

UNIVERSITY OF SOUTH CAROLINA

PHRC- RENOVATION PROJECT 2ND FLOOR SUITE

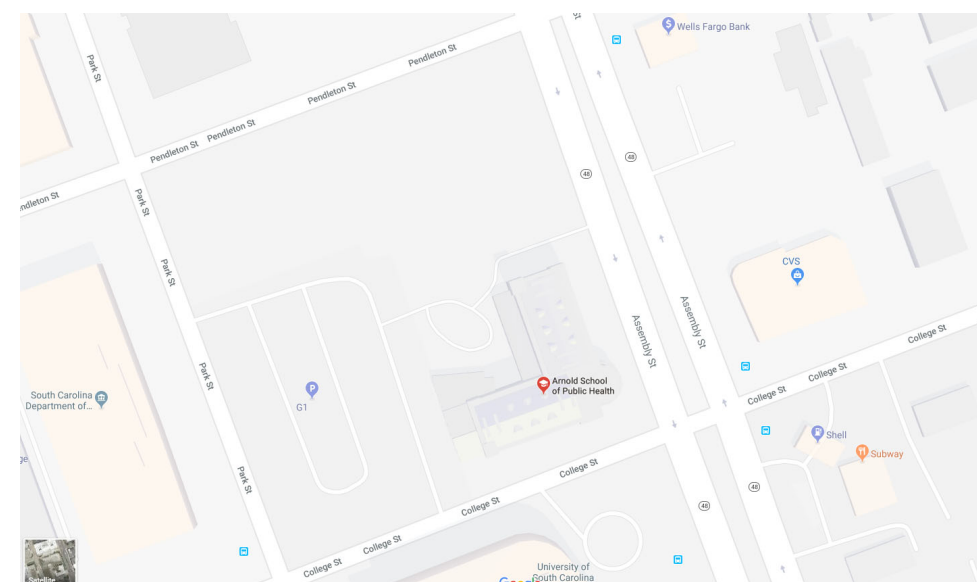
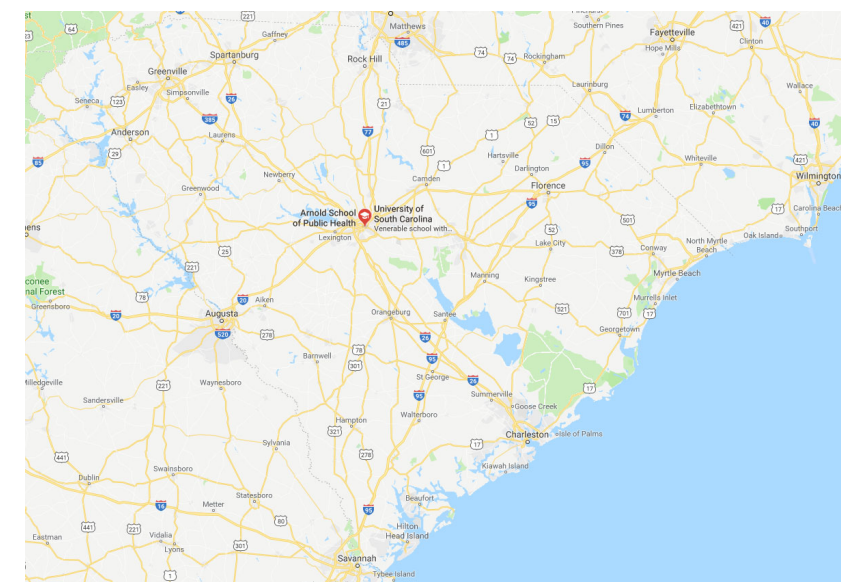
UNIVERSITY PROJECT NUMBER: FP00000192
921 ASSEMBLY STREET, COLUMBIA SC 29208



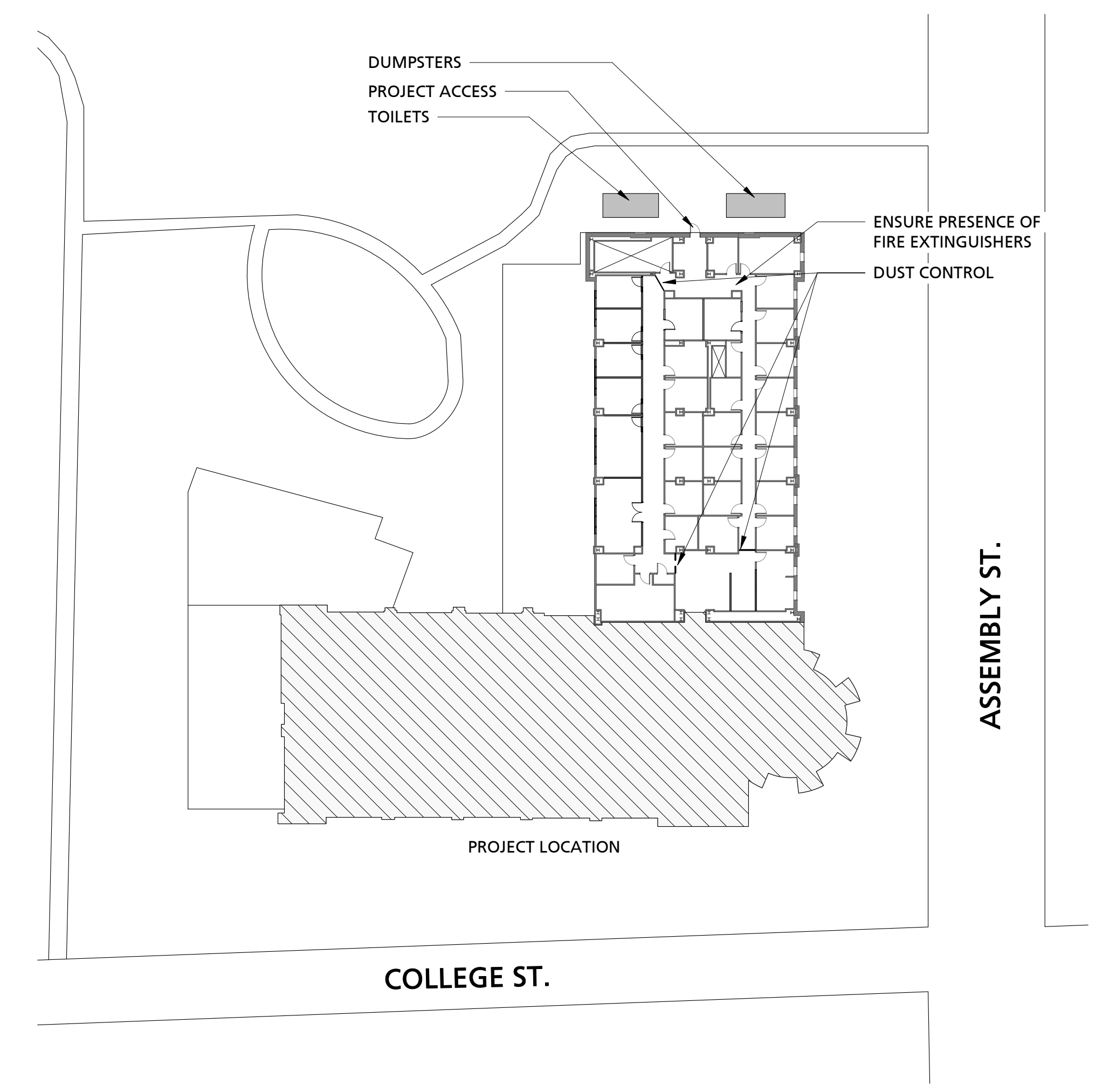
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DRAWING LIST

SHEET NO.	Sheet Name
GENERAL	
CVR	COVER
G101	BUILDING CODE SUMMARY
ARCHITECTURAL	
A101	FLOOR PLANS
A201	REFLECTED CEILING PLAN
A801	DOOR/FINISH SCHEDULES
MECHANICAL	
M101	SECOND FLOOR PLANS
ELECTRICAL	
E001	ELECTRICAL NOTES & LEGENDS
E101	ELECTRICAL DEMOLITION PLANS
E102	ELECTRICAL RENOVATION PLANS



NOTE: 3-D VIEW SHOWN FOR REPRESENTATION ONLY. REFER TO DRAWINGS AND DETAILS FOR ALL MATERIALS, DIMENSIONS, AND CONSTRUCTION DETAILS.



1 SECOND FLOOR- CONSTRUCTION PLAN
1/32" = 1'-0"

DRAWING CONVENTIONS

- 1 View Name
1/8" = 1'-0" VIEW INDICATOR
- LEVEL NAME
ELEVATION ELEVATION INDICATOR
- REVISION CLOUD
- IDENTITY SYMBOLS
- A COLUMN GRID
- 1 BLOWUP DETAIL
- 1 A101 REFERENCE SYMBOLS
- WALL SECTION
- ELEVATION
- INTERIOR ELEVATION
- 4 A101 2
- 2'-0" 2'-0" DIMENSION CONVENTIONS
- LINE SYMBOLS
- CENTER LINE
- DEMOLISHED
- HIDDEN
- OVERHEAD
- PROPERTY LINE
- MATCH LINE
- 1 HOUR RATING
- EXIT SEPARATION

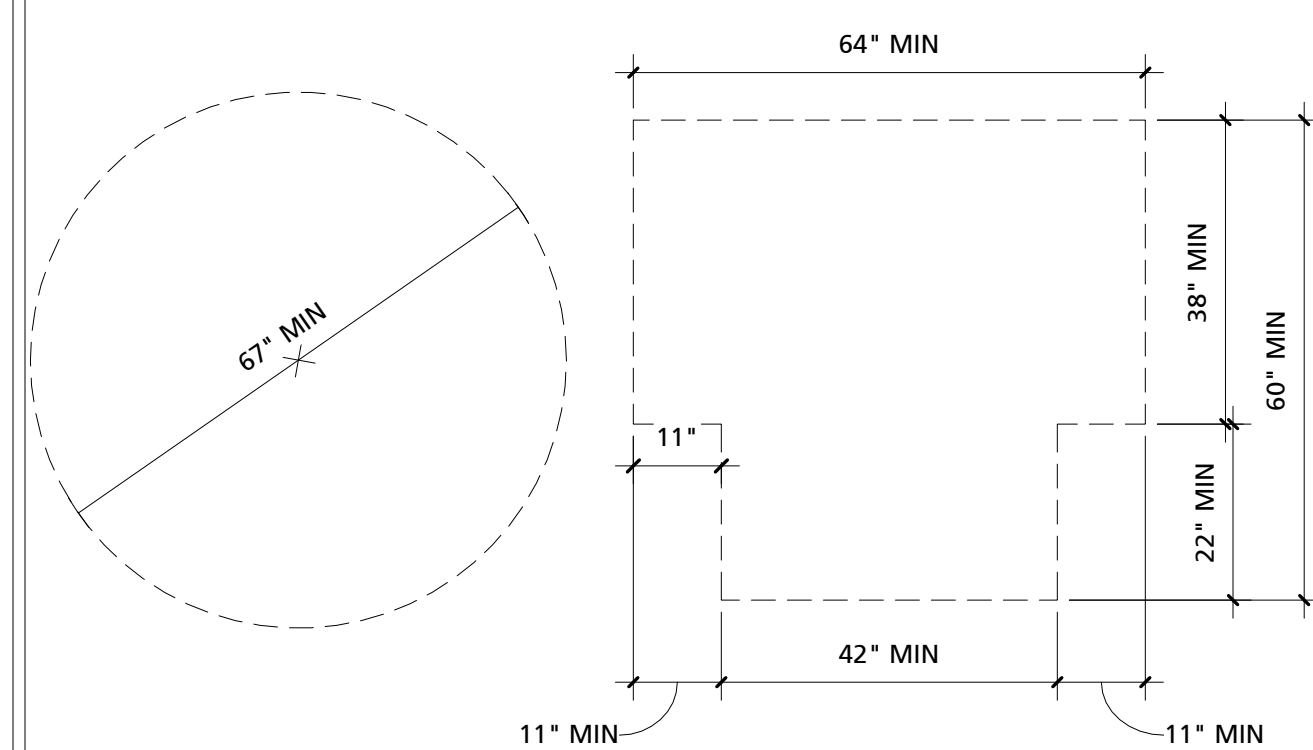
ABBREVIATIONS

AT	MECH	MECHANICAL
AFF	MFR	MANUFACTURER
APC	MIN	MINIMUM
ARCH	MP	METAL PANEL
BLDG	MTL	METAL COPING
CL	NIC	NOT IN CONTRACT
CO	NOM	NOMINAL
CI	NTS	NOT TO SCALE
CPT	OC	CARPET ON CENTER
CTR	OPP	OPPOSITE
CONC	OPNG	OPENING
CMU	P	PAINT
DN	PEMB	PRE ENGINEERED METAL BUILDING
DS	PL	PLASTIC LAMINATE
DWG	PT	PORCELAIN TILE
EIFS	PTB	PORCELAIN TILE BASE
EJ	PTW	PRESSURE TREATED WOOD
ES	RD	REQUIRED
ELEV	RMA	RESILIENT MOLDING ACCESSORIES
EQUIP	RUB	RUBBER BASE
ES	SC	SEALED CONCRETE
EVC	SF	SQUARE FEET
EXP	SIM	SIMILAR
EXT	SPEC	SPECIFICATIONS
EXPT	SS	SOLID SURFACES
EXTG	ST	STUCCO
FD	STD	STANDARD
FE	STW	STAIN WOOD
FEC	STR	STRUCTURAL
GC	TOS	TOP OF STEEL
GL	TYP	TYPICAL
GR	UNO	UNLESS NOTED OTHERWISE
GT	VIF	VERIFY IN FIELD
GWB	WVC	VINYL WALLCOVERING
HM	WW	WELDED WIRE FABRIC
HVAC	XTR	EXISTING TO REMAIN
INSUL		
LVT		
MAX		

