUNTED @ 18"AFF)	F	FIRE ALARM PULL STATION (WALL MOUNTED @ 48" AFF TOP OF BOX)
SHALL BE COMMENCED	Φ	DUPLEX RECEPTACLE (WALL MOUNTED @ 18"AFF)	А	FIRE ALARM AUDIBLE DEVICE (WALL MOUNTED @ 7'- 6" AFF)
HE CONTRACTOR SHALL WORK DR AREA OF WORK). THE	\square	DUPLEX RECEPTACLE (GFI TYPE @ 18"AFF)		FIRE ALARM VISUAL DEVICE (WALL MOUNTED @ 7'-6 AFF)
RID THAT IS A RESULT OF	•	DUPLEX RECEPTACLE (USB TYPE @ 18"AFF)	A/V	FIRE ALARM AUDIBLE/VISUAL DEVICE (WALL MOUNTED
IN ALL PENETRATIONS OF		DUPLEX RECEPTACLE (@ 6" ABOVE COUNTER)	A	FIRE ALARM AUDIBLE DEVICE (CEILING MOUNTED)
IIT OR CABLES, AS WELL AS		DUPLEX RECEPTACLE (GFI TYPE @ 6" ABOVE COUNTER)	V	FIRE ALARM VISUAL DEVICE (CEILING MOUNTED)
SLAB, THE CONTRACTOR NG UTILITIES OR STRUCTURAL	•	DUPLEX RECEPTACLE (USB TYPE @ 6" ABOVE COUNTER)	A/V	FIRE ALARM AUDIBLE/VISUAL DEVICE (CEILING MOUN
CHITECT/ENGINEER OF ANY CONTRACTOR SHALL BE	P	QUAD RECEPTACLE (WALL MOUNTED @ 18"AFF)	Ş	SMOKE DETECTOR (WALL MOUNTED)
EMENTS CAUSED BY THE SLAB		QUAD RECEPTACLE (GFI TYPE @ 18"AFF)	(S)	SMOKE DETECTOR (CEILING MOUNTED)
ER NEC IN THE	•	QUAD RECEPTACLE (USB TYPE @ 18"AFF)	\bigcirc	SMOKE DETECTOR (DUCT MOUNTED)
THE CEILING IN THE	Ŧ	QUAD RECEPTACLE (@ 6" ABOVE COUNTER)	Ĥ	HEAT DETECTOR (WALL MOUNTED)
VE THE CEILING IN THE	+	QUAD RECEPTACLE (GFI TYPE @ 6" ABOVE COUNTER)	Ĥ	HEAT DETECTOR (CEILING MOUNTED)
NSTRUCTION AREA ELD CONDITIONS, IT SHALL BE	•	QUAD RECEPTACLE (USB TYPE @ 6" ABOVE COUNTER)	\Diamond	REMOTE TEST STATION FOR DUCT MOUNTED DETECTO (WALL MOUNTED)
	Φ	DUPLEX RECEPTACLE (CEILING MOUNTED)	Ŷ	REMOTE TEST STATION FOR DUCT MOUNTED DETECTO (CEILING MOUNTED)
		DUPLEX RECEPTACLE (FLOOR MOUNTED)	Ţ	FIRE ALARM TAMPER SWITCH
	(QUADPLEX RECEPTACLE (CEILING MOUNTED)	P	FIRE ALARM PRESSURE SWITCH
THE OWNER. THE ER'S PROJECT MANAGER.		QUADPLEX RECEPTACLE (FLOOR MOUNTED)	F	FIRE ALARM FLOW SWITCH
ELIVERED BY THE ER MATERIALS SHALL BE		DUPLEX REC/DATA COMBINATION (FLOOR MOUNTED)	FSD	FIRE / SMOKE DAMPER
IOLISHED AT NO ADDITIONAL		QUADPLEX REC/DATA COMBINATION (FLOOR MOUNTED)	PIV	PRESSURE INDICATING VALVE
EMAIN IN PLACE. PROTECT		MULTI-PHASE RECEPTACLE (AS NOTED ON PLAN)	R	SECURITY CARD READER
PORARILY DISCONNECTED AND		JUNCTION BOX (WALL MTD)	К	SECURITY KEY PAD
	0	JUNCTION BOX (CEILING)	AIU	ADDRESSABLE INTERFACE UNIT (MONITOR OR CONTROL TYPE)
		JUNCTION BOX (FLOOR MOUNTED)		CCTV CAMERA (WALL MOUNTED)
		PHONE OR DATA OUTLET (WALL MOUNTED @ 18"AFF)		CCTV CAMERA (CEILING MOUNTED)
		PHONE OR DATA OUTLET (MTD ABOVE COUNTER)	SPD	SURGE PROTECTION DEVICE
<		PHONE OR DATA OUTLET (FLOOR MOUNTED) TELEVISION / CATV OUTLET (WALL MOUNTED @ 18"	 	SPEAKER (WALL MOUNTED)
		AFF)	§P	SPEAKER (CEILING MOUNTED)
		TELEVISION / CATV OUTLET (CEILING MOUNTED)		WI-FI ACCESS POINT (CEILING MOUNTED)
		PUSH BUTTON CONTROL		CABLE TRAY
	S	LIGHT SWITCH, SINGLE POLE		ELECTRICAL METERING DEVICE
	S ³	LIGHT SWITCH, 3 WAY TYPE	\boxtimes	ELECTRICAL UTILITY METER & C/T CABINET
	S ⁴	LIGHT SWITCH, 4 WAY TYPE		PANELBOARD (SURFACE MOUNTED)
	S ^A	LIGHT SWITCH, AUTOMATIC (CONNECT TO LCS)		PANELBOARD (RECESS MOUNTED)
	2 1	LIGHT SWITCH, DIMMER TYPE		CONTROL PANEL (SURFACE MOUNTED)
	5 M	LIGHT SWITCH, DIGITALLY TIMED (0-30 MINUTES)		CONTROL PANEL (RECESS MOUNTED) DISCONNECT SWITCH, (REFER TO EQUIPMENT
	2 3	MOTOR RATED SNAP SWITCH IN NEMA 1 ENCLOSURE		CONNECTION SCHEDULE) DISCONNECT SWITCH, (NON PROTECTED)
	<u> </u>	MULTI-LEVEL SWITCHING CONFIGURATION		MOTOR CONNECTION (AS NOTED)
	PC PC	PHOTOCELL LIGHTING CONTROL		HANDHOLE
		OCCUPANCY SENSOR (CEILING MOUNTED)	НН	REMOTE FEED-THRU GFCI DEVICE WITH
		OCCUPANCY SENSOR (WALL MOUNTED)	WAP	INDICATOR LIGHT. (NO RECEPTACLE) WIRELESS ACCESS POINT (CEILING MOUNTED)
		LIGHTING CONTROL CALLOUT (REFER TO SCHEDULE)		
F	#" C.	CONDUIT CALLOUT (# INDICATES DIAMETER)		
		KITCHEN EQUIPMENT CALLOUT (REFER TO SCHEDULE)		
		KEY NOTE CALLOUT (REFER TO KEY NOTES ON SHEET)	