ANSI 2017

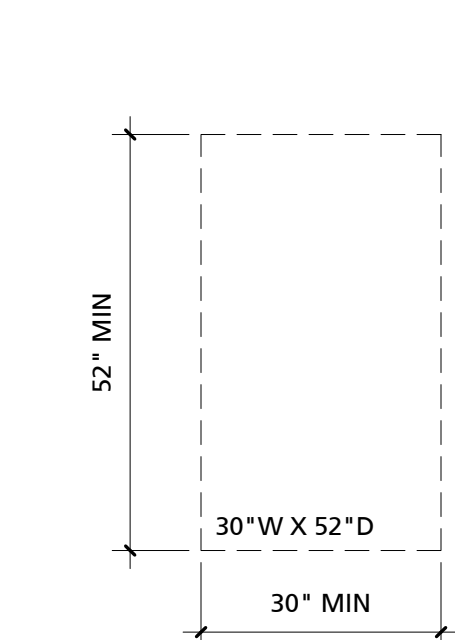
TURNING SPACE

REQUIRED WITHIN ALL ACCESSIBLE RESTROOMS



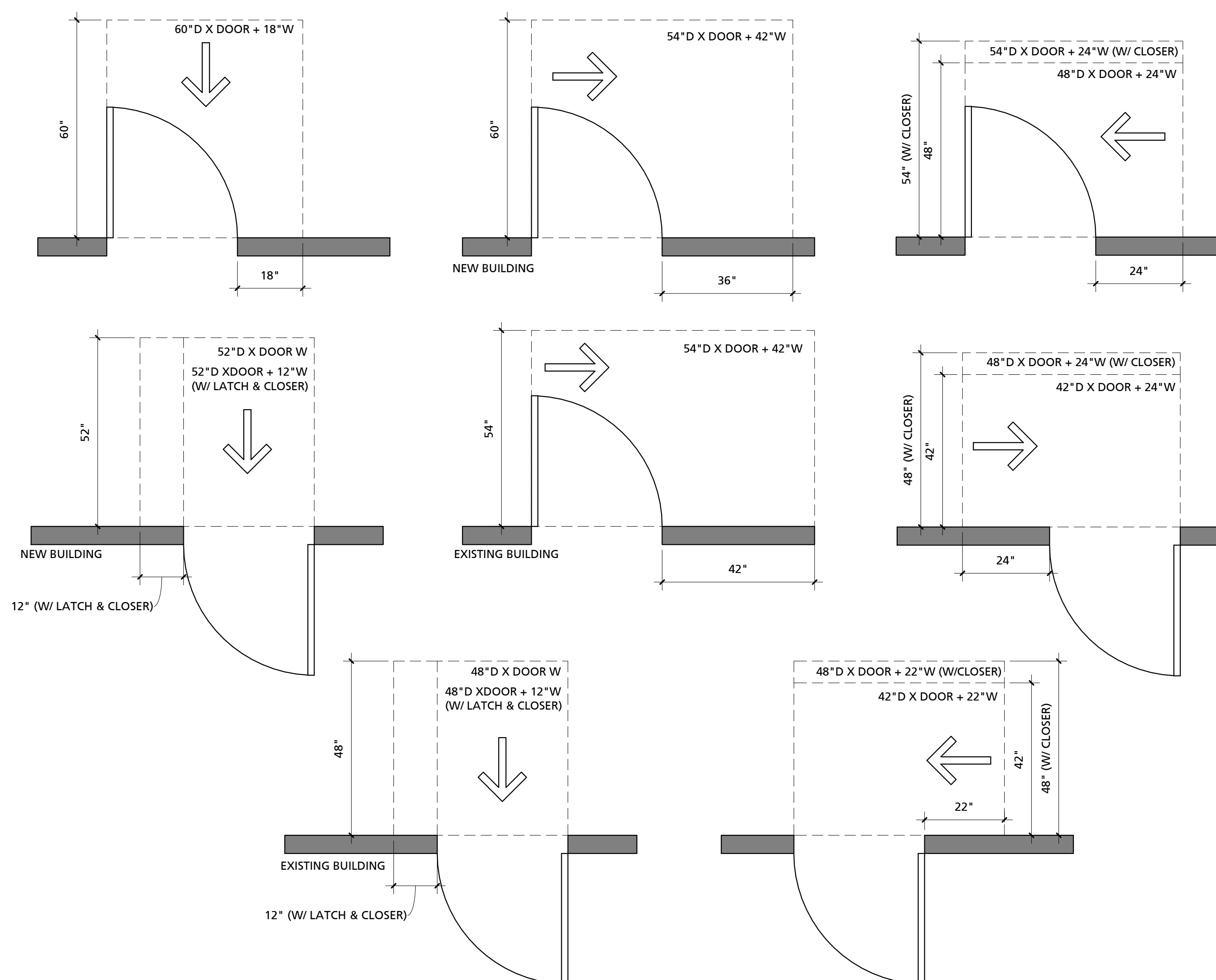
CLEAR FLOOR SPACE

REQUIRED AT ALL ACCESSIBLE LAVATORIES, TOILET COMPARTMENTS AND URINAL COMPARTMENTS



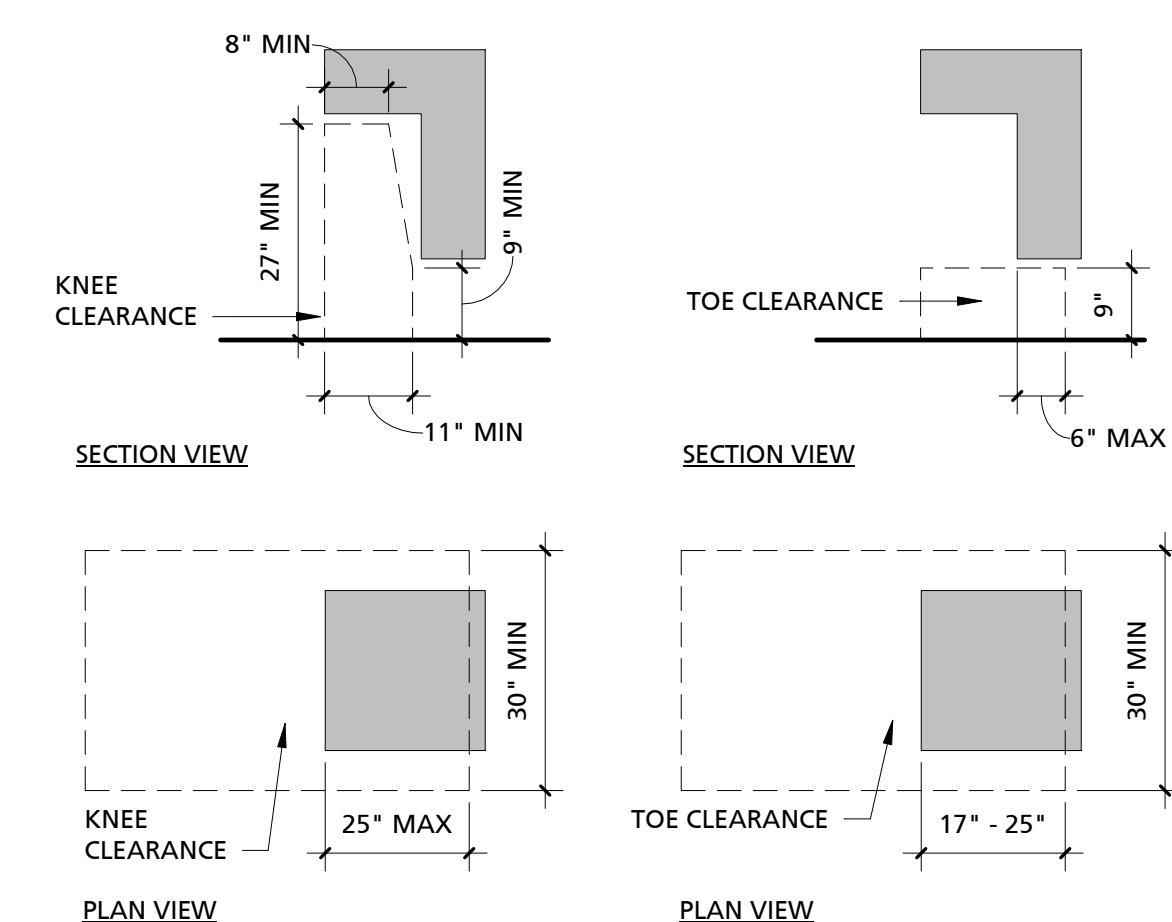
DOOR CLEARANCE

REQUIRED AT ALL ACCESSIBLE DOORS. ARROW INDICATES APPROACH.



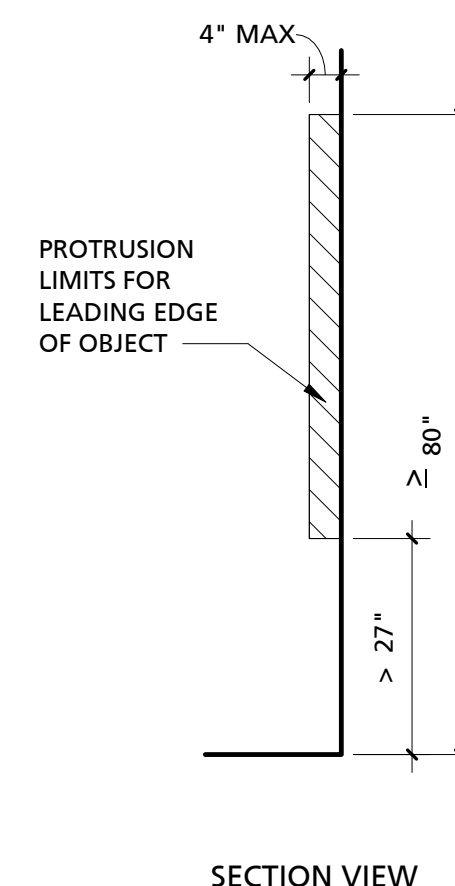
KNEE AND TOE CLEARANCE

REQUIRED AT ALL ACCESSIBLE LAVATORIES AND COUNTERS



PROTRUDING OBJECTS

REQUIRED FOR ALL WALL-MOUNTED OBJECTS LOCATED ALONG CIRCULATION PATHS



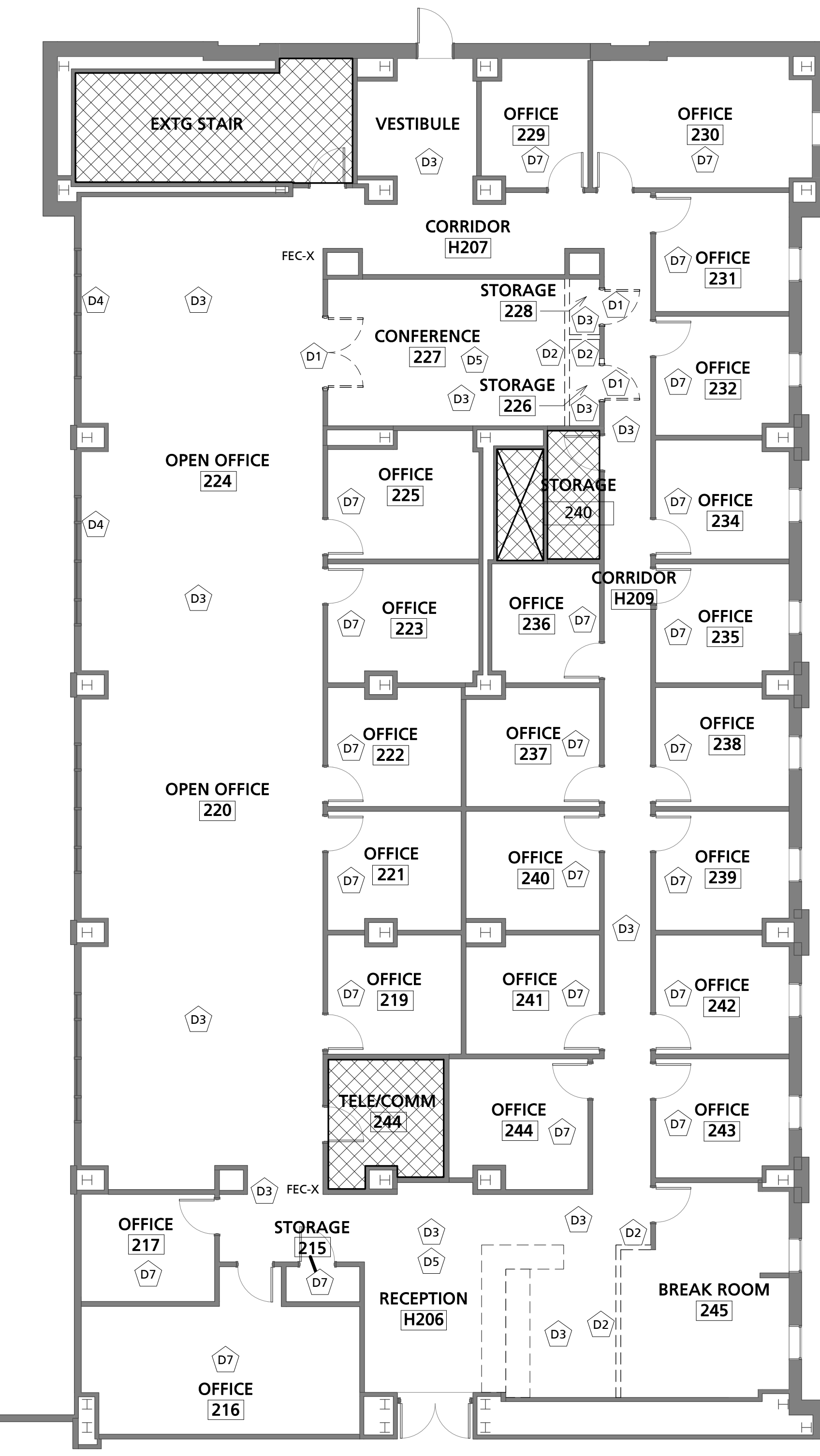
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PHRC- RENOVATION PROJECT 2ND FLOOR SUITE
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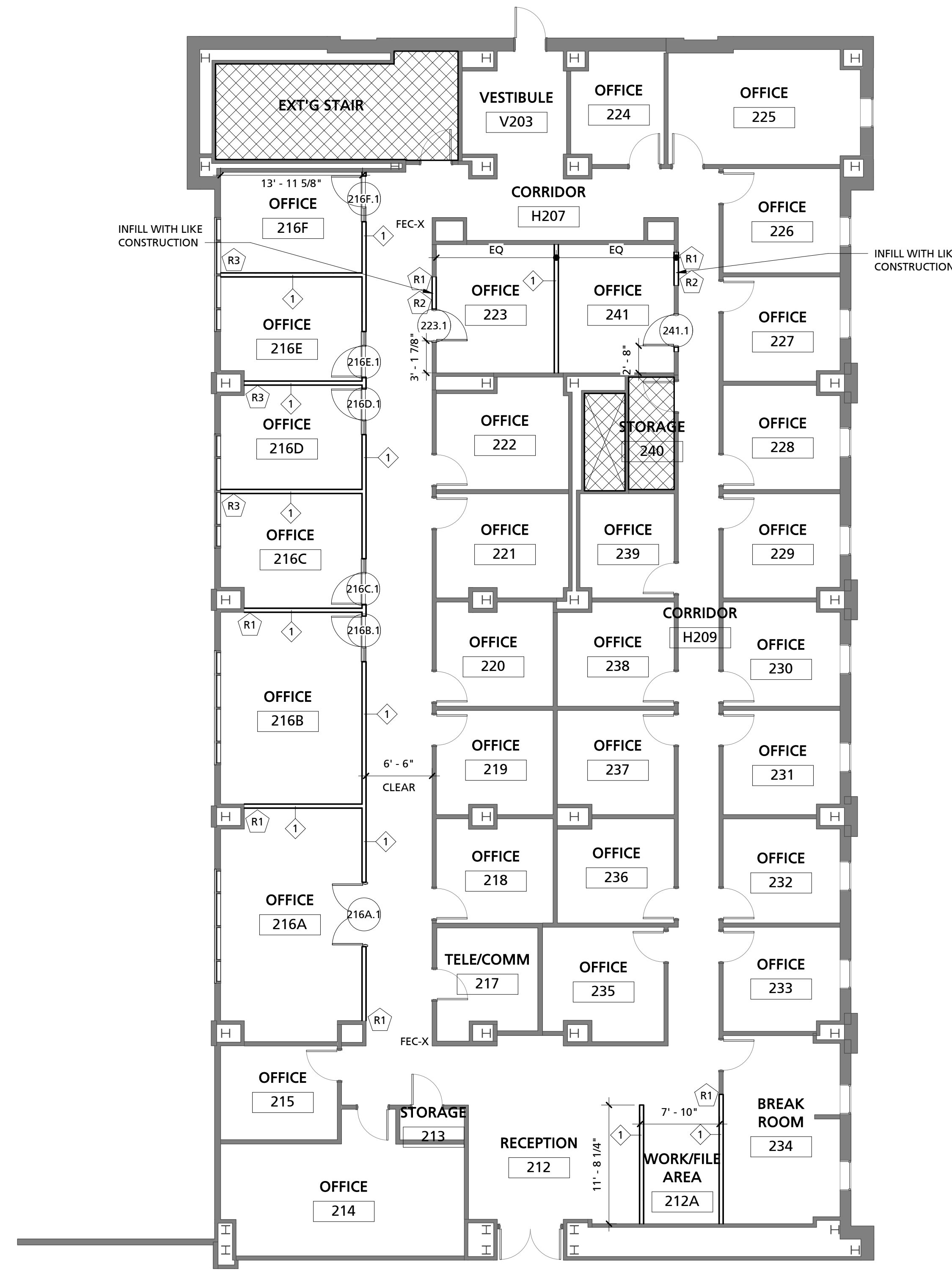
REVISIONS	No.	Description	Date