	ABBREVIATIONS
ABR	DESCRIPTION
(E)	EXISTING
. ,	ABOVE FINISHED CEILING
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AHU	AIR HANDLING UNIT
BAS	BUILDING AUTOMATION SYSTEM
BFC	BELOW FINISHED CEILING
BFG	BELOW FINISHED GRADE
	BOTTOM OF DEVICE
CBB	COMMUNICATIONS BACK BOARD
	CANDELA
CLG	CEILING
ECB	ENCLOSED CIRCUIT BREAKER
	EXHAUST FAN
	FIRE ALARM CONTROL PANEL
	FAN COIL UNIT
	FUSED DISCONNECT SWITCH
	FIRE/SMOKE DAMPER
	GROUND BUSS BAR
	GROUND-FAULT CIRCUIT-INTERRUPTING
	GROUND-FAULT INTERRUPTING
	GENERAL PURPOSE
	HEAT PUMP
	IRRIGATION CONTROL PANEL
	ISOLATED GROUND JUNCTION BOX
	LIGHTING CONTROL SYSTEM
	NATIONAL ELECTRIC CODE
	NON-FUSED DISCONNECT SWITCH
	ON CENTER
	REMOTE FIRE ALARM ANNUNCIATOR PANE
	ROOF TOP UNIT
	SMOKE DETECTOR
SPD	SURGE PROTECTION DEVICE
TGB	TELEPHONE GROUNDING BUSS BAR
UNO	UNLESS OTHERWISE NOTED
UTP	UNSHIELDED TWISTED PAIR
VFD	VARIABLE FREQUENCY DRIVE
W/	WITH
WH	WATER HEATER
1	

WP WEATHERPROOF

XFMR TRANSFORMER



BELKA

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DEMOLITION/RENOVATION NOTATION IF NO ANNOTATION IS SHOWN ASSUME EXISTING TO REMAIN IN PLACE FOR SOLID LINES AND DEMOLISH FOR DASHED LINES. DEVICES AND EQUIPMENT NOT SHOWN SHALL BE ASSUMED TO BE EXISTING TO REMAIN IN PLACE. EXISTING FIXTURE OR DEVICE TO REMAIN IN PLACE. REPLACE ANY BROKEN DEVICES OR PLATES; COLOR TO MATCH EXISTING.

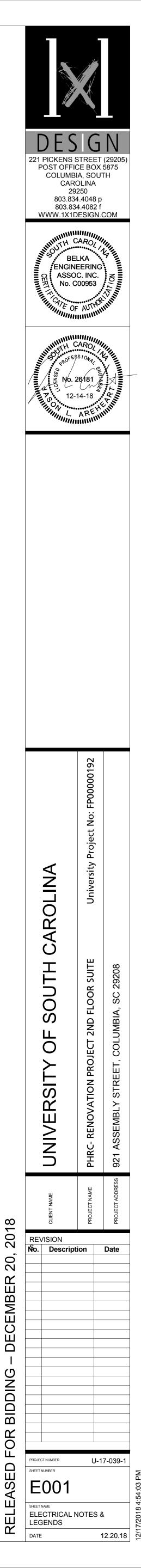
R EXISTING FIXTURE OR DEVICE TO BE REMOVED BY THE ELECTRICAL CONTRACTOR. MAINTAIN CONTINUITY OF REMAINING

RE EXISTING DEVICE TO BE REMOVED BY THE ELECTRICAL CONTRACTOR. EXISTING CIRCUIT SHALL BE RETAINED. PROVIDE

NEW DEVICE AS SHOWN ON RENOVATION PLANS. RN RELOCATED FIXTURE (NEW LOCATION). RR EXISTING FIXTURE TO BE RELOCATED BY THE ELECTRICAL

CONTRACTOR TO NEW LOCATION SHOWN ON RENOVATION PLAN.