PROJECT NUMBER: U-17-039-1
SHEET NUMBER: CVR
SHEET NAME: COVER
DATE: 12.20.18

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1 SECOND FLOOR - DEMOLITION PLAN
1/8" = 1'-0"



2 SECOND FLOOR RENOVATION PLAN
1/8" = 1'-0"

NO WORK ANTICIPATED

GENERAL DEMOLITION NOTES

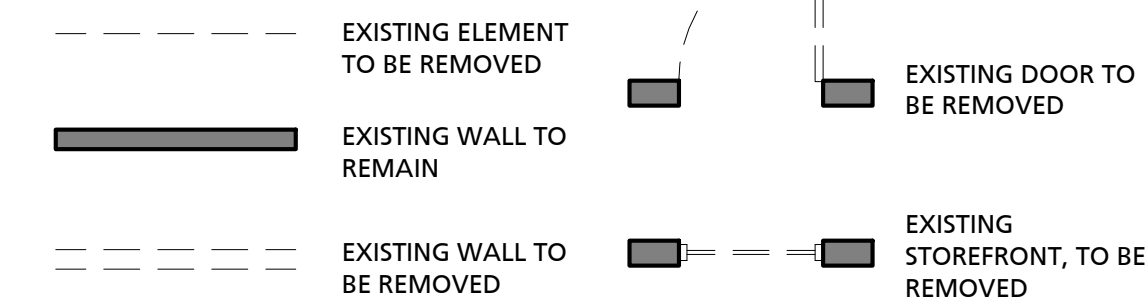
- EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS AND INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY.
- GENERAL CONTRACTOR TO PROTECT ALL ADJACENT SURFACES TO REMAIN FROM DAMAGE DURING CONSTRUCTION. GENERAL CONTRACTOR TO REPAIR/REPLACE ANY ADJACENT SURFACES DAMAGED DURING CONSTRUCTION TO MATCH ORIGINAL CONDITIONS.
- GENERAL CONTRACTOR TO FIELD VERIFY CONDITIONS PRIOR TO START OF CONSTRUCTION.
- ALL EXISTING EXTERIOR ALUMINUM STOREFRONT TO REMAIN.
- SECURE ALL INTERIOR BLINDS DURING CONSTRUCTION FOR REUSE. INVENTORY ANY DAMAGED ROLLERSHADES, AND REPORT TO ARCHITECT.

DEMOLITION KEY NOTE LEGEND

- D1 REMOVE EXISTING DOOR. STORE FOR OWNER REUSE IN FUTURE PROJECT. OWNER TO PACKAGE AND RELOCATE FROM PROJECT SITE.
- D2 REMOVE WALL ENTIRELY. CEILING TO REMAIN.
- D3 REMOVE EXISTING FLOORING AND RUBBER BASE.
- D4 REMOVE EXISTING ROLLERSHADE AND SALVAGE FOR OWNER'S REUSE IN FUTURE PROJECT. OWNER TO PACKAGE AND RELOCATE FROM PROJECT SITE.
- D5 REMOVE EXISTING LIGHTING THIS AREA, SEE ELECTRICAL FOR EXACT LOCATIONS.
- D6 GC TO PROTECT EXISTING ROLLER SHADES, OPTION TO REMOVE, PROTECT AND REINSTALL AT COMPLETION OF PROJECT.
- D7 REMOVE EXISTING FLOORING AND RUBBER BASE. SCORE RUBBER BASE SO IT'S REMOVAL FROM THE EXISTING WALL CREATES MINIMAL DAMAGE/REQUIRED TOUCH-UP. EXISTING FURNITURE TO REMAIN.

DEMOLITION LEGEND

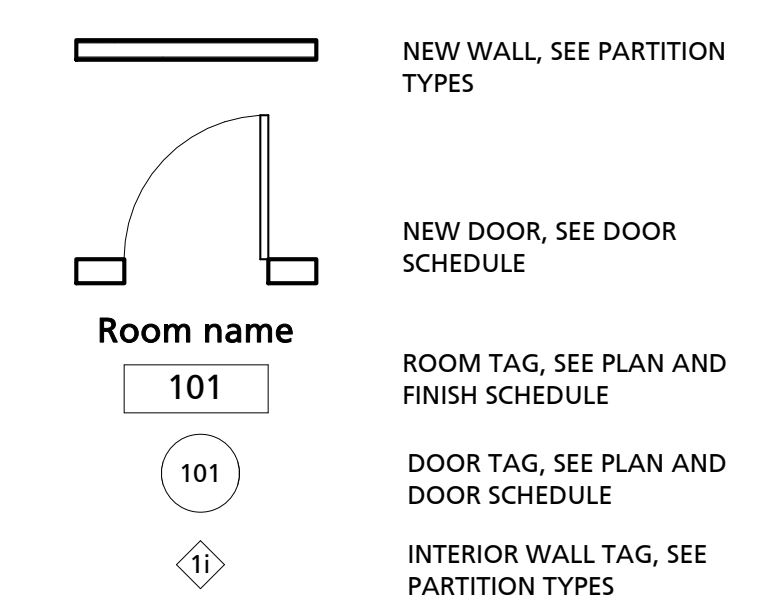
NOTE: SEE DEMOLITION TAGS AND NOTES FOR MORE DETAILS.



GENERAL FLOOR PLAN NOTES

- EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS, OWNER, AND INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY. ALL DIMENSIONS ARE TO FACE OF EXISTING ELEMENT OR FACE OF NEW STUD UNLESS NOTED OTHERWISE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- SEE 88009 FOR FINISH SELECTION AND DETAILS.
- GENERAL CONTRACTOR TO COORDINATE ALL A/V REQUIREMENTS WITH TENANT.
- SEE G101 FOR PARTITION TYPES AND NOTES.

FLOOR PLAN LEGEND



FIRE EXTINGUISHER CABINETS

FIRE EXTINGUISHER CABINET (FEC-X): EXISTING TO REMAIN

RENOVATION KEY NOTE LEGEND

- R1 ALIGN FINISHED FACE OF WALLS
- R2 INFILL WALL TO MATCH EXISTING
- R3 ALIGN WALL TO CENTER OF EXISTING ELEMENT
- R4 NEW PARTITION TO FOLLOW JOG IN EXISTING CEILING.



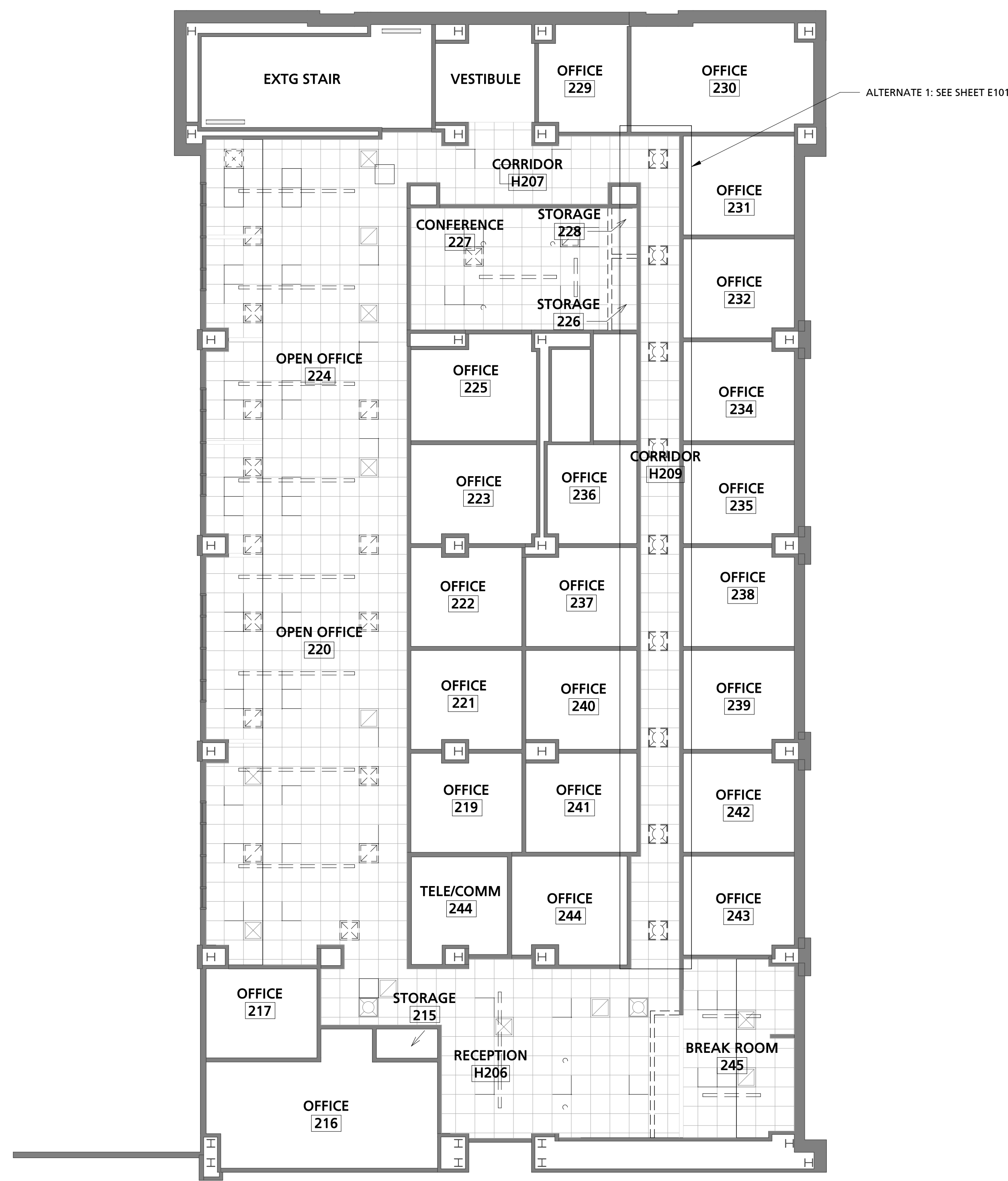
UNIVERSITY OF SOUTH CAROLINA
PHRC - RENOVATION PROJECT 2ND FLOOR SUITE
921 ASSEMBLY STREET, COLUMBIA, SC 29208

REVISIONS	
No.	Description

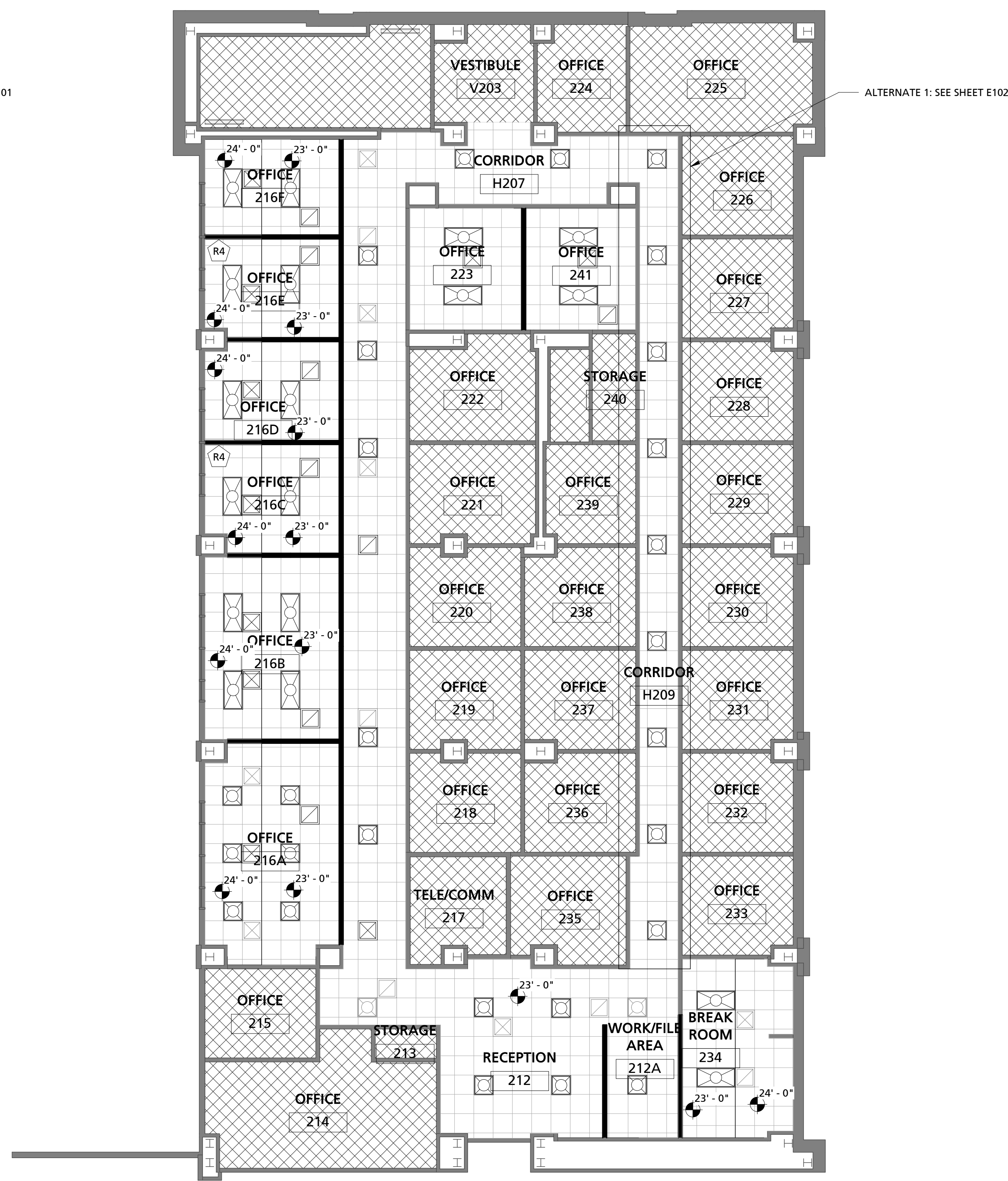
CLIENT NAME: UNIVERSITY OF SOUTH CAROLINA
PROJECT NAME: PHRC - RENOVATION PROJECT 2ND FLOOR SUITE
PROJECT ADDRESS: 921 ASSEMBLY STREET, COLUMBIA, SC 29208
UNIVERSITY Project No: FPO0000192
PROJECT NUMBER: U-17-039-1
SHEET NUMBER: A101
SHEET NAME: FLOOR PLANS
DATE: 12.20.18

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1 SECOND FLOOR- DEMOLITION RCP
1/8" = 1'-0"



3 SECOND FLOOR- RENOVATION RCP
1/8" = 1'-0"

NO CEILING WORK ANTICIPATED

GENERAL REFLECTED CEILING PLAN NOTES

- EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS AND INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY.
- ALL CEILING TILE TO BE CENTERED IN SPACE EXACTLY AS SHOWN UNLESS NOTED OTHERWISE. ALL APC TO BE INSTALLED PER SEISMIC REQUIREMENTS. SEE SPECS.
- SEE ELECTRICAL FOR ALL LIGHT FIXTURES AND ELECTRICAL REQUIREMENTS.
- SEE ELECTRICAL FOR ALL EMERGENCY AND EGRESS FIXTURE LOCATIONS.
- SEE MECHANICAL FOR ALL MECHANICAL ELEMENTS.
- COORDINATE WITH ELECTRICAL AND MECHANICAL FOR ALL FIXTURES AND EQUIPMENT SPECIFICATIONS. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION. WHERE ENGINEERING DRAWINGS CALL FOR ROOF PENETRATIONS WITH EXISTING ROOFING SYSTEM OR ROOF SYSTEM TO BE REPLACED, FLASH AND SEAL AS REQUIRED.