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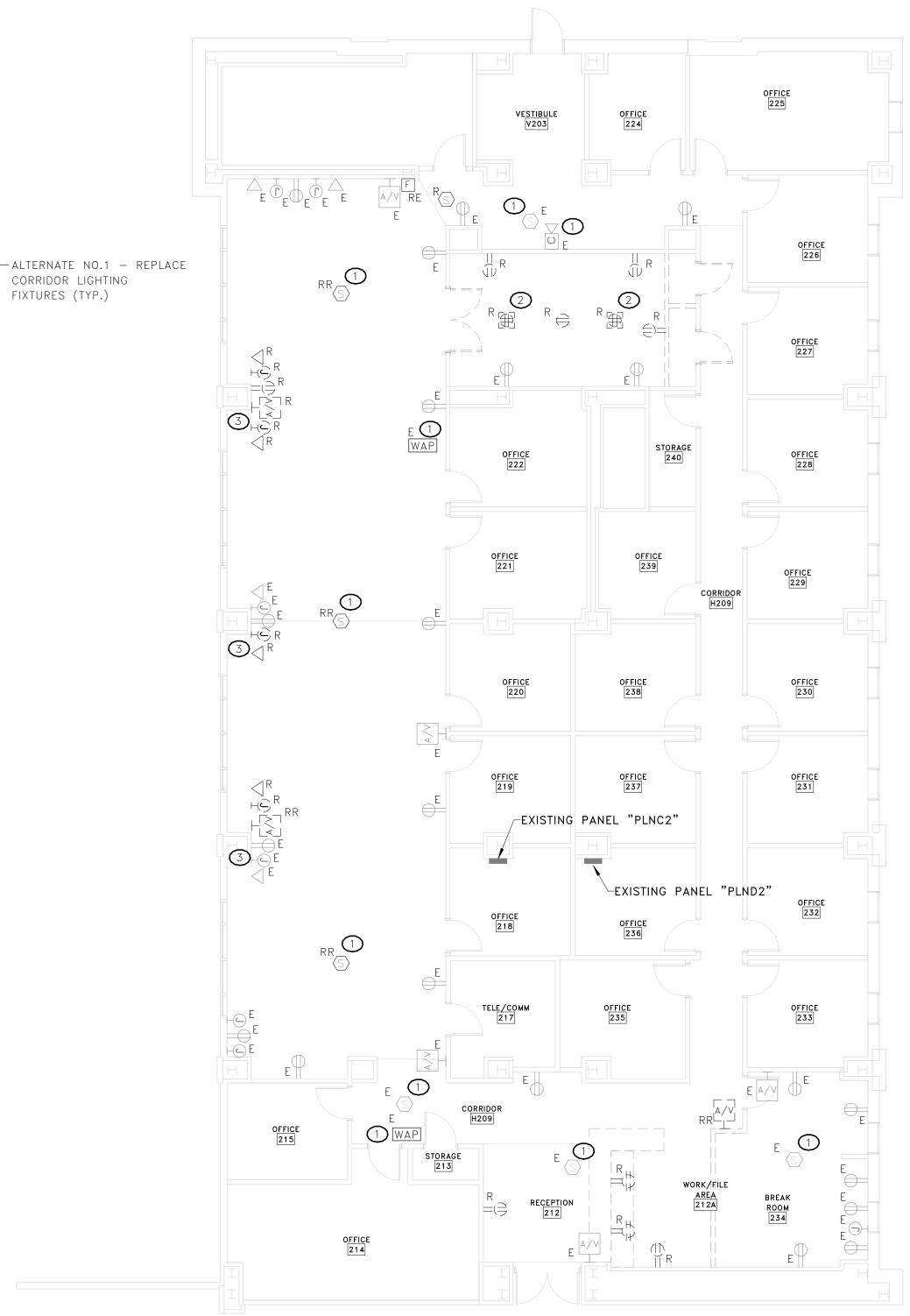
DEMOLITION/RENOVATION NOTATION

IF NO ANNOTATION IS SHOWN ASSUME EXISTING TO REMAIN IN PLACE FOR SOLID LINES AND DEMOLISH FOR DASHED LINES. DEVICES AND EQUIPMENT NOT SHOWN SHALL BE ASSUMED TO BE EXISTING TO REMAIN IN PLACE.

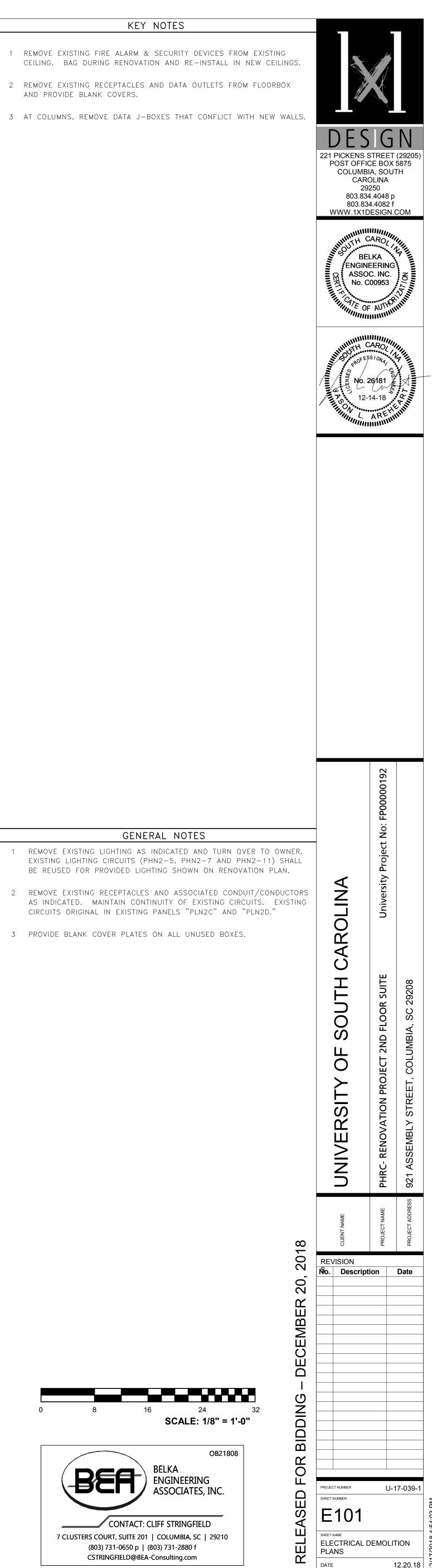
- E EXISTING FIXTURE OR DEVICE TO REMAIN IN PLACE. REPLACE ANY BROKEN DEVICES OR PLATES; COLOR TO MATCH EXISTING.
- R EXISTING FIXTURE OR DEVICE TO BE REMOVED BY THE ELECTRICAL CONTRACTOR. MAINTAIN CONTINUITY OF REMAINING PORTIONS OF BRANCH CIRCUIT.
- RE EXISTING DEVICE TO BE REMOVED BY THE ELECTRICAL CONTRACTOR. EXISTING CIRCUIT SHALL BE RETAINED. PROVIDE NEW DEVICE AS SHOWN ON RENOVATION PLANS.
- RN RELOCATED FIXTURE (NEW LOCATION). RR EXISTING FIXTURE TO BE RELOCATED BY THE ELECTRICAL CONTRACTOR TO NEW LOCATION SHOWN ON RENOVATION PLAN.



 $\begin{array}{c|cccc} 1 & LIGHTING & DEMOLITION & PLAN \\ \hline E101 & SCALE: & 1/8" & = & 1'-0" \end{array}$