DEMOLITION REFLECTED CEILING PLAN LEGEND

- SUPPLY DIFFUSER, SEE MECHANICAL.
- RETURN REGISTER, SEE MECHANICAL.
- EXISTING LIGHTING FIXTURE
- EXISTING LIGHTING FIXTURE

REFLECTED CEILING PLAN LEGEND

- 2'x2' ACOUSTICAL PANEL CEILING (APC) (EXISTING). HEIGHT VARIES.
- SUPPLY DIFFUSER, SEE MECHANICAL.
- RETURN REGISTER, SEE MECHANICAL.
- 2'x4' LIGHTING FIXTURE
- 2'x2' LIGHTING FIXTURE

DEMOLITION KEY NOTE LEGEND

- D1 REMOVE EXISTING DOOR. STORE FOR OWNER REUSE IN FUTURE PROJECT. OWNER TO PACKAGE AND RELOCATE FROM PROJECT SITE.
- D2 REMOVE WALL ENTIRELY. CEILING TO REMAIN.
- D3 REMOVE EXISTING FLOORING AND RUBBER BASE.
- D4 REMOVE EXISTING ROLLERSHADE AND SALVAGE FOR OWNER'S REUSE IN FUTURE PROJECT. OWNER TO PACKAGE AND RELOCATE FROM PROJECT SITE.
- D5 REMOVE EXISTING LIGHTING THIS AREA. SEE ELECTRICAL FOR EXACT LOCATIONS.
- D6 GC TO PROTECT EXISTING ROLLER SHADES, OPTION TO REMOVE, PROTECT AND REINSTALL AT COMPLETION OF PROJECT.
- D7 REMOVE EXISTING FLOORING AND RUBBER BASE. SCORE RUBBER BASE SO IT'S REMOVAL FROM THE EXISTING WALL CREATES MINIMAL DAMAGE/REQUIRED TOUCH-UP. EXISTING FURNITURE TO REMAIN.

RENOVATION KEY NOTE LEGEND

- R1 ALIGN FINISHED FACE OF WALLS
- R2 INFILL WALL TO MATCH EXISTING
- R3 ALIGN WALL TO CENTER OF EXISTING ELEMENT
- R4 NEW PARTITION TO FOLLOW JOG IN EXISTING CEILING.

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UNIVERSITY OF SOUTH CAROLINA
PHRC- RENOVATION PROJECT 2ND FLOOR SUITE
921 ASSEMBLY STREET, COLUMBIA, SC 29208

University Project No: FP00000192

CLIENT NAME	PROJECT NAME	PROJECT ADDRESS
UNIVERSITY OF SOUTH CAROLINA	PHRC- RENOVATION PROJECT 2ND FLOOR SUITE	921 ASSEMBLY STREET, COLUMBIA, SC 29208

REVISIONS		
No.	Description	Date

PROJECT NUMBER: U-17-039-1
SHEET NUMBER: A201
SHEET NAME: REFLECTED CEILING PLAN
DATE: 12.20.18

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ROOM FINISH SCHEDULE									
NO.	NAME	FLOOR FINISH	BASE FINISH	CEILING FINISH	WALL FINISH (PLAN ORIENTATION)				COMMENTS
					NORTH	SOUTH	EAST	WEST	
212	RECEPTION	CPT 1	RB 1	XTR	P 3	XTR	P 1	XTR	
212A	WORK/FILE AREA	CPT 1	RB 1	XTR	-	P 1	P 1	P 1	
213	STORAGE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	
214	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
215	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
216A	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
216B	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
216C	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
216D	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
216E	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
216F	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
217	TELE/COMM	XTR	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
218	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
219	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
220	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
221	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
222	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
223	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
224	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
225	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
226	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
227	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
228	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
229	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
230	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
231	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
232	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
233	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
234	BREAK ROOM	XTR	XTR	XTR	XTR	XTR	P 1	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
235	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
236	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
237	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
238	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
239	OFFICE	CPT 2	RB 1	XTR	XTR	XTR	XTR	XTR	EXISTING FURNITURE TO REMAIN IN SPACE WHILE WORK IS ONGOING.
240	STORAGE	XTR	XTR	XTR	XTR	XTR	XTR	XTR	
241	OFFICE	CPT 2	RB 1	XTR	P 1	P 1	P 1	P 1	
H207	CORRIDOR	CPT 1	RB 1	XTR	XTR	XTR	XTR	XTR	
H209	CORRIDOR	CPT 1	RB 1	XTR	XTR	XTR	XTR	XTR	
V203	VESTIBULE	CPT 1	RB 1	XTR	XTR	XTR	XTR	XTR	

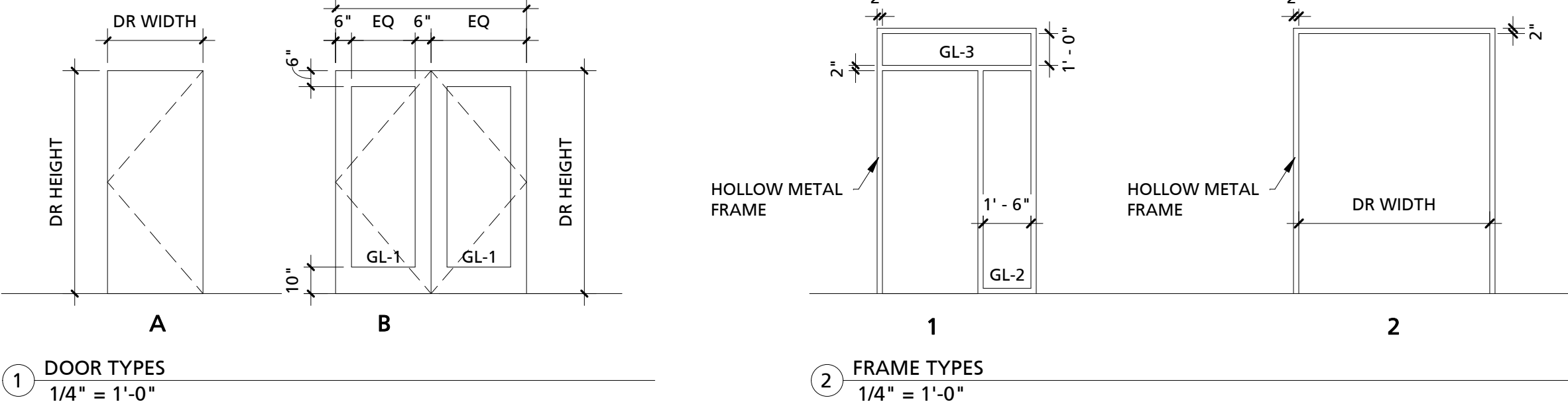
INTERIOR FINISH SPECIFICATION LEGEND (BASIS OF DESIGN)

FLOORING:	
CPT 1 - CARPET TILE MFR: MANNINGTON COMMERCIAL OR APPROVED EQUAL DESIGN: HUSK COLOR: TBD SIZE: 24 in x 24 in INSTALLATION: ASHLAR OR AS RECOMMENDED BY MANUFACTURER	RB 1 - RUBBER COVE BASE MFR: JOHNSONITE OR APPROVED EQUAL STYLE: BASIS OF DESIGN, PERCEPTIONS WALL BASE CONTOUR COLOR: TBD SIZE: 4 1/4"
CPT 2 - CARPET TILE MFR: MANNINGTON COMMERCIAL OR APPROVED EQUAL DESIGN: HUSK COLOR: TBD SIZE: 24 in x 24 in INSTALLATION: ASHLAR OR AS RECOMMENDED BY MANUFACTURER	
PAINT:	
P 1 - (GENERAL FIELD COLOR) MFR: SHERWIN WILLIAMS OR APPROVED EQUAL COLOR: TBD FINISH: EG-SHEL	P 2 - (HOLLOW METAL FRAME PAINT) MFR: SHERWIN WILLIAMS OR APPROVED EQUAL COLOR: TBD FINISH: SEMI-GLOSS
P 3 - (ACCENT COLOR) MFR: SHERWIN WILLIAMS OR APPROVED EQUAL COLOR: TBD FINISH: EG-SHEL	

* ALL FINISHES TO MEET FLAME SPREAD REQUIREMENTS. INSTALL ALL MATERIALS PER MANUFACTURER RECOMMENDATIONS.
* REFER TO PROJECT MANUAL FOR ADDITIONAL INFORMATION ON OTHER ACCEPTABLE MANUFACTURERS.

DOOR SCHEDULE												
NUMBER	SIZE		DOOR			FIRE RATING	FRAME			HARDWARE COMMENTS	COMMENTS	
	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH		TYPE	MATERIAL	FINISH			
216A.1	6'-0"	7'-0"	A	A.72.84.00	WOOD	STAINED	0	2	HOLLOW METAL	P2		A,B
216B.1	4'-6"	7'-0"	A	A.36.84.00	WOOD	STAINED	0	1	HOLLOW METAL	P2		A,B
216C.1	4'-6"	7'-0"	A	A.36.84.00	WOOD	STAINED	0	1	HOLLOW METAL	P2		A,B
216D.1	4'-6"	7'-0"	A	A.36.84.00	WOOD	STAINED	0	1	HOLLOW METAL	P2		A,B
216E.1	4'-6"	7'-0"	A	A.36.84.00	WOOD	STAINED	0	1	HOLLOW METAL	P2		A,B
216F.1	4'-6"	7'-0"	A	A.36.84.00	WOOD	STAINED	0	1	HOLLOW METAL	P2		A,B
223.1	3'-0"	7'-0"	A	A.36.84.00	WOOD	STAINED	0	1	HOLLOW METAL	P2		A,B
241.1	3'-0"	7'-0"	A	A.36.84.00	WOOD	STAINED	0	1	HOLLOW METAL	P2		A,B

DOOR SCHEDULE COMMENTS:
A: SEE FINISH SCHEDULE FOR PAINT DESIGNATIONS
B: STAINED WOOD FINISH SHALL BE SELECTED FROM MANUFACTURERS' FULL RANGE



GENERAL INTERIOR FINISH NOTES

- FOR FINISH LOCATIONS, REFER TO PLAN NORTH, SOUTH, EAST AND WEST FOR FINISH PLACEMENT.
- FIELD VERIFY ALL LOCATIONS FOR CASEWORK PLACEMENT, PRIOR TO FABRICATION. ENSURE ALL CLEARANCES ARE MET AND ACCOUNTED FOR. NOTIFY CONTRACTOR OF ANY DISCREPANCIES IMMEDIATELY.
- ALL INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723. FINISHES SHALL BE MEET CLASS A REQUIREMENTS, UNLESS NOTED OTHERWISE.
- INSTALL ALL MATERIALS PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- ALL APC TO BE INSTALLED PER SEISMIC REQUIREMENTS.
- PROVIDE PROPER MATERIAL TRANSITION STRIPS WHERE NEEDED.
- <PER PROJECT AS REQD>- GENERAL CONTRACTOR TO COORDINATE ACOUSTICAL CEILING INSTALLATION WITH MILLWORK PROFILES.
- <PER PROJECT AS REQD>- ALL PRODUCTS SELECTED ARE FOR BASIS OF DESIGN PURPOSES AND "APPLIES TO APPLIES" PRICING EXERCISE. PLEASE ENSURE ANY SUBSTITUTIONS/ALTERNATES ARE REVIEWED WITH OWNER PRIOR TO INSTALLATION.

GENERAL DOOR NOTES

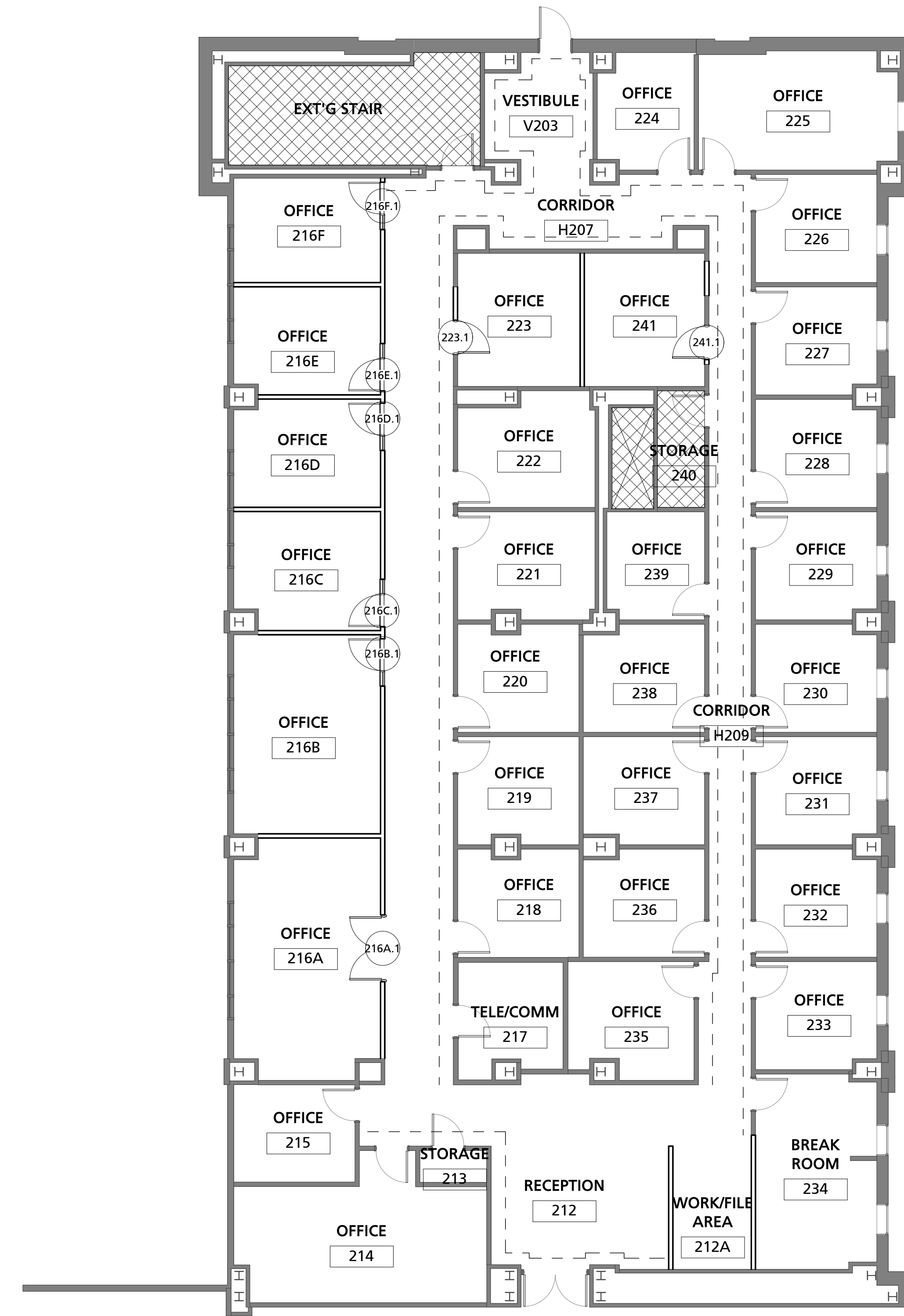
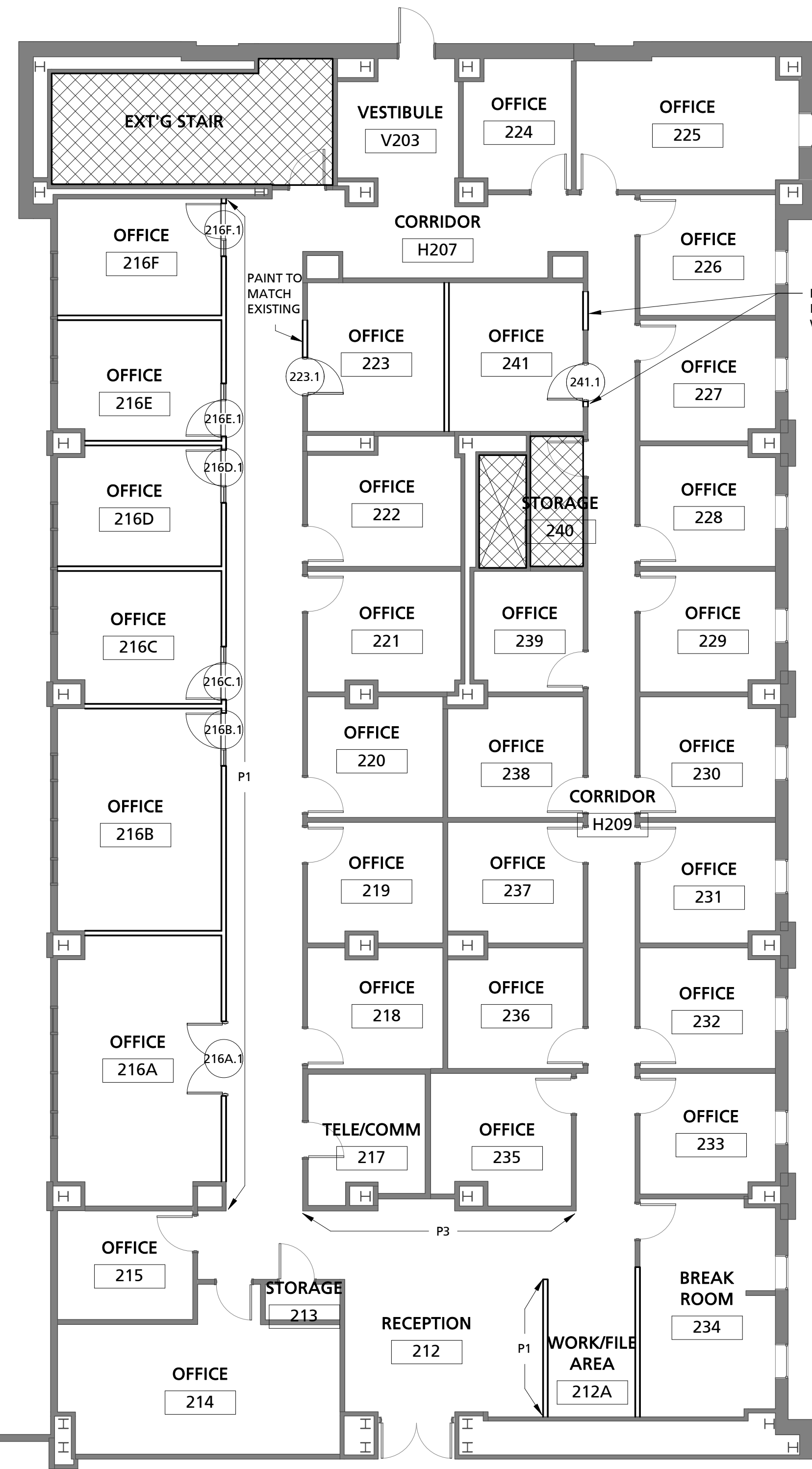
- DOOR TYPE INDICATES DOOR TYPE, DOOR WIDTH (IN INCHES), DOOR HEIGHT (IN INCHES) AND RATING (IN MINUTES). FOR EXAMPLE, DOOR TYPE A 36.84.00 IS A DOOR TYPE "A", 36" IN WIDTH, 84" IN HEIGHT, WITH A 10" MINUTE FIRE RATING. ALL DOORS TO BE LOCATED 6" FROM ADJACENT PERPENDICULAR WALL TO INSIDE FACE OF FRAME, UNLESS NOTED OTHERWISE. THIS DOES NOT APPLY TO STOREFRONT ITEMS.
- HEAD, JAMB AND SILL DETAILS ARE NOT SHOWN. COORDINATE WITH MANUFACTURER'S REQUIREMENTS, STRUCTURAL DRAWINGS, AND PARTITION TYPES FOR EXACT PRODUCT SELECTED AND APPROVED FOR USE. GC SHALL BE RESPONSIBLE FOR COORDINATING DETAILS AS REQUIRED.
- DOOR HARDWARE ALLOWANCE: \$600 PER NEW LEAF, MATCH EXISTING HARDWARE IF APPLICABLE AND COORDINATE WITH OWNER. SEE SPECS.
- REFER TO THIS SHEET FOR FINISH DESIGNATIONS.

GENERAL STOREFRONT NOTES

GL 1 - BASIS OF DESIGN MFR: PRODUCT: NOTE:	GUARDIAN INDUSTRIES CORP OR EQUAL CLEAR LAMINATED GLASS PROVIDE SAFETY GLAZING LABEL
GL 2 - BASIS OF DESIGN MFR: PRODUCT: THICKNESS: NOTE:	GUARDIAN INDUSTRIES CORP OR EQUAL CLEAR TEMPERED GLASS 1/4" MIN PROVIDE SAFETY GLAZING LABEL
GL 3 - BASIS OF DESIGN MFR: PRODUCT:	GUARDIAN INDUSTRIES CORP OR EQUAL CLEAR MONOLITHIC GLASS

ALTERNATE #2:

PAINT ALL COMMON AREA WALLS NOT IN THE BASE BID INCLUDED IN AREAS H207, H209, V203 TO EXTENTS SHOWN ON THIS DRAWING. PAINT COLOR TO BE DETERMINED IF ALTERNATE IS ACCEPTED.



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12.20.18

UNIVERSITY OF SOUTH CAROLINA
PHRC- RENOVATION PROJECT 2ND FLOOR SUITE
921 ASSEMBLY STREET, COLUMBIA, SC 29208

University Project No: EP00000192

CLIENT NAME
PROJECT NAME
PROJECT ADDRESS

REVISIONS	No.	Description	Date

PROJECT NUMBER: U-17-039-1
A801
SHEET NAME: DOOR/FINISH SCHEDULES
DATE: 12.20.18

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AIR DISTRIBUTION SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	MODEL	FRAME	CFM	NECK SIZE	FACE SIZE	MAX NC	REMARKS
(A)	UNI-FLOW SUPPLY	PRICE	ASPD	LAY-IN	126-250	8"ø	24"x24"	30	1, 2

1. PROVIDE WITH STANDARD WHITE FINISH.
2. PROVIDE ALUMINUM OR ALUMINIZED STEEL CONSTRUCTION.

DEMOLITION NOTES

- ① REMOVE EXISTING CEILING GRILLE AND DUCTWORK BACK TO TRUNK DUCT. PATCH TRUNK DUCT WITH SHEET METAL AND DUCT SEALER. PATCH INSULATION TO MATCH EXISTING.
- ② RELOCATE EXISTING GRILL AS SHOWN ON RENOVATION PLAN.
- ③ RELOCATE EXISTING THERMOSTAT AS SHOWN ON RENOVATION PLAN.

NOTES TO SHEET

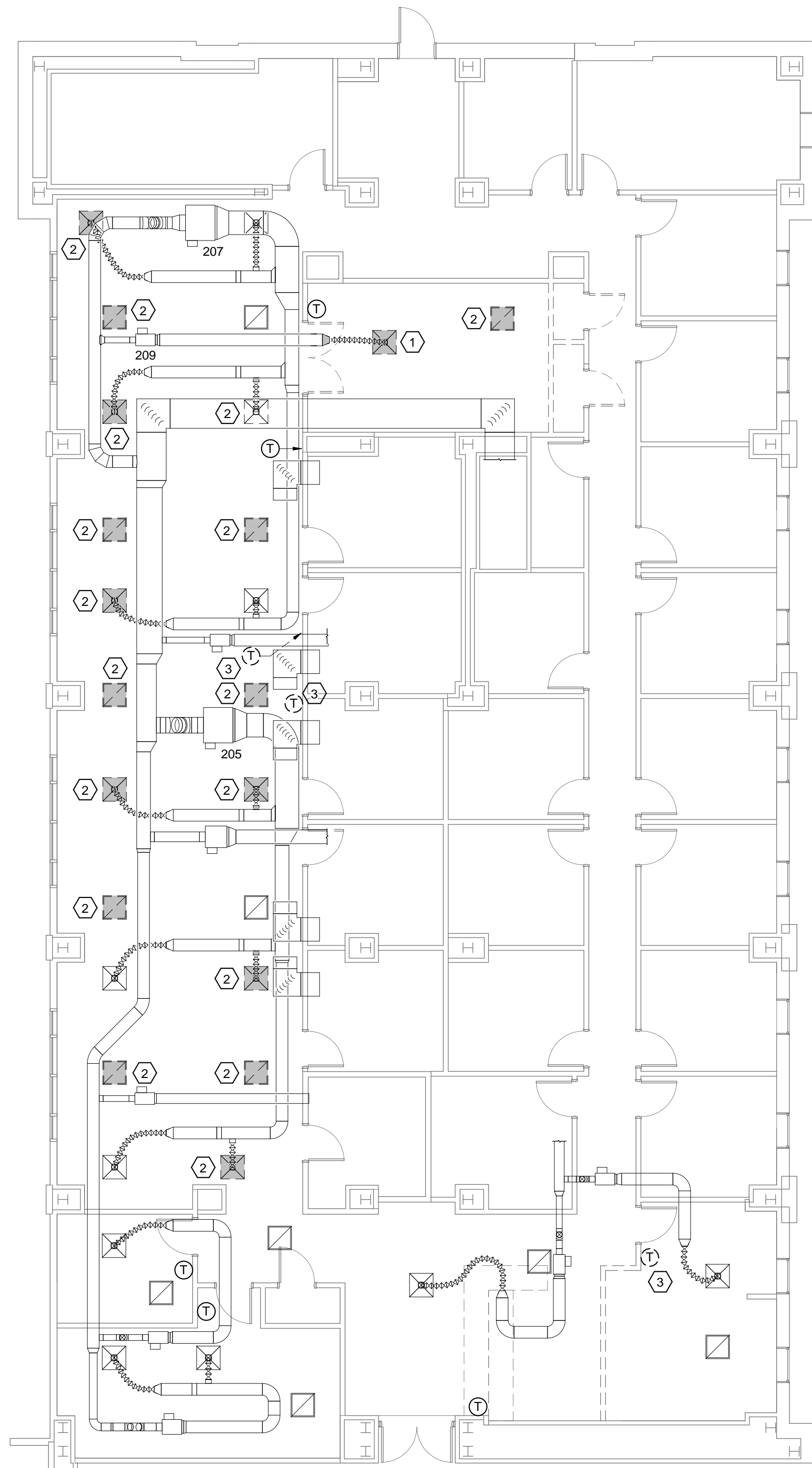
- ① RELOCATE EXISTING SUPPLY DIFFUSER TO THIS LOCATION. PROVIDE ADDITIONAL ROUND METAL DUCT AND FLEXIBLE DUCT AS REQUIRED.
- ② RELOCATE EXISTING GRILLE TO THIS LOCATION.
- ③ RELOCATE EXISTING THERMOSTAT TO THIS LOCATION.

GENERAL NOTES

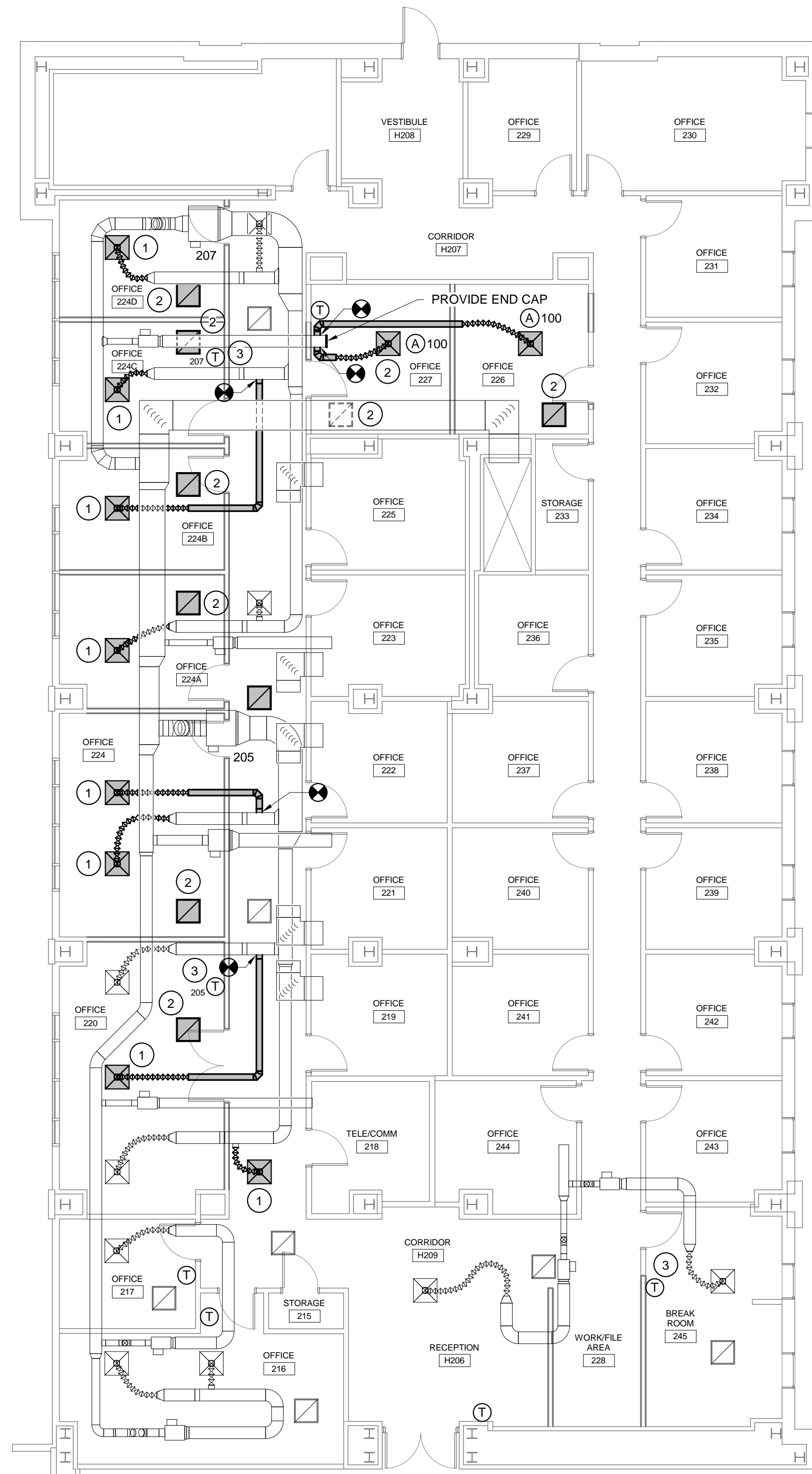
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL CODE, 2015 INTERNATIONAL FUEL GAS CODE, 2009 INTERNATIONAL ENERGY CONSERVATION CODE, AND 2005 SMACNA HVAC DUCT CONSTRUCTION STANDARD. ALL LOCAL CODES OR REQUIREMENTS STILL APPLY.
2. VISIT SITE PRIOR TO BIDDING. THIS CONTRACTOR SHALL DETERMINE DIFFICULTY OF INSTALLATION AND REFLECT THIS IN HIS BIDDING.
3. DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF DOORS, WINDOWS, AIR DISTRIBUTION, ETC.
4. DO NOT SCALE DRAWINGS. THIS CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND LOCATIONS IN THE FIELD.
5. ALL PIPING AND DUCTWORK LOCATIONS SHALL BE COORDINATED WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID INTERFERENCE.
6. SPACE ABOVE CEILING TO BE USED AS RETURN AIR PLENUM WHERE DUCT IS NOT INDICATED ABOVE RETURN AIR GRILLES.
7. THIS CONTRACTOR SHALL PROVIDE ALL ITEMS OF MISCELLANEOUS STEEL AS REQUIRED FOR INSTALLATION OF ALL MECHANICAL ITEMS.
8. REMOVAL AND REPLACEMENT OF CEILING, AS REQUIRED FOR INSTALLATION OF NEW WORK, SHALL BE DONE BY GENERAL CONTRACTOR.
9. THIS CONTRACTOR SHALL INCLUDE THE COST FOR ALL CONTROL WIRING AND RELOCATION OF THERMOSTATS. CONTROLS SHALL LBE BY JOHNSONS CONTROLS.
10. LOCATE ALL SPACE CONTROL INSTRUMENTS 4'-0" ABOVE FINISHED FLOOR. COORDINATE LOCATIONS WITH ARCHITECTURAL ELEVATIONS TO AVOID ITEMS INCLUDING BUT NOT LIMITED TO CUSTOM FINISHES, FIXED CASEWORK, FURNITURE, AND DOOR SWINGS. IN THE EVENT OF CONFLICTS IN THE FIELD, THE CONTRACTOR SHALL BRING THIS TO THE ATTENTION OF THE A/E FOR FINAL APPROVAL OF LOCATION.
11. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY DISMANTLING OF EQUIPMENT TO BE REMOVED.
12. ITEMS REMOVED UNDER THIS CONTRACT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY.
13. THIS CONTRACTOR SHALL PATCH ALL WALLS AND FINISHES TO MATCH EXISTING WHERE ALL ITEMS OR EQUIPMENT ARE REMOVED.
14. THE HVAC SYSTEMS SHALL NOT BE OPERATED DURING HEAVY CONSTRUCTION OPERATIONS INCLUDING MASONRY, GYPSUM BOARD SANDING, HEAVY CLEANUP ACTIVITIES, OR OTHER ACTIVITIES THAT CREATE AIRBORNE PARTICLES OR DEBRIS. ALL SYSTEMS SHALL BE CLEAN OF CONSTRUCTION DEBRIS, DUST AND DIRT AT FINAL COMPLETION. DUCT CLEANING AND UNIT/COIL CLEANING SHALL BE PERFORMED IF REQUIRED. IF EQUIPMENT OPERATES DURING CONSTRUCTION PROVIDE FILTER MEDIA OVER ALL RETURN GRILLES AND RETURN DUCT OPENINGS TO PROTECT DUCTS AND EQUIPMENT.

LEGEND

SYMBOL	DESCRIPTION
(A) 100	TYPE "A" DIFFUSER, 100 CFM
(T)	THERMOSTAT
☒	RECTANGULAR SUPPLY DUCTWORK
☑	RETURN AND FRESH AIR DUCTWORK
⊙	CONNECTION POINT OF NEW TO EXISTING



1 SECOND FLOOR DEMOLITION PLAN
M101 1/8" = 1'-0"



2 SECOND FLOOR RENOVATION PLAN
M101 1/8" = 1'-0"

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UNIVERSITY OF SOUTH CAROLINA	University Project No: FP00000192
PHRC- RENOVATION PROJECT 2ND FLOOR SUITE	PROJECT NUMBER
921 ASSEMBLY STREET, COLUMBIA, SC 29208	PROJECT ADDRESS

NO.	DESCRIPTION	DATE

<p>DBA Swygert & Assoc., Ltd. Telephone: (803) 791-9300 Fax: (803) 791-8039 Columbia, SC 29211 mail@swygert-associates.com</p>	<p>PROJECT NUMBER U-17-039-1</p> <p style="font-size: 1.2em; font-weight: bold;">M101</p> <p style="font-size: 0.8em;">SHEET NAME SECOND FLOOR PLANS</p> <p style="font-size: 0.8em;">DATE 12.20.18</p>
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GENERAL "ELECTRICAL" NOTES

- 1 BRANCH CIRCUIT WIRING SHALL BE NO. 12 AWG UNLESS NOTED OTHERWISE. WHERE CONDUCTOR AND RACEWAY SIZE ARE SHOWN AT HOMERUN, SUCH SIZE SHALL BE USED FOR THE ENTIRE CIRCUIT. EXCEPTION: FINAL CONNECTION TO DEVICES, IN OUTLET BOXES, IS NOT REQUIRED TO BE LARGER THAN NO. 12 AWG.

GENERAL "LIGHTING" NOTES

- 1 SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR THE EXACT LOCATION OF ALL CEILING MOUNTED LIGHTING FIXTURES.

GENERAL EXISTING CONDITION NOTES

- 1 AREAS OF WORK EXIST FOR THIS PROJECT WHICH ARE NOT ACCESSIBLE OR HAVE LIMITED ACCESS DURING DESIGN. AS SUCH CONTRACTOR SHALL VERIFY ALL UTILITIES IN AREA OF WORK BEFORE DEMOLITION OF ANY SERVICE. ANY ELECTRICAL COMPONENTS NOT SHOWN SHALL BE IDENTIFIED AND THE ARCHITECT AND ENGINEER SHALL BE NOTIFIED AS SOON AS POSSIBLE. NO ELECTRICAL REWORK SHALL BE COMMENCED WITHOUT COORDINATION OF BOTH ARCHITECT AND ENGINEER.

GENERAL "SIGNAL" NOTES

- 1 ALL COMMUNICATIONS OUTLET BOXES SHALL BE 2-1/2" DEEP.

GENERAL "DEMOLITION" NOTES

- 1 ALL ELECTRICAL EQUIPMENT TO BE REMOVED SHALL REMAIN THE PROPERTY OF THE OWNER. THE CONTRACTOR SHALL NOT DISPOSE OF ANY MATERIALS UNTIL RELEASED BY OWNER'S PROJECT MANAGER. MATERIALS THAT OWNER'S PROJECT MANAGER CHOOSES TO RETAIN SHALL BE DELIVERED BY THE CONTRACTOR TO A LOCATION DESIGNATED BY THE PROJECT MANAGER. ALL OTHER MATERIALS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR.

ELECTRICAL SYMBOL LEGEND

Table with 4 columns: SYMBOL, DESCRIPTION, SYMBOL, DESCRIPTION. Lists various electrical symbols and their corresponding descriptions, such as SINGLE RECEPTACLE, DUPLEX RECEPTACLE, and FIRE ALARM FULL STATION.

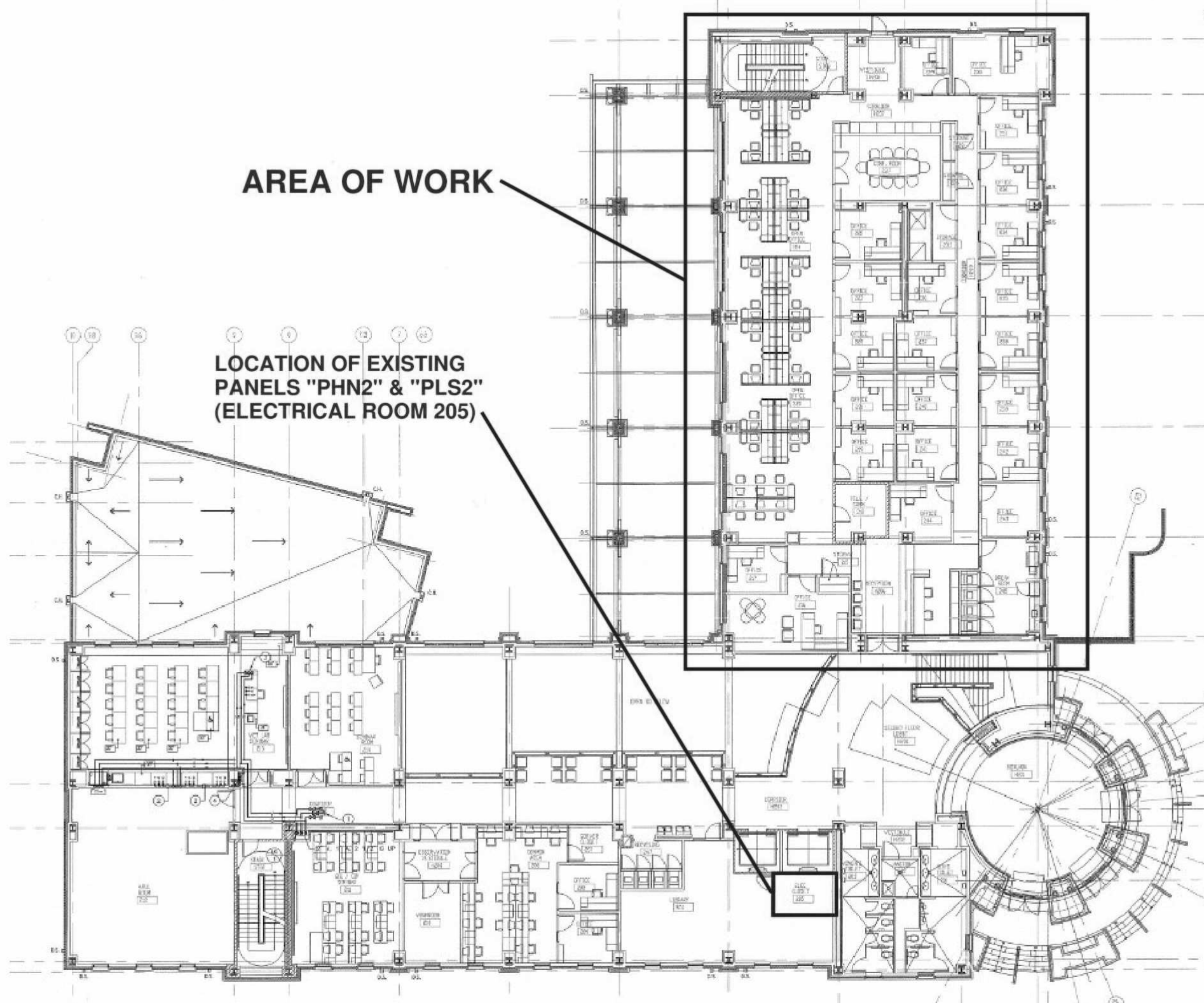
LIGHTING CONTROL SCHEME LEGEND

Legend table with columns: MARK, MANUAL / WALL STATION(S), MULTI-LEVEL SWITCHED/ZONED, OCCUPANCY SENSOR, VACANCY SENSOR, SCHEDULED AUTO-ON, SCHEDULED AUTO-OFF, DAYLIGHT CONTROL DAYLIGHT ON / OFF, DAYLIGHT DIMMED, PLUGLOAD CONTROL, NOTES.

LIGHTING CONTROL SCHEME NOTES

- 1 MANUAL WALL SWITCH SHALL BE PART OF THE LIGHTING CONTROL SYSTEM. REFER TO PLANS FOR MANUAL WALL STATION LOCATION(S) IN EACH SPACE.

AREA OF WORK



1 KEYPLAN E001 NOT TO SCALE

LIGHT FIXTURE SCHEDULE

Table with columns: SYMBOL, TYPE, FIXTURE DESCRIPTION, MANUFACTURER, CAT. #, NO., LAMP TYPE, FIXT. LOAD, VOLTS, MOUNTING, REMARKS, NOTES.

LIGHT FIXTURE SCHEDULE NOTES

- 1 LUMENS LISTED IN SCHEDULE REPRESENT DELIVERED LUMENS OF FIXTURES.

DEMOLITION/RENOVATION NOTATION

IF NO ANNOTATION IS SHOWN ASSUME EXISTING TO REMAIN IN PLACE FOR SOLID LINES AND DEMOLISH FOR DASHED LINES. DEVICES AND EQUIPMENT NOT SHOWN SHALL BE ASSUMED TO BE EXISTING TO REMAIN IN PLACE.

ELECTRICAL DRAWING INDEX

Table with columns: #, SHEET NAME. Lists sheets E001, E101, and E102.

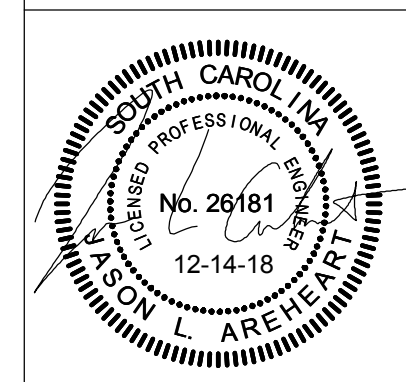
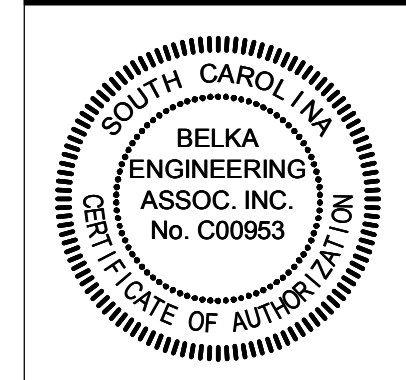
ABBREVIATIONS

Table with columns: ABR, DESCRIPTION. Lists abbreviations like (E) EXISTING, AFC ABOVE FINISHED CEILING, AFF ABOVE FINISHED FLOOR, etc.

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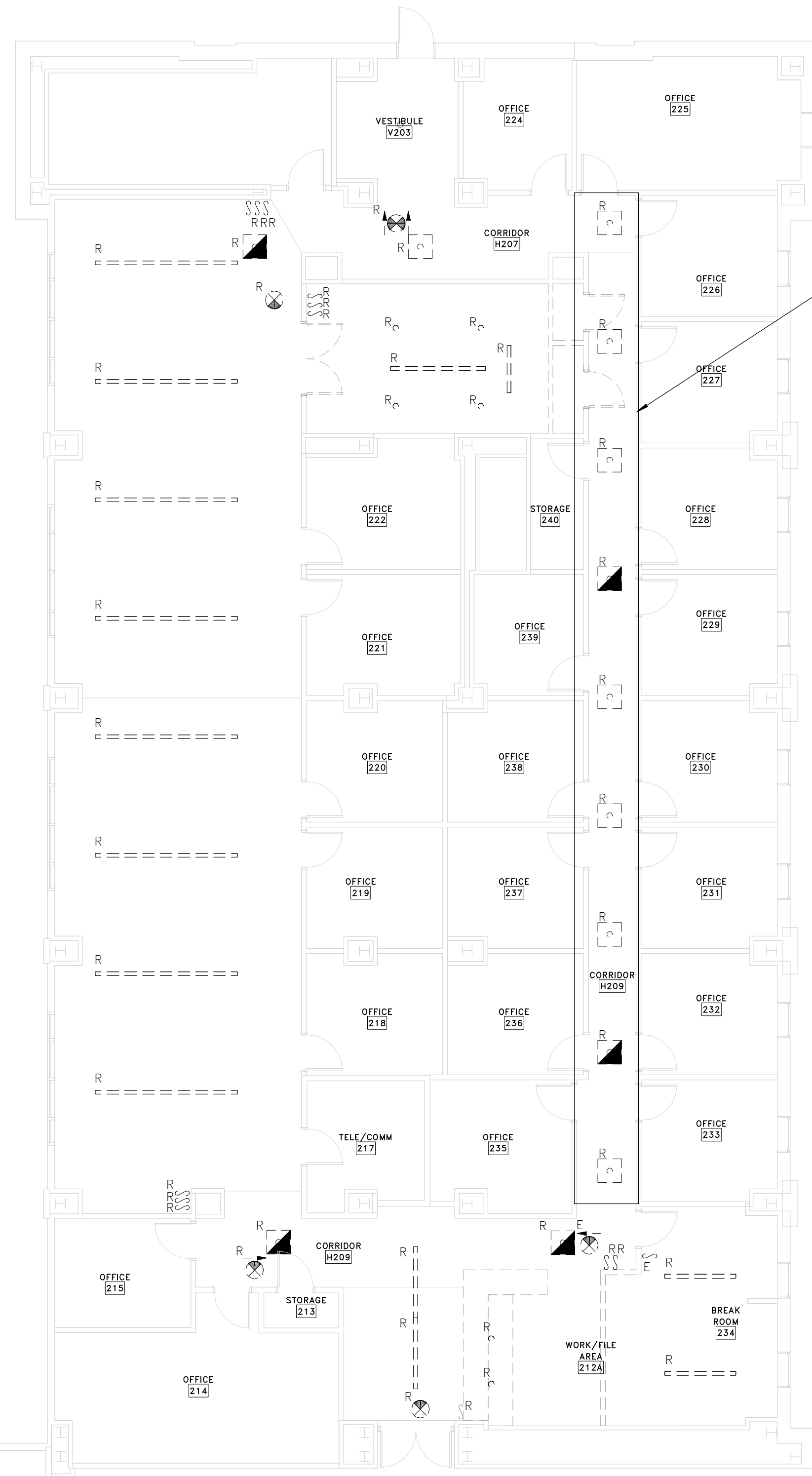
REVISION table with columns: NO., DESCRIPTION, DATE. Includes a list of revisions and a date stamp: 12/17/2018 4:54:03 PM.

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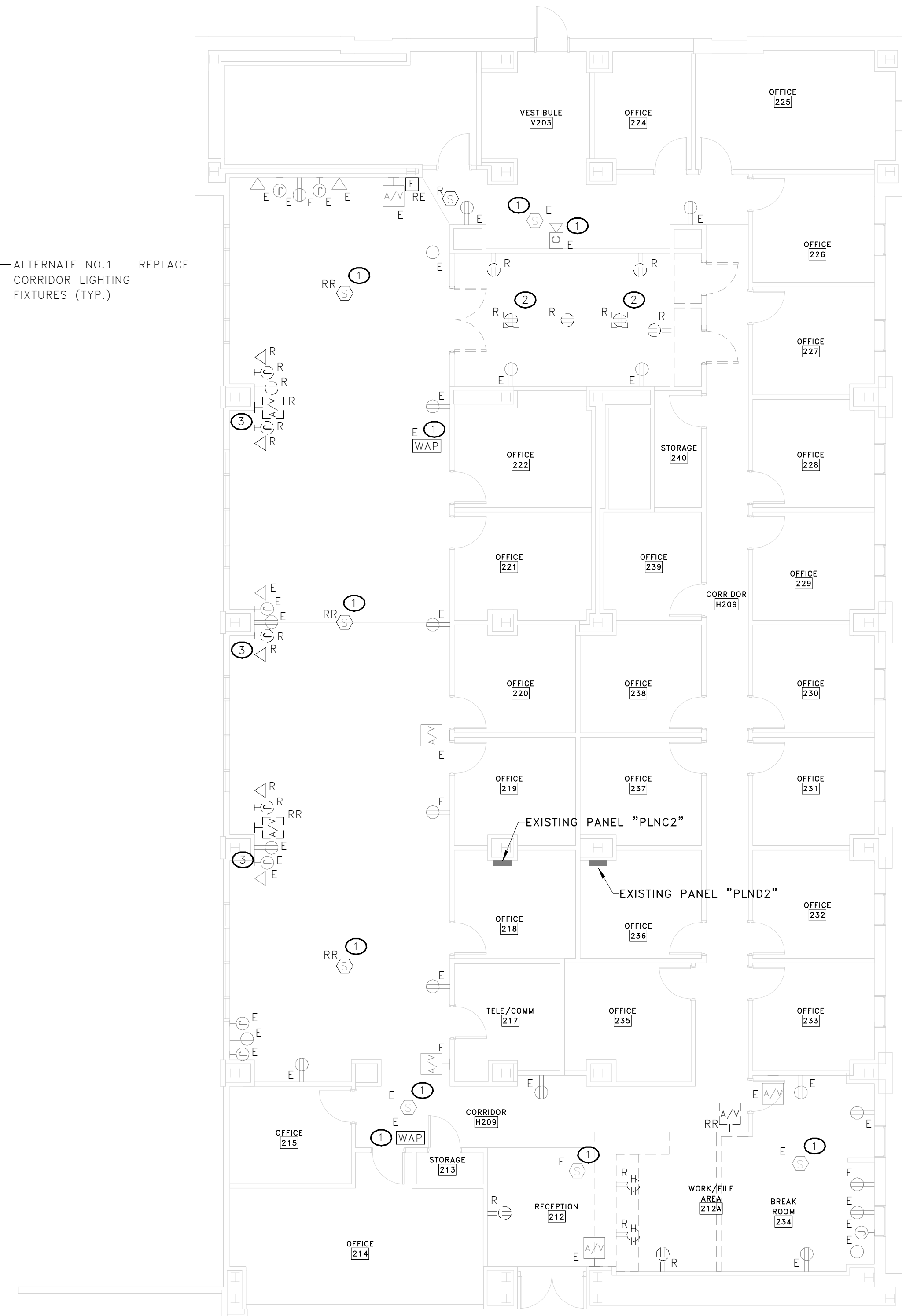
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DEMOLITION/RENOVATION NOTATION

IF NO ANNOTATION IS SHOWN ASSUME EXISTING TO REMAIN IN PLACE FOR SOLID LINES AND DEMOLISH FOR DASHED LINES.
 DEVICES AND EQUIPMENT NOT SHOWN SHALL BE ASSUMED TO BE EXISTING TO REMAIN IN PLACE.
 E EXISTING FIXTURE OR DEVICE TO REMAIN IN PLACE. REPLACE ANY BROKEN DEVICES OR PLATES; COLOR TO MATCH EXISTING.
 R EXISTING FIXTURE OR DEVICE TO BE REMOVED BY THE ELECTRICAL CONTRACTOR. MAINTAIN CONTINUITY OF REMAINING PORTIONS OF BRANCH CIRCUIT.
 RE EXISTING DEVICE TO BE REMOVED BY THE ELECTRICAL CONTRACTOR. EXISTING CIRCUIT SHALL BE RETAINED. PROVIDE NEW DEVICE AS SHOWN ON RENOVATION PLANS.
 RN RELOCATED FIXTURE (NEW LOCATION).
 RR EXISTING FIXTURE TO BE RELOCATED BY THE ELECTRICAL CONTRACTOR TO NEW LOCATION SHOWN ON RENOVATION PLAN.



1 LIGHTING DEMOLITION PLAN
 E101 SCALE: 1/8" = 1'-0"



2 POWER & SYSTEMS DEMOLITION PLAN
 E101 SCALE: 1/8" = 1'-0"

KEY NOTES

- 1 REMOVE EXISTING FIRE ALARM & SECURITY DEVICES FROM EXISTING CEILING. BAG DURING RENOVATION AND RE-INSTALL IN NEW CEILING.
- 2 REMOVE EXISTING RECEPTACLES AND DATA OUTLETS FROM FLOORBOX AND PROVIDE BLANK COVERS.
- 3 AT COLUMNS, REMOVE DATA J-BOXES THAT CONFLICT WITH NEW WALLS.

GENERAL NOTES

- 1 REMOVE EXISTING LIGHTING AS INDICATED AND TURN OVER TO OWNER. EXISTING LIGHTING CIRCUITS (PHN2-5, PHN2-7 AND PHN2-11) SHALL BE REUSED FOR PROVIDED LIGHTING SHOWN ON RENOVATION PLAN.
- 2 REMOVE EXISTING RECEPTACLES AND ASSOCIATED CONDUIT/CONDUCTORS AS INDICATED. MAINTAIN CONTINUITY OF EXISTING CIRCUITS. EXISTING CIRCUITS ORIGINAL IN EXISTING PANELS "PLNC2" AND "PLND2."
- 3 PROVIDE BLANK COVER PLATES ON ALL UNUSED BOXES.

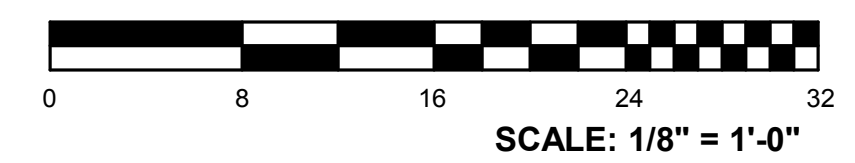


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REVISION	No.	Description	Date



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CUSTOMER NAME	UNIVERSITY OF SOUTH CAROLINA
PROJECT NAME	PHRC- RENOVATION PROJECT 2ND FLOOR SUITE
PROJECT ADDRESS	921 ASSEMBLY STREET, COLUMBIA, SC 29208
UNIVERSITY PROJECT No:	FP00000192
PROJECT NUMBER	U-17-039-1
E101	ELECTRICAL DEMOLITION PLANS
DATE	12.20.18

12/17/2018 4:54:03 PM

DEMOLITION/RENOVATION NOTATION

- IF NO ANNOTATION IS SHOWN ASSUME EXISTING TO REMAIN IN PLACE FOR SOLID LINES AND DEMOLISH FOR DASHED LINES.
- DEVICES AND EQUIPMENT NOT SHOWN SHALL BE ASSUMED TO BE EXISTING TO REMAIN IN PLACE.
- E EXISTING FIXTURE OR DEVICE TO REMAIN IN PLACE. REPLACE ANY BROKEN DEVICES OR PLATES; COLOR TO MATCH EXISTING.
- R EXISTING FIXTURE OR DEVICE TO BE REMOVED BY THE ELECTRICAL CONTRACTOR. MAINTAIN CONTINUITY OF REMAINING PORTIONS OF BRANCH CIRCUIT.
- RE EXISTING DEVICE TO BE REMOVED BY THE ELECTRICAL CONTRACTOR. EXISTING CIRCUIT SHALL BE RETAINED. PROVIDE NEW DEVICE AS SHOWN ON RENOVATION PLANS.
- RN RELOCATED FIXTURE (NEW LOCATION).
- RR EXISTING FIXTURE TO BE RELOCATED BY THE ELECTRICAL CONTRACTOR TO NEW LOCATION SHOWN ON RENOVATION PLAN.

LIGHT FIXTURE PLAN KEY

- SHADING INDICATES EMERGENCY FIXTURE USED BY GENERATOR
- AE = UPPER CASE LETTER / LETTERS INDICATE FIXTURE TYPE
- d = LOWER CASE LETTER INDICATES SWITCH IDENTIFICATION
- 9 = DESIGNATES CIRCUIT NUMBER

NOTE:
ALL "EM" FIXTURES INDICATED IN PLAN CONTAIN CONNECTION TO GENERATOR. ALL EMERGENCY BALLAST FIXTURES REQUIRE AN EXTRA CONSTANT POWER CONDUCTOR TO BE CONNECTED TO THE EMERGENCY BALLAST FOR CHARGING. CONDUCTOR MUST NOT BE CONTROLLED BY ANY LIGHTING SYSTEM OR HAVE POWER INTERRUPTED AT ANY TIME.

LIGHT CONTROL SCHEME

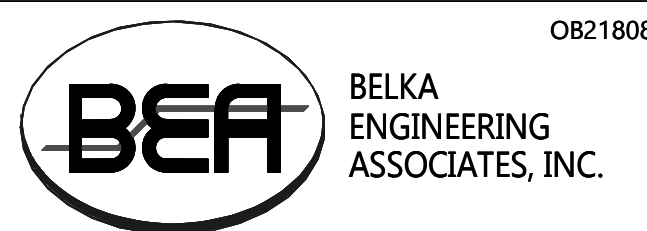
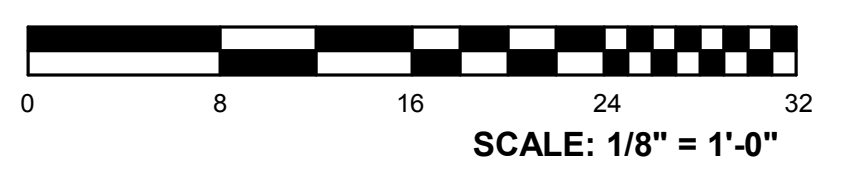
LIGHTING CONTROL SYMBOL CORRELATES WITH DESIRED CONTROL SCHEME AS INDICATED IN THE LIGHTING CONTROL SCHEME SCHEDULE

KEY NOTES

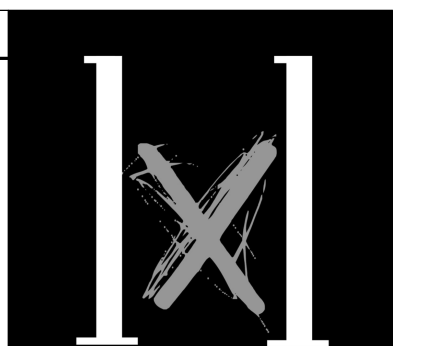
- PROVIDE GENERATOR TRANSFER DEVICE (BODINE# GTD20 OR EQUAL) FOR CORRIDOR EMERGENCY EGRESS FIXTURES. GTD SHALL BE CONNECTED WITH NORMAL POWER CIRCUIT AND UNSWITCHED GENERATOR-BACK CIRCUIT (PLS2-1).
- IN CONFERENCE ROOM, PROVIDE TV ROUGH-IN BOX (CHIEF #PAC-526F OR EQUAL) WITH 20 AMP DUPLEX RECEPTACLE FROM TV ROUGH-IN BOX PROVIDE ONE 1-1/4" C. DOWN TO 4" SQUARE BOX MOUNTED ADJACENT TO DUPLEX RECEPTACLE. SEE ELEVATION DETAIL ON THIS DRAWING.
- FIRE ALARM DEVICE SHALL BE SET TO 15CD. (TYP. IN CORRIDORS)

GENERAL NOTES

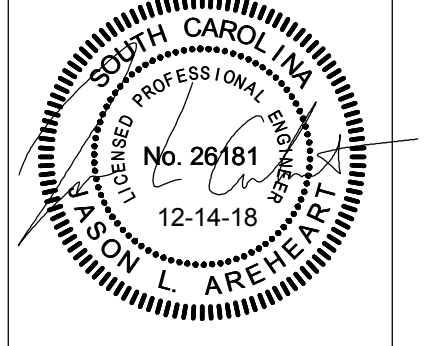
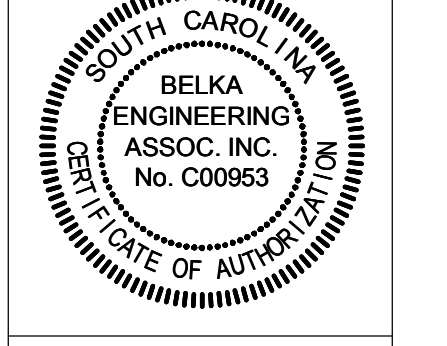
- PROVIDE LIGHTING FIXTURES AS INDICATED AND FEED WITH EXISTING CIRCUITS FROM EXISTING PANEL "PHN2" (SEE KEY PLAN ON DRAWING E-100 FOR PANEL LOCATION). EXISTING CIRCUITS CAN BE EXTENDED FROM J-BOXES ABOVE CEILING. EMERGENCY EGRESS LIGHTING SHALL BE FED WITH EXISTING CIRCUIT "PLS2-1" (PANEL LOCATED IN SAME ELECTRICAL ROOM AS "PHN2").
- PROVIDE 20 AMP DUPLEX RECEPTACLES AS INDICATED AND FEED WITH EXISTING CIRCUITS FROM EXISTING PANELS "PLNC2" OR "PLND2" AS NOTED. ALL WIRING DEVICES AND PLATES SHALL MATCH EXISTING (GRAY DEVICES WITH SMOOTH STAINLESS-STEEL DEVICE PLATES).
- FOR DATA LOCATIONS, PROVIDE 4" SQUARE, 2-1/2" DEEP BOX WITH SINGLE GANG PLASTER RING AND 1" CONDUIT FROM BOX TO ABOVE CEILING OUT INTO CORRIDOR. PROVIDE PULL STRING IN CONDUIT AND PLASTIC GROMMET ON END OF CONDUIT.
- RELOCATE EXISTING FIRE ALARM INDICATING DEVICES AS INDICATED ON DEMOLITION AND RENOVATION PLANS.



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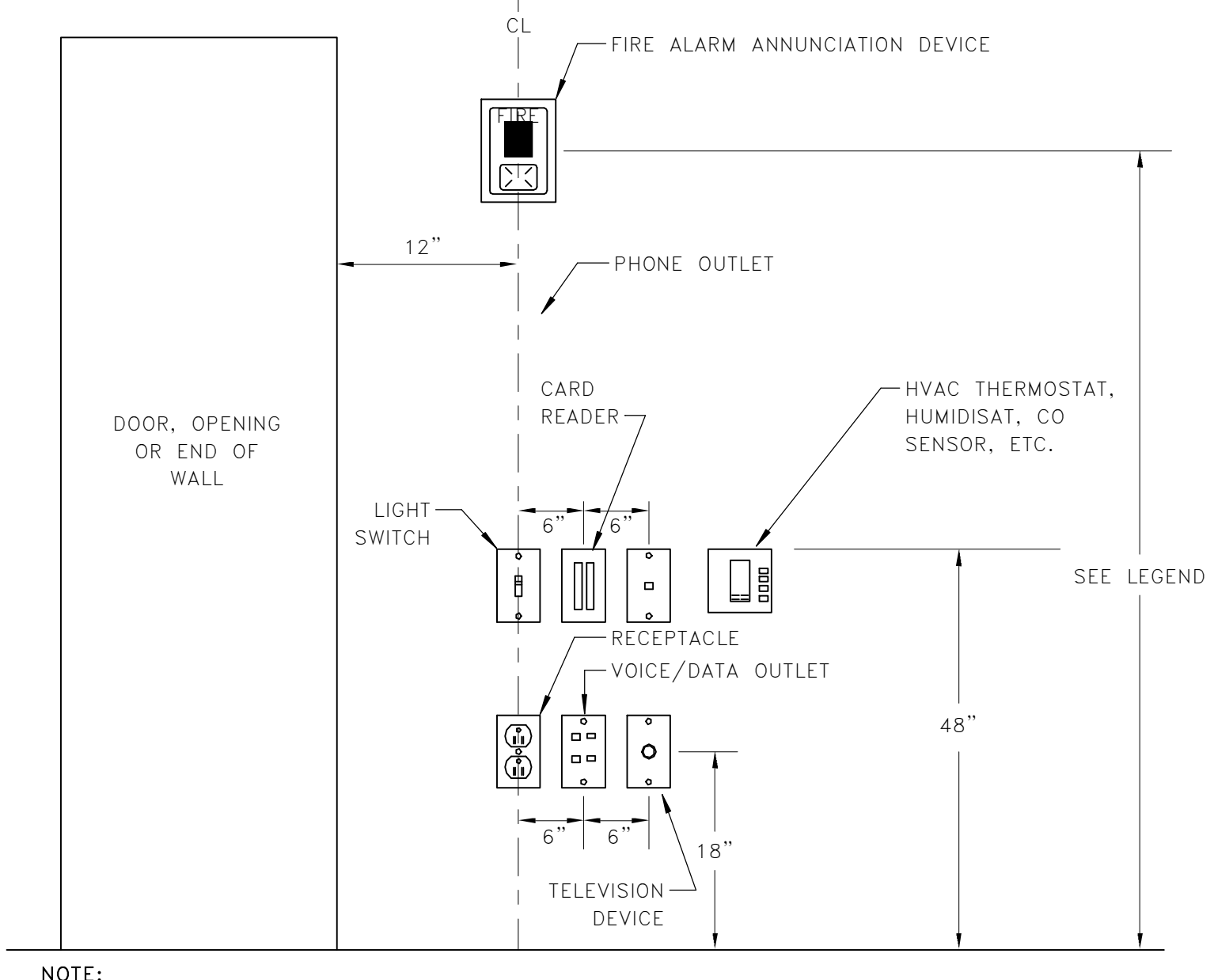


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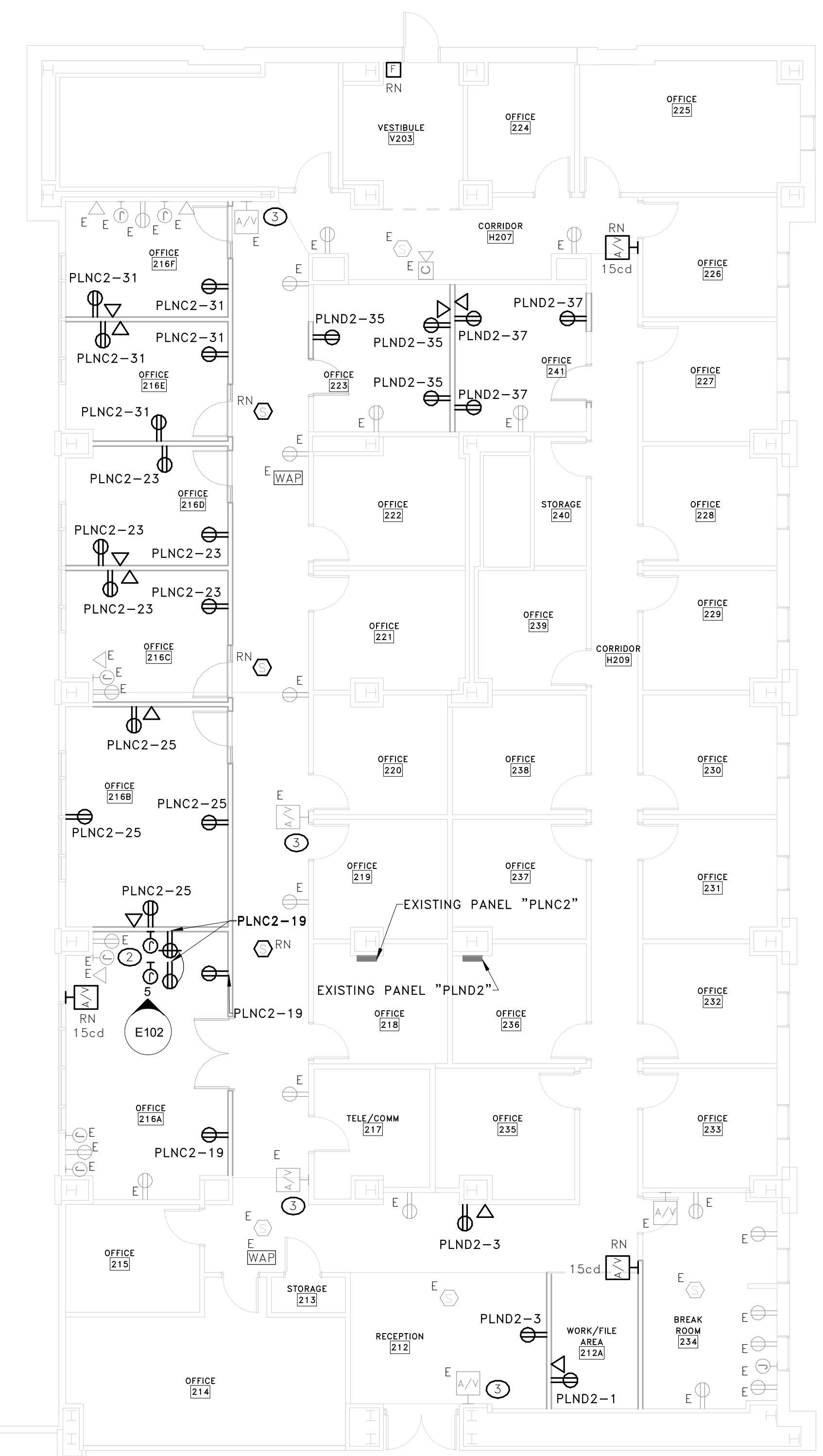
1 LIGHTING RENOVATION PLAN
 E102 SCALE: 1/8" = 1'-0"

2 POWER & SYSTEMS RENOVATION PLAN
 E102 SCALE: 1/8" = 1'-0"

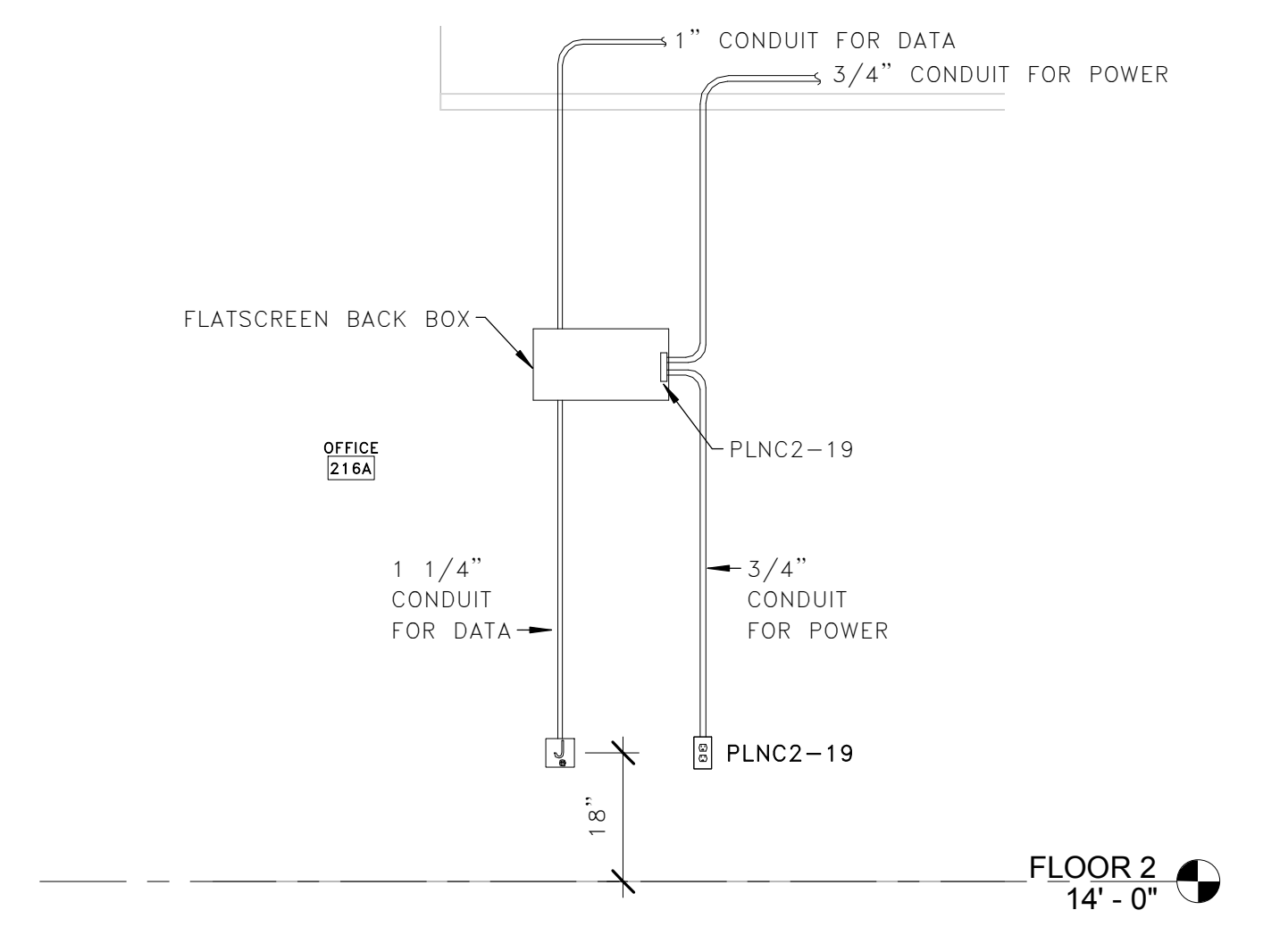
4 DEVICE ALIGNMENT DETAIL
 E102 NOT TO SCALE



NOTE:
 DEVICES SHOWN WITHIN 48" OF EACH OTHER ON ALL ELECTRICAL PLANS SHALL BE ALIGNED PER THIS DETAIL. IF DEVICES ARE SHOWN IN MIDDLE OF WALL, THEN CENTER DEVICES ON WALL.



ALTERNATE NO. 1 - PROVIDE LIGHTING FIXTURES IN THIS CORRIDOR (TYP).



5 CONFERENCE ROOM ELEVATION
 E102 NOT TO SCALE

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UNIVERSITY OF SOUTH CAROLINA

PHRC- RENOVATION PROJECT 2ND FLOOR SUITE

921 ASSEMBLY STREET, COLUMBIA, SC 29208

University Project No: FP00000192

REVISION	
No.	Description

E102

ELECTRICAL RENOVATION PLANS
 DATE 12.20.18