2 POWER & SYSTEMS DEMOLITION PLAN E101 SCALE: 1/8" = 1'-0"



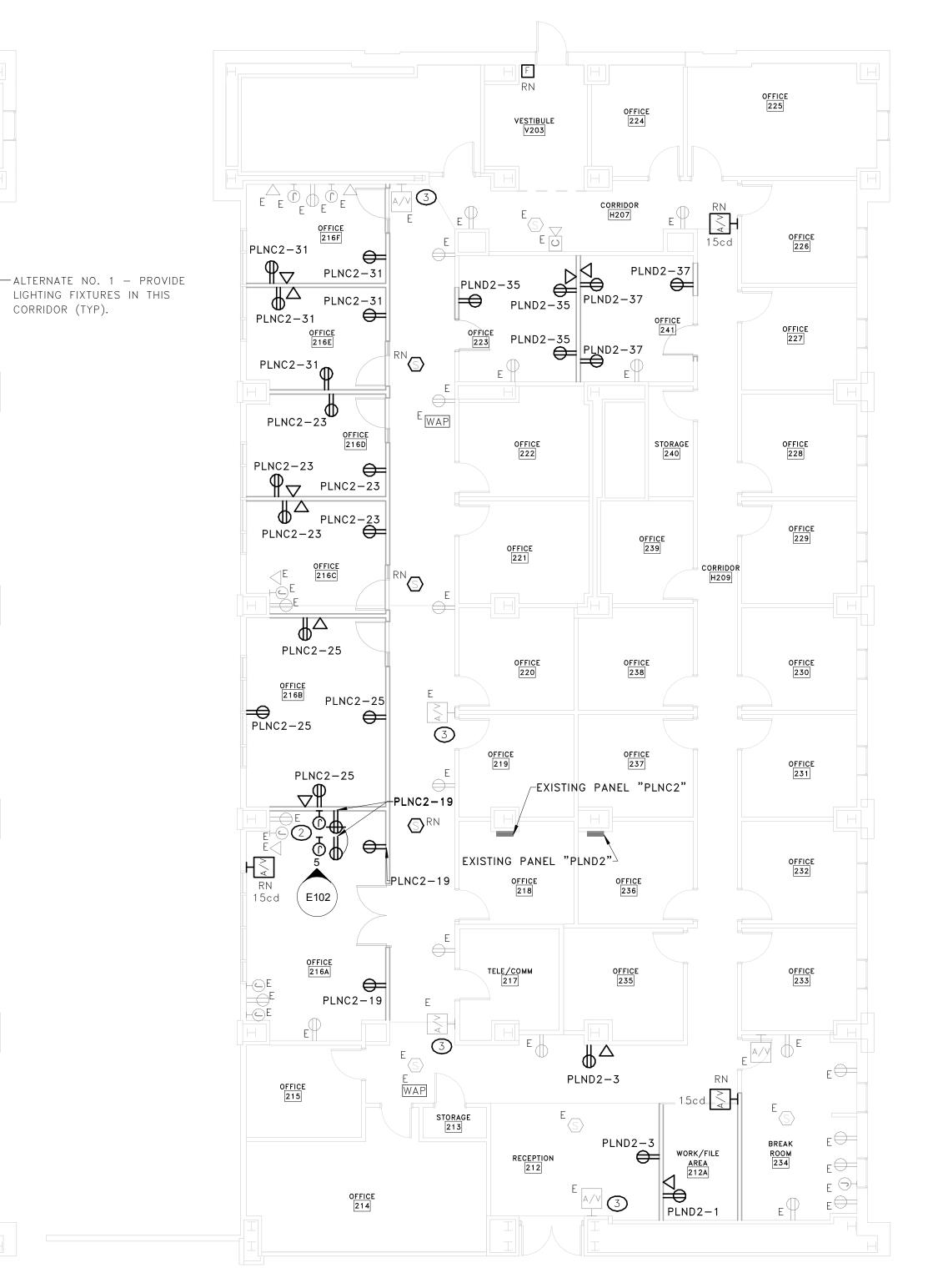
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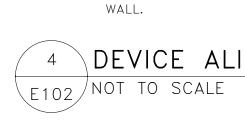
- R EXISTING FIXTURE OR DEVICE TO BE REMOVED BY THE ELECTRICAL CONTRACTOR. MAINTAIN CONTINUITY OF REMAINING PORTIONS OF BRANCH CIRCUIT.
- RE EXISTING DEVICE TO BE REMOVED BY THE ELECTRICAL CONTRACTOR. EXISTING CIRCUIT SHALL BE RETAINED. PROVIDE NEW DEVICE AS SHOWN ON RENOVATION PLANS. RN RELOCATED FIXTURE (NEW LOCATION).
- RR EXISTING FIXTURE TO BE RELOCATED BY THE ELECTRICAL CONTRACTOR TO NEW LOCATION SHOWN ON RENOVATION PLAN.







2 POWER & SYSTEMS RENOVATION PLAN E102 SCALE: 1/8" = 1'-0"



NOTE:

