



- 1. FIELD VERIRY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. EXISTING BUILDING INFORMATION SHOWN IS BASED ON THE EXISTING DRAWINGS PROVIDED BY THE OWNER AND SELECTIVE FIELD MEASUREMENTS. GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION.
- 2. PROVIDE AND INSTALL ALL SHORING AND SUPPORT SYSTEMS
  NECESSARY TO ENSURE EXISTING STRUCTURE TO REMAIN STABLE
  THROUGHOUT DEMOLITION AND NEW CONSTRUCTION.
- 3. WHERE APPLICABLE, REFERENCE ABATEMENT SPECIFICATIONS FOR KNOWN AREAS CONTAINING HAZARDOUS MATERIALS. CONTACT OWNER UPON DISCOVERY OF ANY SUSPECTED ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED IN THE PROJECT SCOPE.
- 4. CONTRACTOR SHALL PHOTOGRAPH ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION OR NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS. PROVIDE ARCHITECT AND OWNER WITH ELECTRONIC COPY OF PHOTOGRAPHS.
- 5. ITEMS TO SALVAGED AND REMOVED BY THE OWNER PRIOR TO DEMOLITION ARE IDENTIFIED WITHIN THE SPECIFICATIONS.
- 6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH EXISTING CONDITIONS FOR SIZES, QUANTITIES AND LOCATIONS.
- 7. PROTECT ALL EXITING PIPING & INSULATION, CONDUIT/BOXES, WIRING, LIGHTING, DUCTWORK, SPRINKLER PIPING, AND ALL OTHER UTILITIES TO REMAIN IN USE. REMOVE ALL ABANDONED OR DISCONNECTED
- 8. ALL FURNITURE, FIXTURES AND LOOSE ITEMS TO BE REMOVED BY OWNER BEFORE COMMENCEMENT OF WORK.
- 9. PATCH WALLS, CEILINGS AND FLOORS WHERE ITEMS ARE REMOVED OR WERE REMOVED BY OWNER TO PREPARE AREAS FOR FINAL WORK AND FINISHES AS SPECIFIED.

#### LEGEND - DEMOLITION PLAN

ITEMS FROM ABOVE CEILINGS.

\_ \_ \_ \_ EXISTING WALL TO BE DEMOLISHED

EXSITING WALL TO REMAIN



EXISTING DOOR TO BE DEMOLISHED

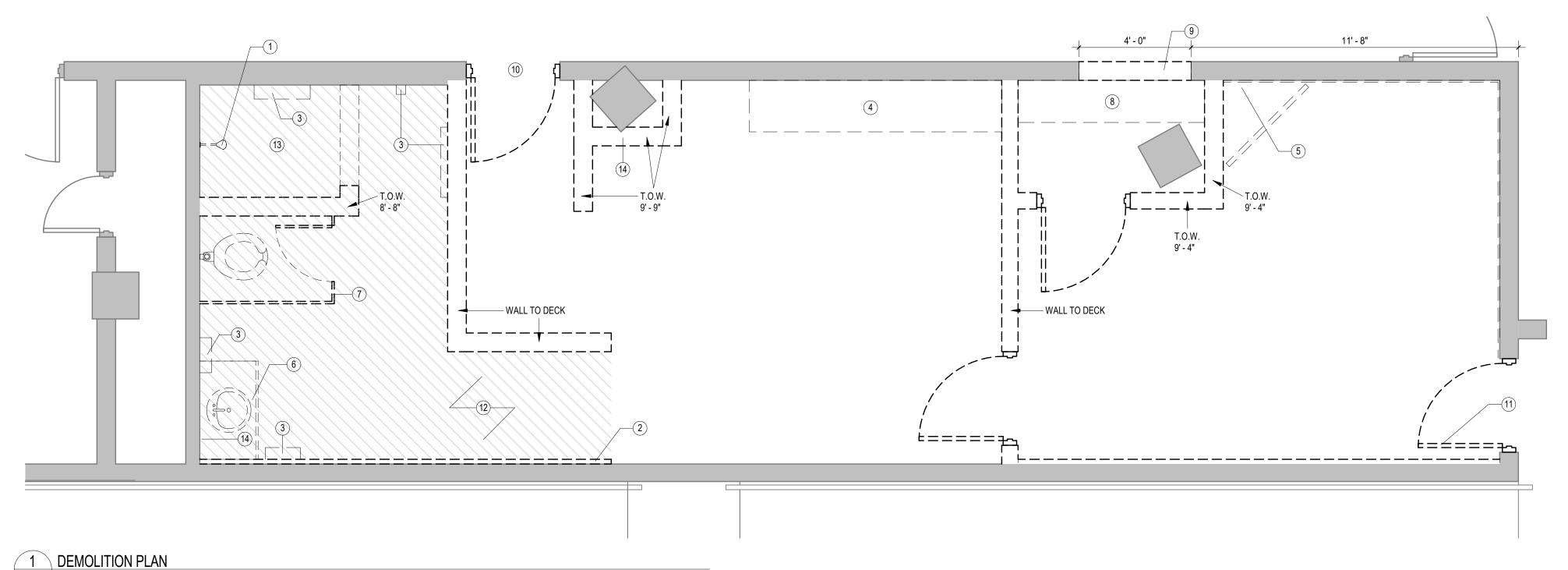


NOTE: SEE KEYNOTES AND PLUMBING, MECHANICAL AND ELECTRICAL DEMO

DRAWINGS FOR ADDITIONAL DEMO WORK

#### KEYNOTES - DEMO PLAN

- 1 DEMO SHOWER HEAD AND CONTROLS, SEE PLUMBING DWGS.
- DEMO 2" GLAZED BLOCK VENEER (MAIN WALL TO REMAIN)
- REMOVE ALL BATHROOM ACCESSORIES, TYP.
- DEMO LOCKERS / MIRRORS IN THEIR ENTIRETY AND DISPOSE OF. UNDER NO CIRCUMSTANCE ARE LOCKERS TO BE REMOVED INTACT AND RESOLD, MAINTAINED BY THE GC, AND/OR GIVEN TO OTHER PARTIES.
- 5 DEMO TV RELATED ROUGH-IN AND COMPONENTS. SEE ELEC. DWGS.
- 6 DEMO LAV COUNTER AND SINK, SEE PLUMBING DWGS.
- 7 DEMO TOILET PARTITIONS
- 8 DEMO SHELVING
- 9 DEMO CMU WALL TO CREATE OPENING FOR NEW DOOR AND HOLLOW METAL FRAME. SEE DOOR SCHEDULE AND DETAILS FOR SIZE
- DEMO HM DOOR TRANSOM AND FRAME. SUPPORT CMU ABOVE AND INFILL OPENING W/ NEW 8" CMU TO FILL OPENING. MATCH BLOCK COURSING TO MAINTAIN RUNNING BOND BLOCK PATTERN. PAINT NEW CMU TO MATCH EXISTING WALL COLOR.
- (11) REMOVE DOOR, HARDWARE AND TRANSOM ONLY. HOLLOW METAL FRAME TO REMAIN
- REMOVE RUBBER FLOORING AND BASE IN THIS AREA. DEMO TILE AND RAISED SETTING BED BELOW TO SLAB LEVEL. PATCH/FILL/LEVEL AS REQUIRED TO PREPARE FOR NEW FLOOR FINISH AS SCHEDULED
- 13) DEMO FLOOR TILE, DRAIN, ETC. WEST AND NORTH GLAZED CMU WALLS TO REMAIN
- (14) DEMO MIRROR



A1.1 3/8" = 1

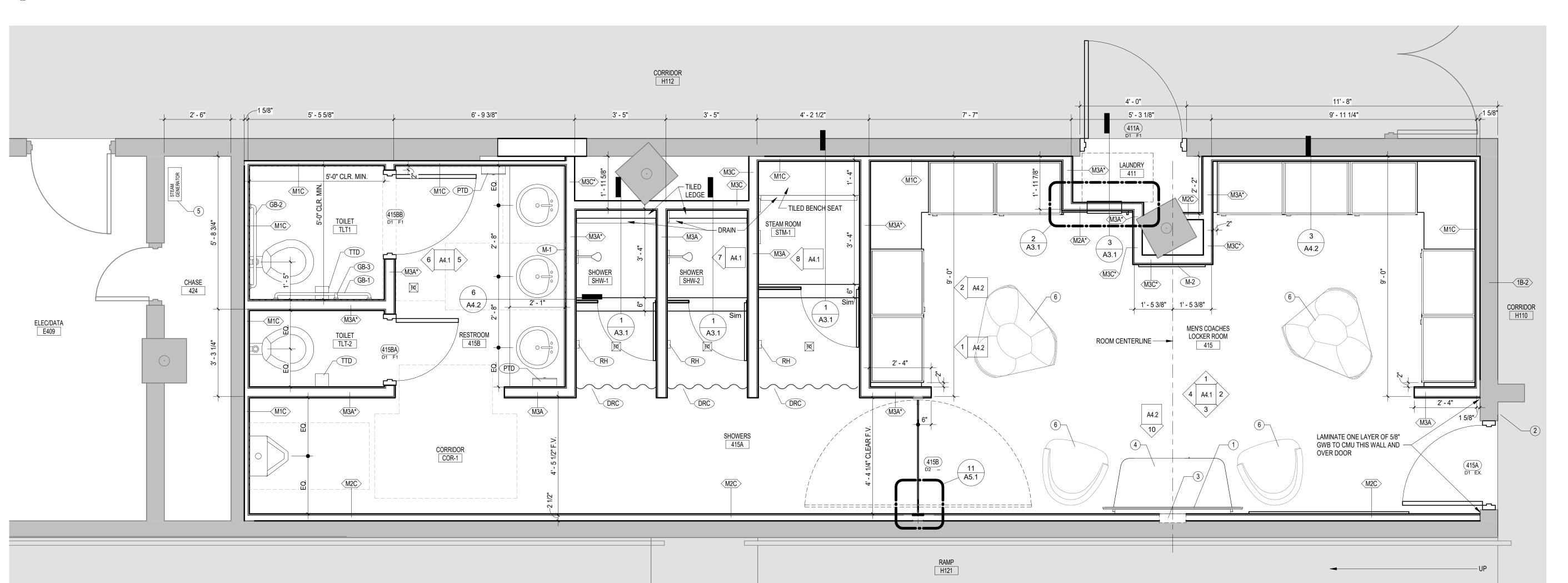
## GENERAL NOTES - FLOOR PLAN

COMPLY WITH UL DESIGN FOR PENETRATIONS.

- SEE T1.1 FOR MINIMUM REQUIRED ADA MANEUVERING CLEARANCES.
   SEE T1.1 FOR REQUIRED UL ASSEMBLIES OF ALL BUILDING SYSTEMS. ALL PENETRATIONS THROUGH RATED WALL AND FLOOR ASSEMBLIES MUST
- 3. DIMENSIONS INDICATED ON THESE DRAWINGS ARE TO FACE OF CMU WALL, FACE OF EXTERIOR VENEER, FACE OF STUD WALL, OR CENTERLINE OF COLUMN UNLESS OTHERWISE INDICATED. COORDINATE ALL DIMENSIONS WITH STRUCTURAL DIMENSION PLANS, ENLARGED PLANS, SECTION AND DETAIL DRAWINGS, AND STRUCTURAL DRAWINGS AND VERIFY EXACT LOCATIONS. COORDINATE ALL FLOOR SLAB PENETRATIONS WITH SYSTEM DRAWINGS (S'S, M'S, P'S, FP'S, AND E'S) AND ACTUAL PRODUCT TO BE INSTALLED AND VERIFY LOCATIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO INSTALLATION.
- 4. SEE FINISH SCHEDULE AND PLAN FOR FLOOR PATTERNS AND FLOOR FINISH
- 5. EXISTING AND MASONRY OPENINGS TO RECEIVE CURTAIN WALL, DOORS, WINDOWS, LOUVERS, OR OTHER ELEMENTS SHALL BE FIELD VERIFIED PRIOR TO MANUFACTURE OF SYSTEM.
- INTERIOR METAL STUD OPENINGS TO RECEIVE STOREFRONT, DOORS, GRILLES, LOUVERS, OR OTHER ELEMENTS SHALL BE FIELD VERIFIED PRIOR TO MANUFACTURE OF SYSTEM. LOCATION OF ALL RECESSED CABINETS AND EQUIPMENT WALL PENETRATIONS MUST BE VERIFIED PRIOR TO INSTALLATION OF CMU WALLS TO ENSURE INDICATED LOCATION AND EVEN COURSING. ANY CONFLICTS WITH INDICATED DIMENSIONS OR LOCATIONS SHALL BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION..
- 7. CONTACT OWNER UPON DISCOVERY OF ANY SUSPECTED ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED WITHIN THE PROJECT SCOPE.

# KEYNOTES - FLOOR PLAN

- 1 FLAT PANEL DISPLAY BY OWNER (N.I.C.)
- 2 ACCESS CONTROL SEE ELEC. DWGS.
- RECESSED "CHIEF BOX" CHIP INTO EXISTING CMU ONLY ENOUGH TO ALLOW FOR DEPTH OF BOX. COORDINATE WITH OWNER.
- 4 CASEWORK STORAGE CREDENZA FOR MINI-FRIDGE (FRIDGE N.I.C.)
- 5 STEAM GENERATOR, SEE PLUMBING DWGS. AND SPECS
- 6 FURNITURE BY OWNER (N.I.C.)



2 FLOOR PLAN

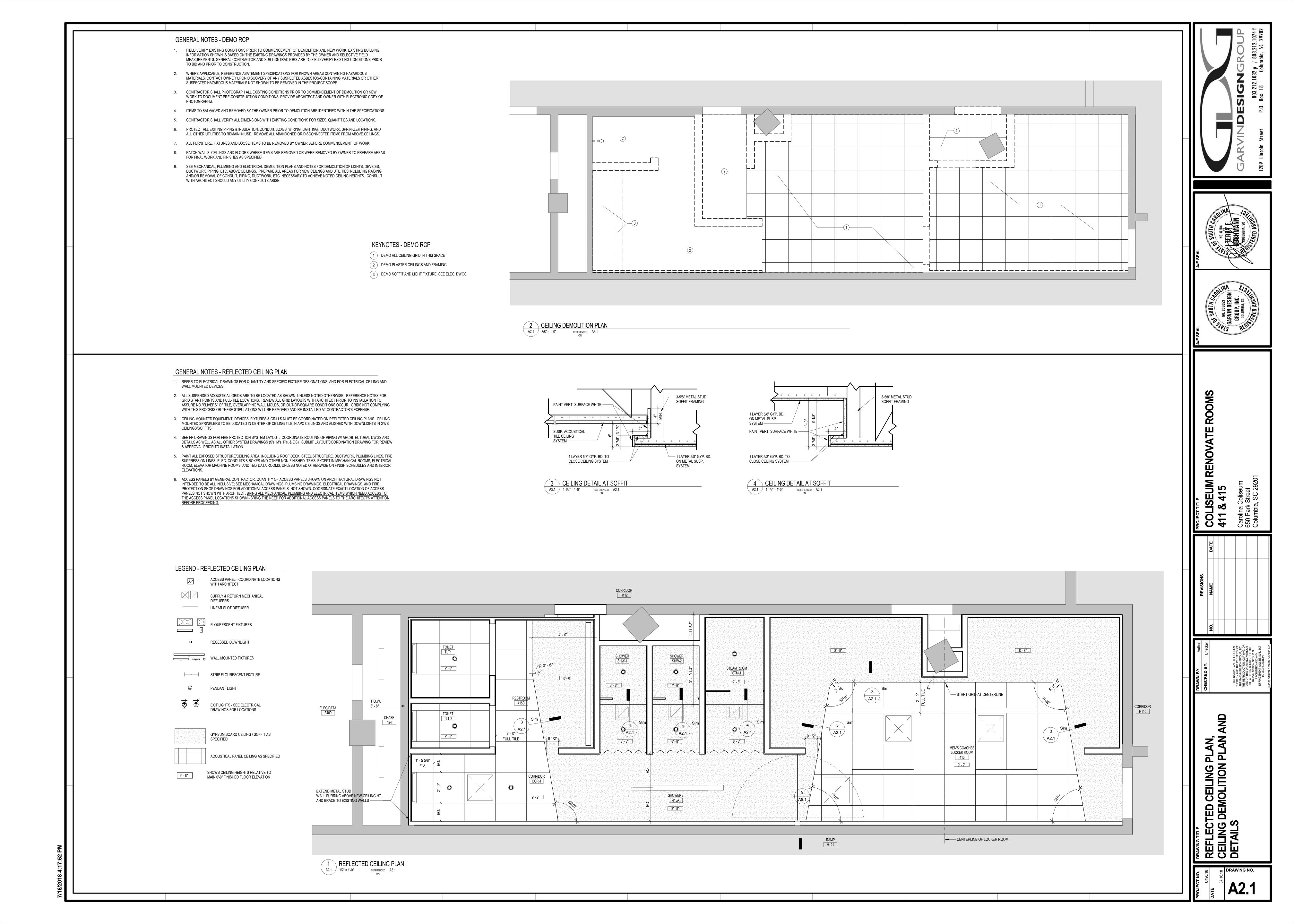
1/2" = 1'-0" REFERENCED A3.1

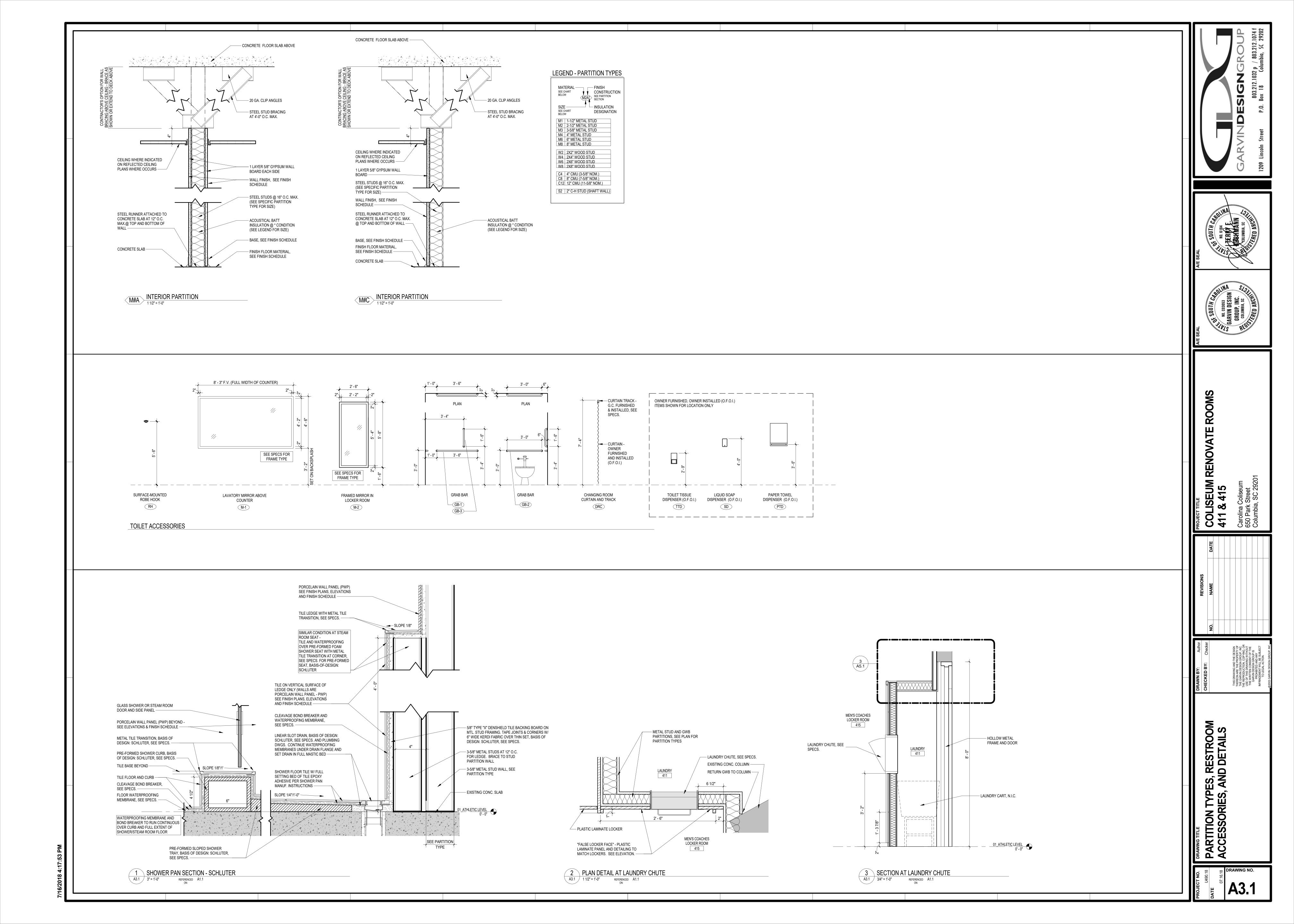
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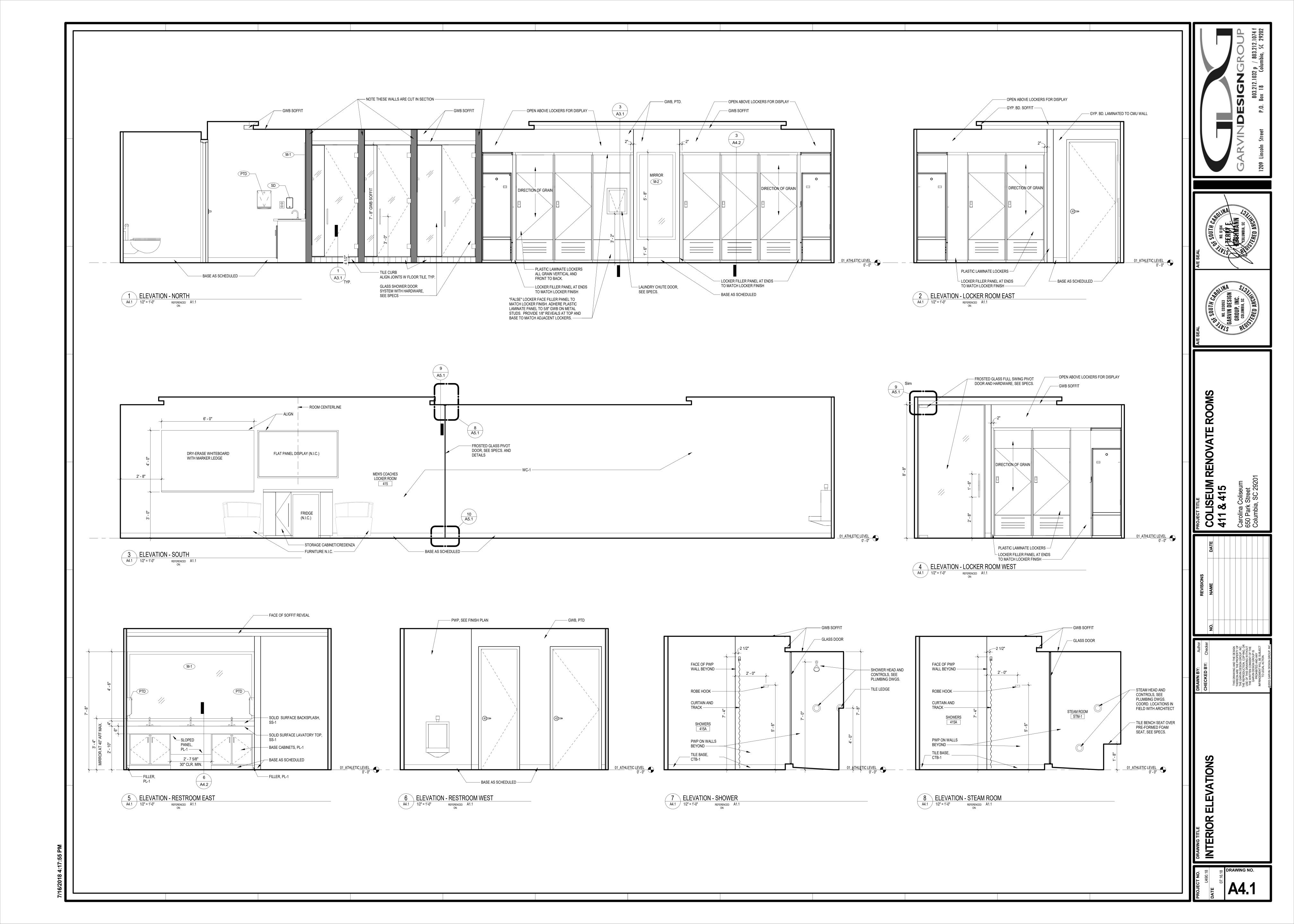
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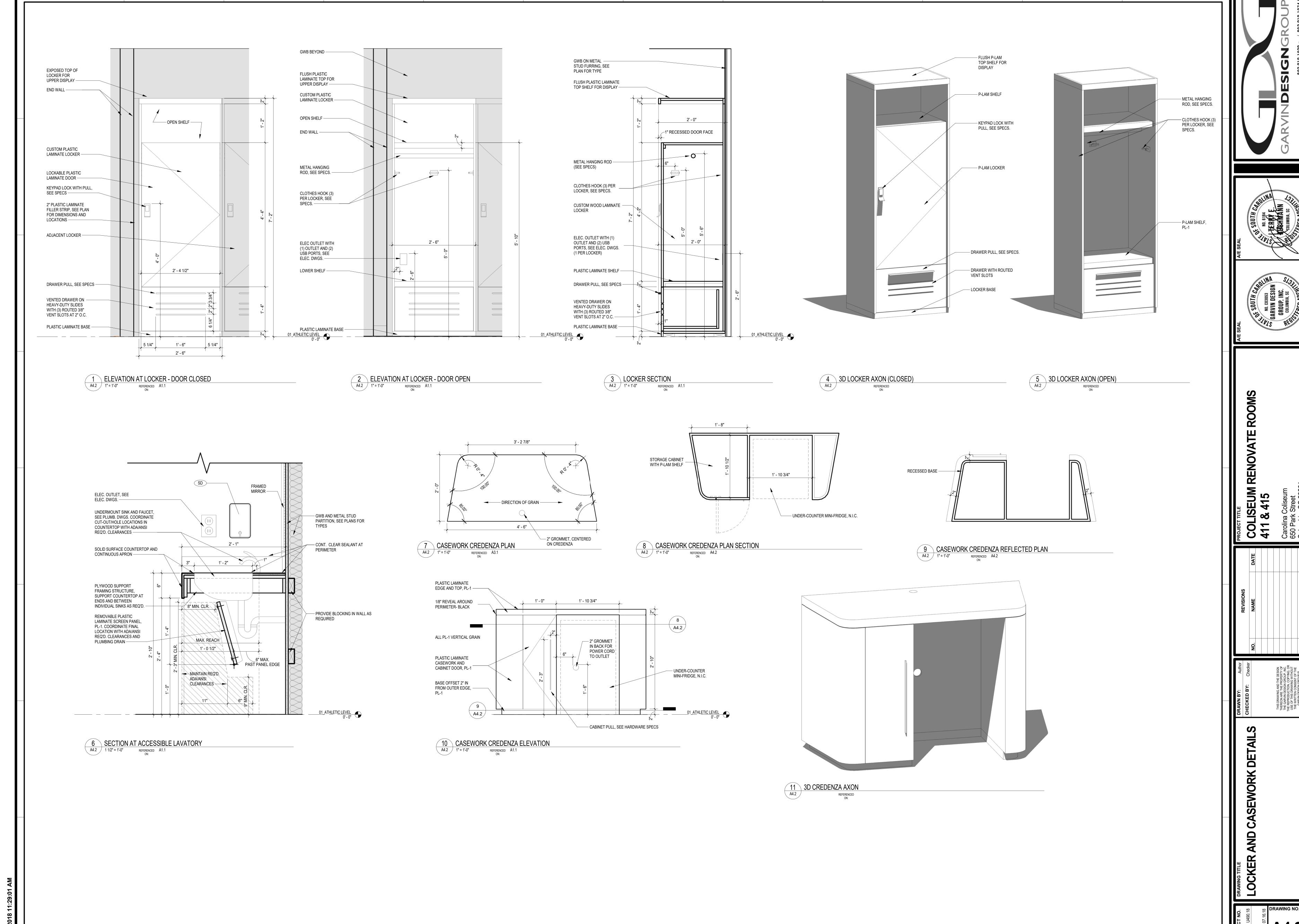
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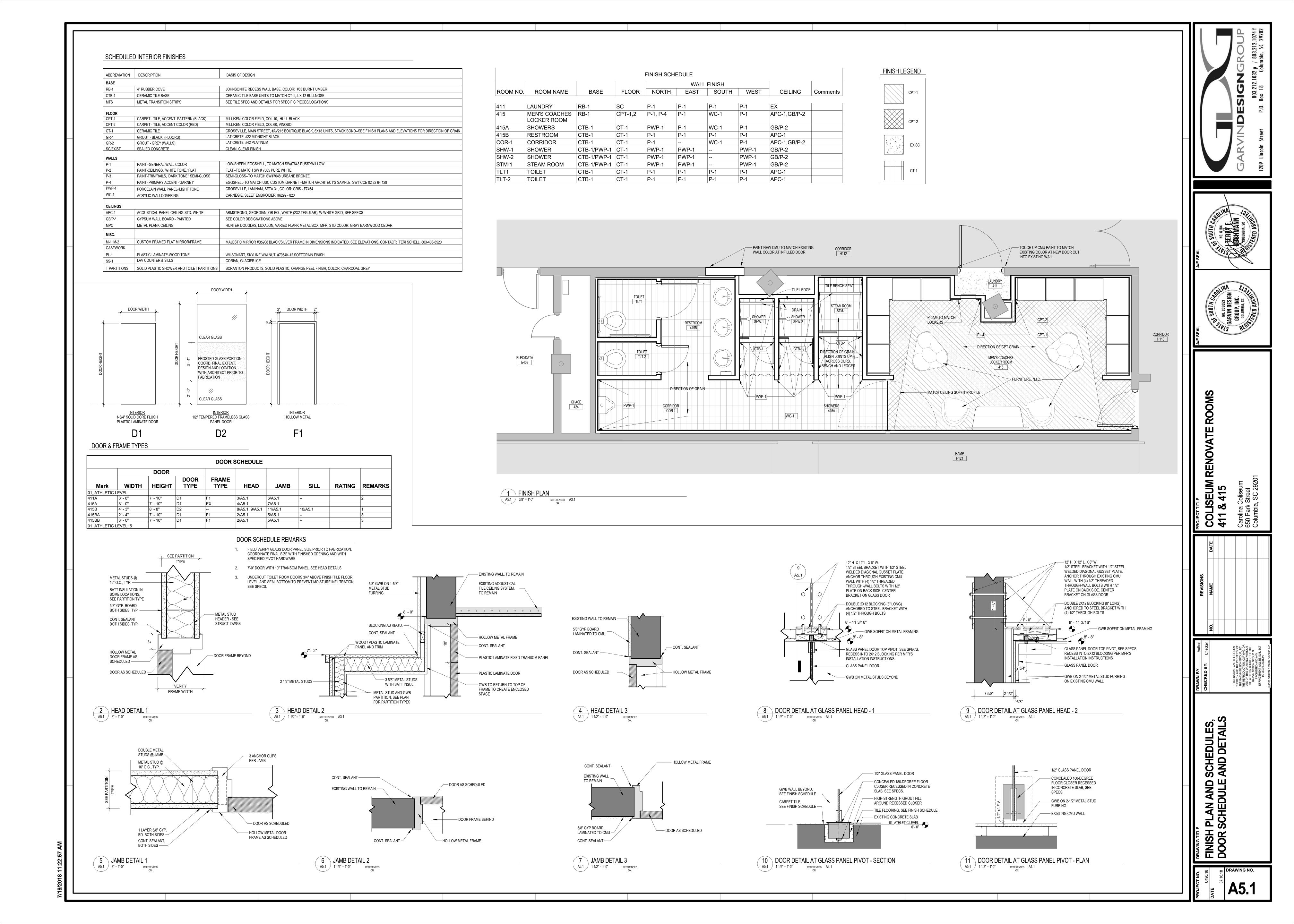
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		AIR D	ISTRIB	UTION	SCHED	ULE			
TAG	DESCRIPTION	MANUFACTURER	MODEL	FRAME	CFM	NECK SIZE	FACE SIZE	MAX NC	REMARKS
A	SQ. PLAQUE SUPPLY	PRICE	SPD AS	LAY-IN	126-250	8"ø	24"x24"	35	1,3
B	PERFORATED EXHAUST	PRICE	APDDR	LAY-IN	0-200	8"ø	24"x24"	35	1,3,5,6
0	PERFORATED EXHAUST	PRICE	APDDR	SURFACE	0-100	6"ø	12"x12"	35	1,3,5,6
0	LINEAR SLOT EXHAUST	PRICE	TBD4100	LAY-IN	0-100	6"ø	2"x24"	35	2,4
E	LOUVERED EXHAUST	PRICE	630	SURFACE	0-100	6"x6"	8"x8"	35	1,3,5

PROVIDE WITH STANDARD WHITE FINISH.
 PROVIDE WITH BLACK B-17 FINISH.

- PROVIDE ALUMINUM OR ALUMINIZED STEEL CONSTRUCTION.
   PROVIDE WITH ONE (1) 1" SLOT, T-BAR CLIPS, AND FACE OPERATED REMOTE BALANCING DAMPER.
- PROVIDE FACE ADJUSTABLE BALANCING DAMPER.
   FIELD PAINT BACKPAN FLAT BLACK.

IS	OLATION A	ND SI	EISMI	C SCHEDUL	_E				
RISK CATEGORY = III SEISMIC DESIGN CATEGORY = D									
EQUIPMENT TAG	COMPONENT Ip		ATION ICATION	SEISMIC REST. SPECIFICATION	ISOLATION DEFLECTION				
INLINE FANS	1.0	NO	NE	SPEC SC	N/A				
AIR DISTRIBUTION > 20 LBS	1.0	NO	NE	TWO 12 GA WIRE TO STRUCTURE	N/A				
AIR DISTRIBUTION <= 20 LBS	1.0	NO	NE	NOTE 2	N/A				

 ANCHOR BOLTS FOR NON-ISOLATED AND INTERNALLY ISOLATED EQUIPMENT SHALL BE SIZED BY THE SEISMIC RESTRAINT SUPPLIER.
 DIFFUSERS WEIGHING LESS THAN 20 LBS MUST BE MECHANICALLY ATTACHED TO CEILING GRID UNLESS NOTED OTHERWISE, BUT REQUIRE NO ADDITIONAL RESTRAINT.

FAN SCHEDULE										
TAG GREENHECK TAG MODEL NO. TYPE CFM ESP H.P./W. (MAX.) REMARKS										
EF-1 CSP-A700 INLINE 600 0.5 231 W 5 1,										
PROVIDE INLINE CABINET FAN WITH DISCONNECT SWITCH, BACKDRAFT DAMPER, OUTLET DUCT COLLAR, AND RUBBER VIBRATION HANGERS.     FAN SHALL OPERATE CONTINOUSLY.										

# **DEMOLITION NOTES**

- REMOVE SIDEWALL EXHAUST GRILLE AND AND RUNOUT DUCT BACK TO MAIN TRUNK. PATCH TRUNK DUCT WITH GALVANIZED METAL SEALED WITH DUCT MASTIC. TEST GRILLE PRIOR TO START OF DEMOLITION AND REPORT AIRFLOW TO ENGINEER.
- 2 REMOVE CEILING MOUNTED SUPPLY DIFFUSER AND RUNOUT DUCT BACK TO MAIN TRUNK.
  PATCH TRUNK DUCT WITH 1" INTERNALLY LINED GALVANIZED METAL SEALED WITH DUCT
  MASTIC.
- 3 SALVAGE EXISTING ZONE TEMPERATURE SENSOR FOR RELOCATION PER RENOVATION PLAN.

### **GENERAL NOTES**

- VISIT SITE PRIOR TO BIDDING. THIS CONTRACTOR SHALL DETERMINE DIFFICULTY OF INSTALLATION AND REFLECT THIS IN HIS BIDDING.
- 2. DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF DOORS, WINDOWS, AIR DISTRIBUTION, ETC.
- 3. THIS CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND LOCATIONS IN THE FIELD.
- 4. ALL DUCTWORK LOCATIONS SHALL BE COORDINATED WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID INTERFERENCE.
- 5. EXISTING PIPE, DUCTWORK, CONDUIT, ETC. THAT INTERFERES WITH THE ROUTING OF NEW SYSTEMS SHALL BE RELOCATED. THIS CONTRACTOR SHALL INCLUDE THE COST OF SUCH IN HIS BID UNLESS NOTED OTHERWISE.
- 6. ALL DUCTWORK INSULATION SHALL BE RUN CONTINUOUSLY THROUGH PARTITIONS.
- 7. ALL DUCTWORK SPECIFIED TO BE LINED SHALL BE INCREASED IN SIZE TO ALLOW FOR
- 8. WHERE TRUNK DUCTS ARE ROUTED ABOVE INACCESSIBLE CEILINGS PROVIDE CABLE OPERATED REMOTE CONTROLLED VOLUME DAMPERS AT BRANCH TAKEOFFS. DAMPERS SHALL BE METROPOLITAN AIR TECHNOLOGY MODEL RT-150 OR APPROVED
- 9. WHERE 2'-0" x 2'-0" LAY IN GRILLES ARE SPECIFIED IN HARD CEILINGS, A PLASTER FRAME SHALL BE PROVIDED SO THE GRILLE CAN LAY IN THE CEILING.
- PROVIDE FOR ACCESS TO ALL EQUIPMENT REQUIRING CLEANING OR ADJUSTMENT PER MANUFACTURER'S INSTRUCTIONS. PROVIDE FULL SPACE FOR COIL REMOVAL AND
- REPLACEMENT FOR ALL CHILLED WATER AIR HANDLING UNITS.

  11. THIS CONTRACTOR SHALL PROVIDE ALL ITEMS OF MISCELLANEOUS STEEL AS

REQUIRED FOR INSTALLATION OF ALL MECHANICAL ITEMS.

SHALL BE ROUTED IN EMT CONDUIT.

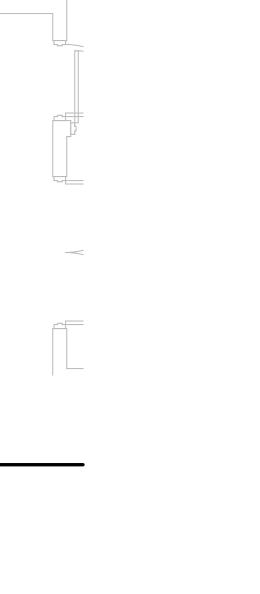
- 12. THIS CONTRACTOR SHALL DO ALL CONTROL WIRING. DIVISION 26 WILL DO ALL POWER WIRING. ALL WIRING SHALL BE IN ACCORDANCE WITH NATIONAL ELECTRIC CODE. CONTROL WIRING SHALL BE CONCEALED WITHIN WALL AND ALL CONTROL WIRING
- 13. LOCATE ALL SPACE CONTROL INSTRUMENTS 4'-0" ABOVE FINISHED FLOOR TO TOP OF DEVICE IN ACCORDANCE WITH ADA. COORDINATE LOCATIONS WITH ARCHITECTURAL ELEVATIONS TO AVOID ITEMS INCLUDING BUT NOT LIMITED TO CUSTOM FINISHES, FIXED CASEWORK, FURNITURE, AND DOOR SWINGS. IN THE EVENT OF CONFLICTS IN THE FIELD, THE CONTRACTOR SHALL BRING THIS TO THE ATTENTION OF THE A/E FOR FINAL APPROVAL OF LOCATION.
- 14. CORRECT SETTINGS ON ALL BALANCING FITTINGS SHALL BE PERMANENTLY MARKED. PROVIDE ORANGE FLAGGING RIBBON ON EACH DAMPER HANDLE FOR EASY IDENTIFICATION.
- 15. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY DISMANTLING OF EQUIPMENT TO BE REMOVED.
- 16. ITEMS REMOVED UNDER THIS CONTRACT SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS NOTED OTHERWISE, AND SHALL BE DISPOSED OF PROPERLY.

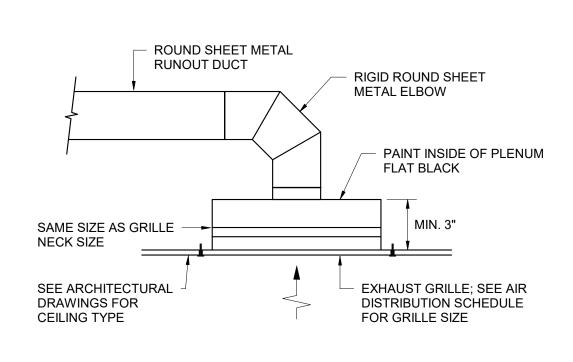
REQUIRED. PROTECT EXISTING SYSTEMS DURING CONSTRUCTION.

17. THE HVAC SYSTEMS SHALL NOT BE OPERATED DURING HEAVY CONSTRUCTION OPERATIONS INCLUDING MASONRY, GYPSUM BOARD SANDING, HEAVY CLEANUP ACTIVITIES, OR OTHER ACTIVITIES THAT CREATE AIRBORNE PARTICLES OR DEBRIS. ALL SYSTEMS SHALL BE CLEAN OF CONSTRUCTION DEBRIS, DUST AND DIRT AT FINAL

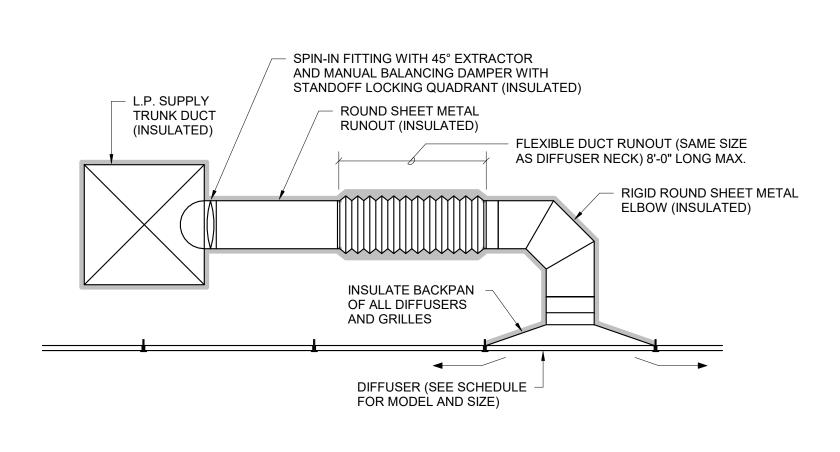
COMPLETION. DUCT CLEANING AND UNIT/COIL CLEANING SHALL BE PERFORMED AS

	LEGEND
SYMBOL	DESCRIPTION
⊗100	EXISTING DIFFUSER, 100 CFM
<b>A</b> 100	TYPE "A" DIFFUSER, 100 CFM
T	ZONE TEMPERATURE SENSOR
MBD	MANUAL OPPOSED BLADE BALANCING DAMPER
$\boxtimes$	RECTANGULAR SUPPLY DUCTWORK
	RETURN AND FRESH AIR DUCTWORK
	EXHAUST DUCTWORK
48x24	48"x24" RECTANGULAR DUCT
<b>◄</b>	LOUVERED DOOR BY GENERAL CONTRACTOR
AFF	ABOVE FINISHED FLOOR
EX	EXISTING
•	CONNECTION POINT OF NEW TO EXISTING









3 CEILING DIFFUSER DETAIL

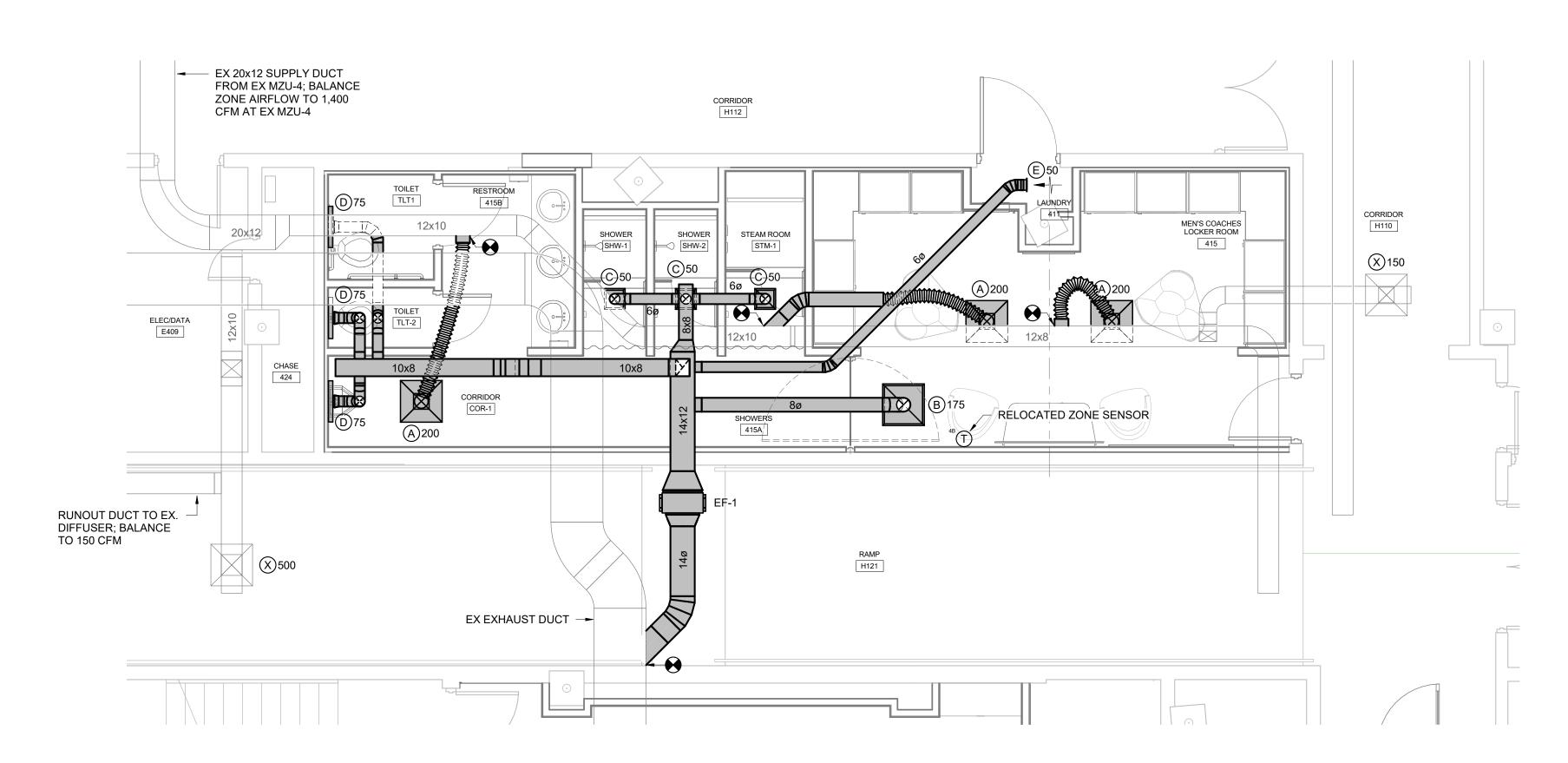
M1.1 NO SCALE

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DATE 07.16.18 DEAMING NO.



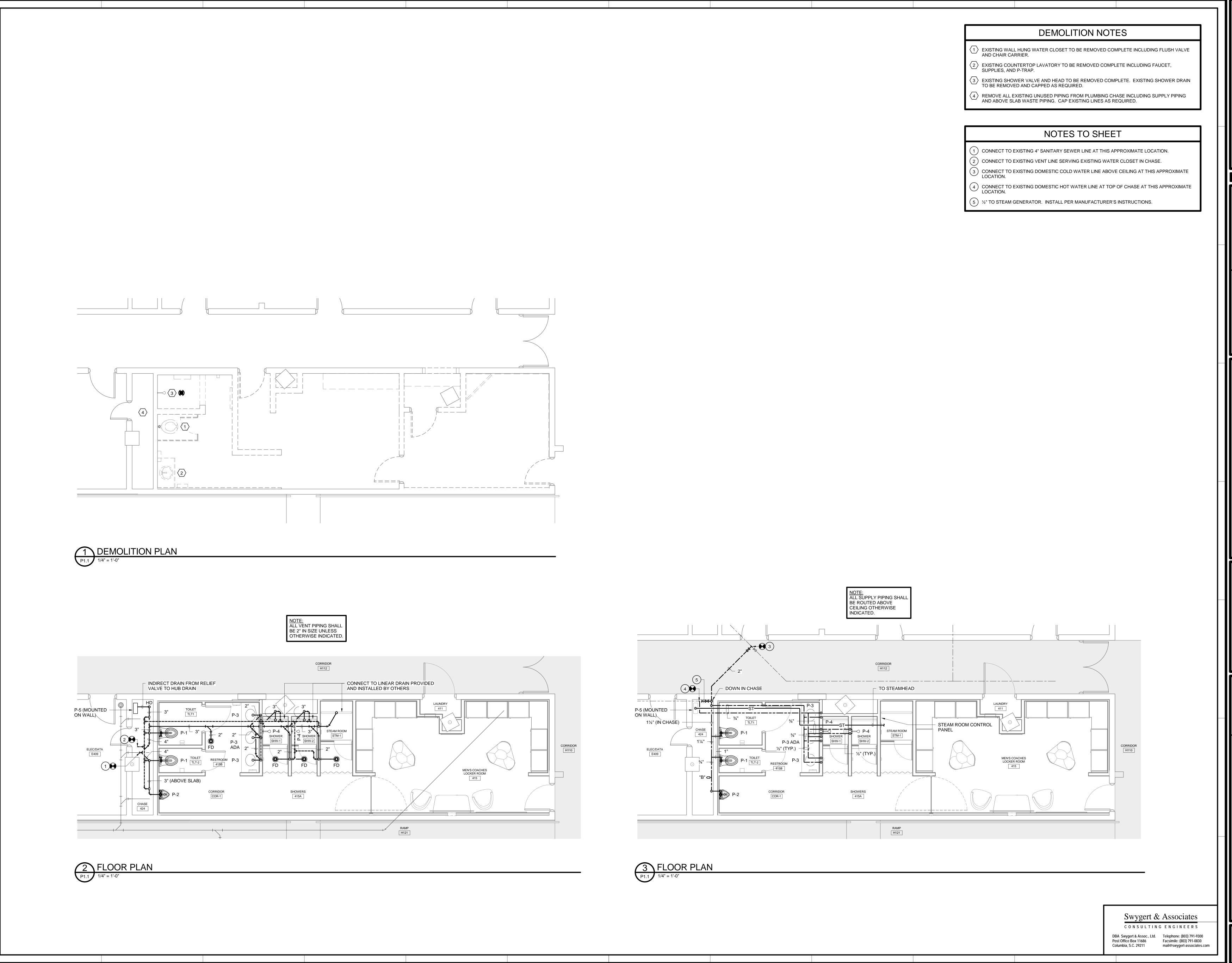
DEMOLITION PLAN

1/4" = 1'-0"

2 RENOVATION PLAN

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		Р	LUMBIN	G FIXTUR	E SCHED	ULE		
						MIN. S	UPPLY	
P. NO.	FIXTURE	MFGR.	NAME	MFGRS. NO.	SIZE	CW	HW	REMARKS
P-1	WATER CLOSET	KOHLER	KINGSTON	K-4325		1"		WITH SLOAN MODEL 111-XL FLUSH VALVE, BENEKE 527 SEAT, AND CHAIR CARRIER.
P-2	URINAL	KOHLER	DEXTER	K-5016-ET		3/4"		WITH SLOAN MODEL 186-0.5-XL FLUSH VALVE AND CHAIR CARRIER.
P-3	LAVATORY	KOHLER	CAXTON	K-2210	19¼"x16¼"	3/8"	3/8"	UNDERCOUNTER MOUNTED WITH DELTA MODEL 22C651 FAUCET, WATTS, OR APPROVED EQUAL, SERIES LFUSG-B ASSE 1070 THERMOSTATIC MIXING VALVE, McGUIRE 155WC OFFSET GRID DRAIN, McGUIRE H165 3/8" CAST BRASS SUPPLIES WITH STOPS, AND McGUIRE 8872 1-1/4" P-TRAP. MOUNT MIXING VALVE AS HIGH AS POSSIBLE UNDER COUNTERTOP. REFERENCE MANUFACTURER'S INFORMATION FOR ADA INSTALLATION.
P-4	SHOWER	DELTA		T17240		1/2"	1/2"	WITH MONITOR 17 SERIES PRESSURE BALANCED MIXING VALVE AND RP42758 TOUCH CLEAN SHOWER HEAD.
P-5	STEAM GENERATOR	STEAMIST		DSMP-7		1/2"		WITH 250R ROUND CONTROL PANEL IN BRUSHED NICKEL FINISH AND 3199R ROUND STEAMHEAD IN BRUSHED NICKEL. UNIT SHALL BE COMPLETE WITH AUTOMATIC DRAIN.
FD	FLOOR DRAIN	ZURN		ZN-415-S				WITH 5"x5" NICKLE BRONZE STRAINER, P-TRAP, AND PROSET, OR APPROVED EQUAL, TRAP GUARD.

### GENERAL NOTES

MATERIALS REQUIRED AND DIFFICULTY OF INSTALLATION. WORK SHALL BE INSTALLED

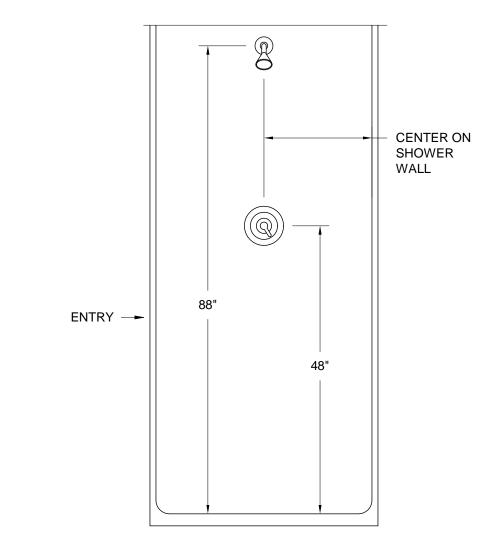
- . ALL WORK SHALL BE PERFORMED ACCORDING TO ALL LOCAL, STATE, NATIONAL CODES, AND THE 2015 INTERNATIONAL PLUMBING CODE.
- 2. DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS, FIXTURE LOCATIONS, ETC.
- 3. CONTRACTOR SHALL, PRIOR TO BIDDING, VISIT THE SITE AND DETERMINE SCOPE OF WORK,
- 4. COORDINATE CLOSELY WITH ALL WORK DONE UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID INTERFERENCE AND CONFLICT.
- 5. OPENINGS THROUGH WALLS AND FLOORS SHALL BE CUT NO LARGER THAN REQUIRED FOR
- INSTALLATION AND SHALL BE SMOOTH. 6. ALL OPENINGS THROUGH WALLS SHALL BE FLASHED AND COUNTER FLASHED.
- 7. ALL PIPING IS SHOWN DIAGRAMMATIC. HOWEVER, CONTRACTOR SHALL PROVIDE ALL REQUIRED FITTINGS AND PIPING FOR ALL OFFSETS AND/ OR CHANGES IN ELEVATION.
- 8. ALL PIPING SHALL BE SUPPORTED IN ACCORDANCE WITH THE SPECIFICATIONS, AND AS
- DETAILED ON THESE DRAWINGS. 9. CONTRACTOR SHALL VERIFY ACTUAL LOCATIONS AND INVERTS OF THE EXISTING UTILITIES
- 10. ALL PIPING INSULATION SHALL BE RUN CONTINUOUSLY.

PRIOR TO START OF CONSTRUCTION.

COMPLETE AND OPERATIVE.

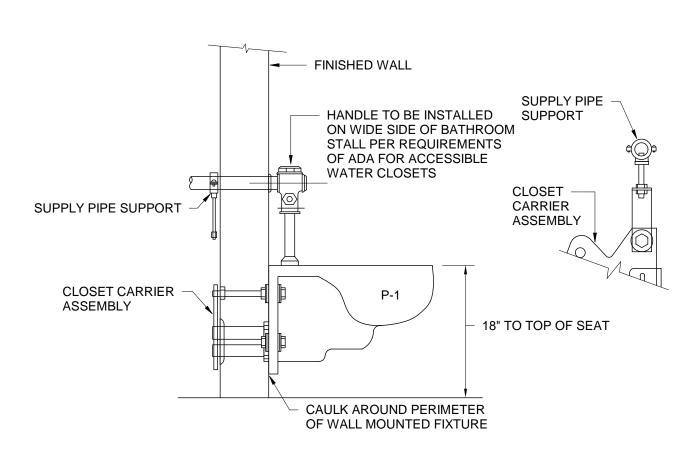
11. EXISTING INFORMATION TAKEN FROM OWNERS RECORD SET OF DRAWINGS DATED OCTOBER

	LEGEND
SYMBOL	DESCRIPTION
<del></del>	SANITARY WASTE LINE
۶	SANITARY VENT LINE
~ - <del>~</del>	DOMESTIC COLD WATER LINE
<b>←</b> − − <b>→</b>	DOMESTIC HOT WATER LINE
<b>⊱</b> ST <del></del>	STEAM ROOM LINE
$\longrightarrow$	SHUTOFF VALVE
ξ <del>'</del>	SHOCK ARRESTOR (P.D.I. RATING OF "A")
<b>ک</b> ، کے	PIPE TURNS TO, AWAY
HD	HUB DRAIN
ADA	FIXTURE FOR USE ACCORDING TO THE AMERICANS WITH DISABILITIES ACT
•	CONNECTION POINT OF NEW TO EXISTING

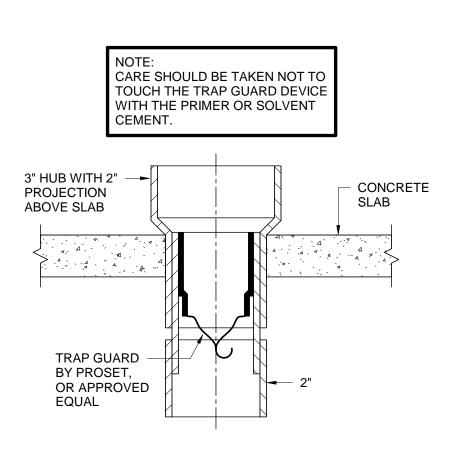


SHOWER CONTROL MOUNTING HEIGHTS DETAIL

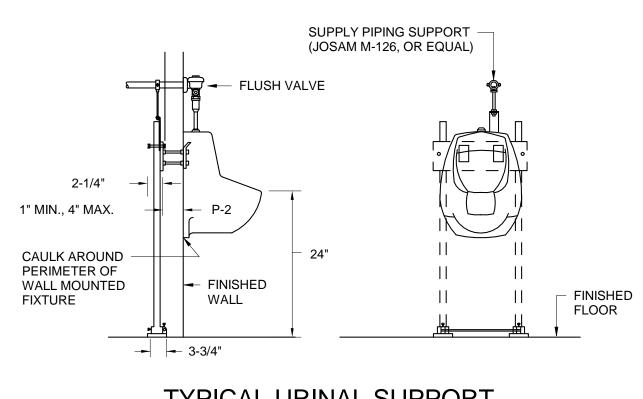
NO SCALE



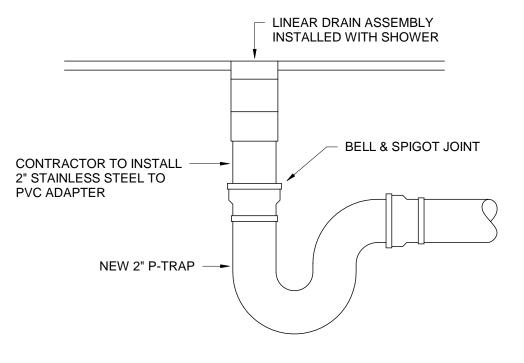
WALL MOUNTED WATER CLOSET SUPPLY DETAIL
NO SCALE



HUB DRAIN DETAIL



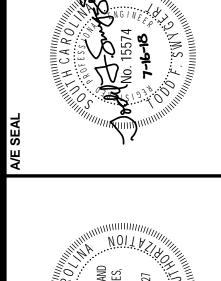
TYPICAL URINAL SUPPORT
NO SCALE

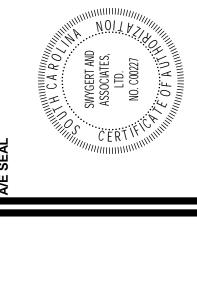


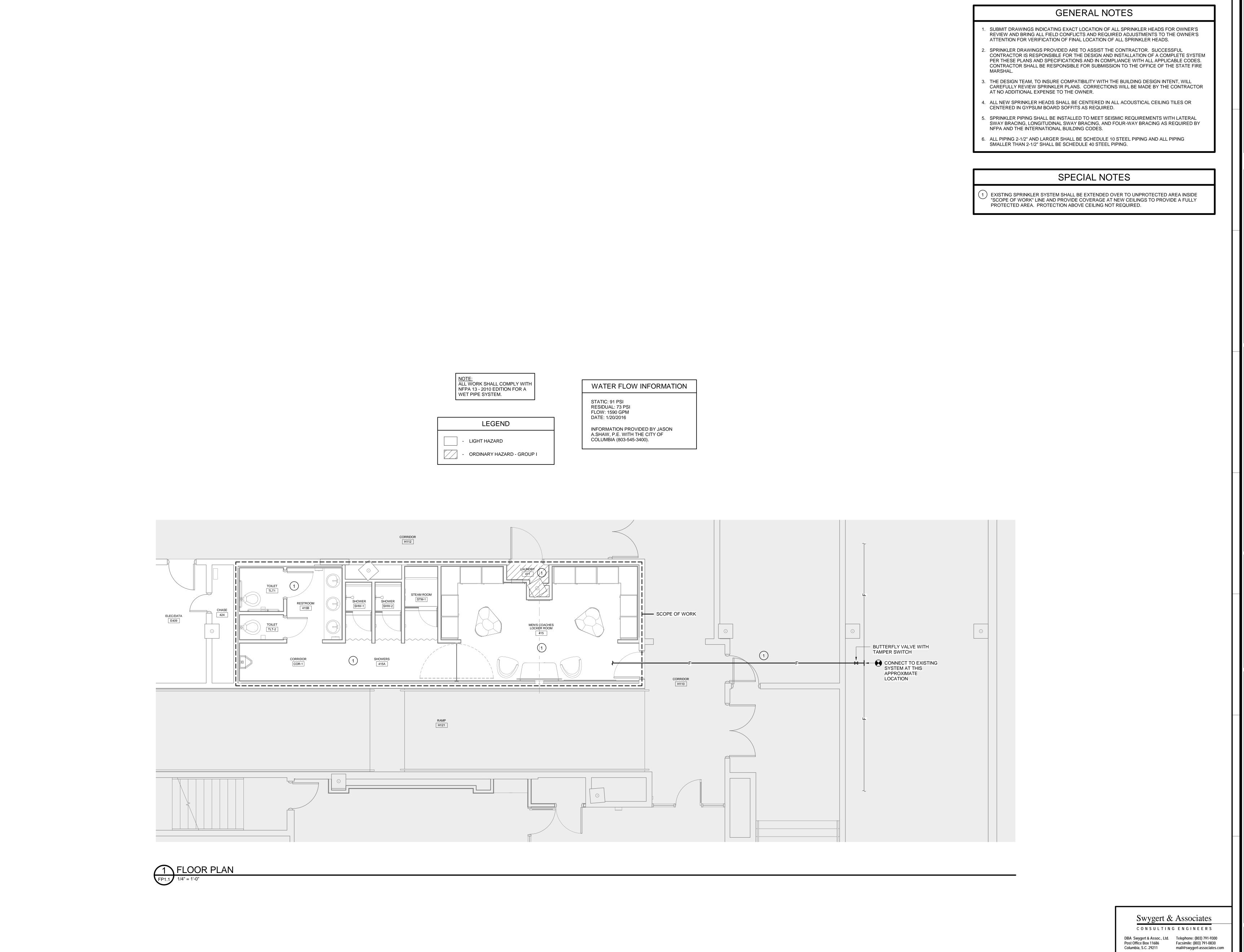
LINEAR DRAIN ASSEMBLY DETAIL
NO SCALE

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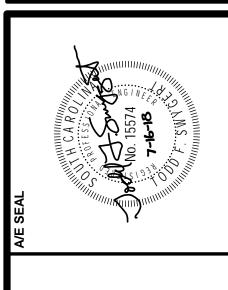


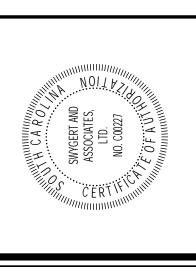


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PLOOR PLAN AND NOTES

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#### GENERAL "ELECTRICAL" NOTES

- BRANCH CIRCUIT WIRING SHALL BE NO. 12 AWG UNLESS NOTED OTHERWISE. WHERE CONDUCTOR AND RACEWAY SIZE ARE SHOWN AT HOMERUN, SUCH SIZE SHALL BE USED FOR THE ENTIRE CIRCUIT. EXCEPTION: FINAL CONNECTION TO DEVICES, IN OUTLET BOXES, IS NOT REQUIRED TO BE LARGER THAN NO.
- 2 20A/120V BRANCH CIRCUITS EXCEEDING 100' IN LENGTH FROM PANEL TO FARTHEST DEVICE OR FIXTURE SHALL USE NO. 10 CONDUCTORS AND 3/4"C.
- 3 PRIOR TO ROUGH—IN, COORDINATE THE LOCATION AND MOUNTING HEIGHT OF ALL WALL AND CEILING MOUNTED DEVICES WITH THE ARCHITECTURAL ELEVATIONS, MILLWORK SHOP DRAWINGS, AND EXISTING CONDITIONS. IN THE EVENT OF A CONFLICT, NOTIFY THE ARCHITECT. MINOR ADJUSTMENTS IN DEVICE LOCATION, I.E. 5'-0" IN ANY DIRECTION SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
- 4 PROVIDE FLEXIBLE CONDUIT FOR ALL CONDUITS CROSSING EXPANSION JOINTS. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION OF EXPANSION JOINTS.
- 5 OUTLET BOXES FOR SWITCHES, RECEPTACLES, ETC MOUNTED ON OPPOSITE SIDES OF FIRE RATED PARTITIONS SHALL NOT BE MOUNTED IN THE SAME WALL CAVITY. SEPARATE WALL PENETRATIONS BY MOUNTING ON OPPOSITE SIDES OF WALL STUDS OR OTHER VERTICAL STRUCTURAL MEMBER IN THE WALL.
- 6 RACEWAYS SHALL BE INSTALLED CONCEALED IN NEW WALL CONSTRUCTION ABOVE CEILINGS, BELOW FLOOR, AND IN OTHER CAVITIES TO THE GREATEST EXTENT POSSIBLE. WHERE EXPOSED RACEWAYS MUST BE USED, LAYOUT RACEWAYS TO MINIMIZE THE NUMBER OF VERTICAL RUNS.
- 7 FEEDER CONDUITS, BRANCH CIRCUITS AND CABLE TRAY ROUTING SHALL COMPLY WITH DETAILS ON DRAWINGS
- AND SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES BEFORE AND DURING CONSTRUCTION. 8 WHERE LIGHT SWITCH AND ABOVE COUNTER RECEPTACLES ARE INDICATED TO BE MOUNTED ADJACENT TO EACH OTHER, THE DEVICES SHALL BE MOUNTED AT THE SAME HEIGHT UNDER A COMMON DEVICE PLATE.
- 9 REFER TO THE ARCHITECTURAL DRAWINGS FOR PROJECT PHASING. 10 THE ARRANGEMENT, GROUPING, AND ROUTING OF BRANCH CIRCUITS SHALL BE PROVIDED AT THE CONTRACTOR'S DISCRETION IN ACCORDANCE WITH GENERALLY ACCEPTED PRACTICE FOR ELECTRICAL WORK,
- THE NATIONAL ELECTRICAL CODE REQUIREMENTS, LOCAL ORDINANCES, AND THE FOLLOWING: 10.1 A COMMON NEUTRAL SHALL NOT BE INSTALLED IN A HOMERUN FOR 2 OR 3 BRANCH CIRCUITS UNLESS
- DIRECTION IS PROVIDED BY THE ENGINEER IN WRITTING FOR A SPECIFIC APPLICATION. 10.2 MULTIPLE SINGLE—POLE BRANCH CIRCUITS (UP TO 3 HOTS, 3 NEUTRALS, 1 GROUND) RATED FOR 30—AMPS OR LESS MAY BE PULLED INTO A SINGLE RACEWAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SIZING
- THE RACEWAYS AND DERATING CONDUCTORS PER NEC ARTICLE 310.15. 10.3 BRANCH CIRCUIT, FEEDER & COMMUNICATION CIRCUITS SHALL BE ROUTED OVERHEAD UNLESS PRIOR
- APPROVAL HAS BEEN GRANTED BY THE ARCHITECT AND ENGINEER.
- 10.4 A GROUND CONDUCTOR SHALL BE PROVIDED IN ALL RACEWAYS UNLESS NOTED OTHERWISE. 11 PROVIDE EXPANSION JOINT COUPLINGS ANYWHERE A CONDUIT PASSES THROUGH A BUILDING EXPANSION
- 12 THE USE OF MC CABLE IS NOT ALLOWED.
- 13 SEAL ALL EXISTING AND NEW FIRE RATED WALL AND FLOOR PENETRATIONS IN THE CONSTRUCTION AREA 14 SEE THE ARCHITECTURAL DRAWINGS FOR ALL LOCATIONS OF FIRE RATED WALLS.
- 15 WHEREVER ON THE ELECTRICAL DRAWINGS THE WORD "PROVIDE" IS USED, IT SHALL BE INFERRED TO MEAN "FURNISH AND INSTALL".
- 16 WHERE CARD READERS AND / OR DOOR CONTACTS ARE SHOWN ON DRAWINGS, COORDINATE WITH ACCESS CONTROL AND DOOR HARDWARE SUPPLIER TO ENSURE THAT ALL RACEWAYS AND BOXES FOR POWER, SIGNALING, AND DATA ARE PROVIDED TO CARD READER LOCATIONS, DOOR FRAME, POWER SUPPLIES, AND
- 17 CONTRACTOR SHALL NOT PERFORM WORK ON CIRCUITS/FEEDERS WHILE ENERGIZED. PROVIDE BREAKER LOCKOUTS AS REQUIRED.

#### GENERAL EXISTING CONDITION NOTES

- 1 AREAS OF WORK EXIST FOR THIS PROJECT WHICH ARE NOT ACCESSIBLE OR HAVE LIMITED ACCESS DURING DESIGN. AS SUCH CONTRACTOR SHALL VERIFY ALL UTILITIES IN AREA OF WORK BEFORE DEMOLITION OF ANY SERVICE. ANY ELECTRICAL COMPONENTS NOT SHOWN SHALL BE IDENTIFIED AND THE ARCHITECT AND ENGINEER SHALL BE NOTIFIED AS SOON AS POSSIBLE. NO ELECTRICAL REWORK SHALL BE COMMENCED WITHOUT COORDINATION OF BOTH ARCHITECT AND ENGINEER
- 2 IN AREAS WHERE THE EXISTING CEILINGS ARE NOT SLATED TO BE REMOVED, THE CONTRACTOR SHALL WORK THRU THE EXISTING CEILINGS (SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR AREA OF WORK). THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY DAMAGED TILE OR GRID THAT IS A RESULT OF THEIR WORK.
- 3 REFER TO ARCHITECTURAL PLANS FOR PHASING OF CONSTRUCTION.
- 4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A FIRESTOP SYSTEM IN ALL PENETRATIONS OF FIRE-RATED WALLS CREATED BY THE REMOVAL OF EXISTING ELECTRICAL CONDUIT OR CABLES, AS WELL AS THOSE CREATED BY NEWLY INSTALLED CONDUITS AND SLEEVES.
- 5 WHERE INSTALLATION REQUIRES CUTTING OR DRILLING OF THE EXISTING FLOOR SLAB, THE CONTRACTOR SHALL X-RAY THE EXISTING SLAB PRIOR TO WORK TO ENSURE THAT NO EXISTING UTILITIES OR STRUCTURAL ELEMENTS IN THE SLAB WILL BE COMPROMISED BY THE WORK. NOTIFY THE ARCHITECT/ENGINEER OF ANY CONFLICTS THAT WILL REQUIRE RELOCATING THE PROPOSED SLAB WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGED UTILITIES OR STRUCTURAL ELEMENTS CAUSED BY THE SLAB DEMOLITION.
- 6 SUPPORT ALL EXISTING CONDUITS AND JUNCTION BOXES ABOVE THE CEILING PER NEC IN THE CONSTRUCTION AREA.
- 7 REMOVE ALL ABANDONED CONDUIT, WIRE, AND COMMUNICATION CABLES ABOVE THE CEILING IN THE CONSTRUCTION AREA.
- 8 PROVIDE JUNCTION BOX COVER PLATES ON ALL EXISTING JUNCTION BOXES ABOVE THE CEILING IN THE CONSTRUCTION AREA.
- 9 SUPPORT ALL EXISTING COMMUNICATION CABLES ABOVE THE CEILING IN THE CONSTRUCTION AREA 10 WHERE INFORMATION SHOWN ON THESE DRAWINGS CONFLICTS WITH VERIFIED FIELD CONDITIONS, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER

#### GENERAL "LIGHTING" NOTES

- SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR THE EXACT LOCATION OF ALL CEILING MOUNTED LIGHTING
- $^{2}$  -exact locations of lighting fixtures in mechanical spaces shall be determined in the field. D $^{6}$ NOT SUPPORT FIXTURES FROM DUCT OR PIPING. PROVIDE CHAIN OR TRAPEZE—TYPE HANGERS WHERE FIXTURES CAN NOT BE MOUNTED DIRECTLY TO CEILING.
- 3 LIGHTING FIXTURE CATALOG NUMBERS ARE INDICATIVE OF THE STYLE OF FIXTURE REQUIRED. CONTRACTOR SHALL PROVIDE FIXTURES WITH THE PROPER TRIM, VOLTAGE AND OPTIONS NECESSARY FOR INSTALLATION.
- 4 DOUBLE-FACED EXIT FIXTURES SHALL BE OF THE SAME MANUFACTURER & SERIES AS THE SINGLE TYPE REGARDLESS OF CATALOG NUMBER INDICATED IN SCHEDULE, PROVIDE BATTERY PACKS FOR ALL FIXTURES
- INDICATED ON THE DRAWINGS TO BE EMERGENCY TYPE. 6 REGARDLESS OF CATALOG NUMBER INDICATED IN SCHEDULE, ALL EXIT SIGNS SHALL BE PROVIDED WITH A
- BATTERY PACK, SHALL BE WIRED AHEAD OF LOCAL SWITCH AND SHALL NOT BE SWITCHED. MOUNT UNDER CABINET FIXTURE TO UNDERSIDE OF SURFACE USING SPACERS TO PROVIDE 1/4"AIR GAP. HOLD FIXTURE 1/8" OFF WALL. FOR FIXTURES BELOW CABINETS, MAKE FLEXIBLE FINAL CONNECTIONS FROM JUNCTION BOX IN CEILING CAVITY ABOVE FIXTURES. DO NOT INSTALL OUTLET AT FIXTURE.
- 8 REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING DETAILS OF LIGHT FIXTURE TO ACOUSTICAL CEILING SYSTEM AND STRUCTURE

#### GENERAL "SIGNAL" NOTES

- PROVIDE CONDUIT FOR HVAC CONTROL CIRCUITS AS REQUIRED TO INTER—CONNECT HVAC UNIT TO CONTROL CIRCUITS. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICAL CONTRACTOR AND CONTROLS PROVIDER TO DETERMINE SCOPE OF CONDUITS REQUIRED FOR HVAC CONTROLS. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL REQUIRED CONDUIT. COORDINATE POINTS OF CONNECTION WITH DIVISION 23. PROVIDE PULL CORD IN ALL EMPTY CONDUITS. SEE MECHANICAL PLANS FOR EXACT LOCATIONS OF ALL HVAC
- EQUIPMENT AND CONTROL DEVICES. EXTEND A 1" CONDUIT WITH PULL WIRE FROM EACH COMMUNICATIONS OUTLET TO THE NEAREST
- COMMUNICATION BACKBOARD. COMMUNICATION OUTLET BOX SHALL BE 4" SQUARE WITH SINGLE GANG RING. 3 ALL COMMUNICATIONS OUTLET BOXES SHALL BE 2-1/2" DEEP.
- 4 REMOVE ALL EXPOSED ABANDONED COMMUNICATION CABLE FOUND DURING THE CONSTRUCTION PROCESS. SUPPORT ALL EXISTING REMAINING CABLE PER THE NEC. 5 CABLE SHALL BE CONCEALED IN ALL FINISHED AREAS AND ROUTED PARALLEL OR PERPENDICULAR TO THE
- BUILDING STRUCTURE. 6 ALL FIRE ALARM CABLE SHALL BE INSTALLED IN METALLIC CONDUIT. COORDINATES WITH FIRE ALARM SYSTEM MANUFACTURER FOR CABLE ROUTING AND QUANTITIES.

### GENERAL "POWER" NOTES

- ALL BRANCH CIRCUITS INDICATED ON THESE PLANS TO BE LARGER THAN NO. 12 AWG SHALL BE SIZED AS INDICATED FOR THE ENTIRE LENGTH OF THE CIRCUIT. WHEN A RECEPTACLE IS INDICATED TO BE MOUNTED ADJACENT TO A COMPUTER/TELEPHONE/ TELEVISION
- OUTLET, THE DEVICE(S) SHALL BE MOUNTED WITHIN 6" CENTER-TO-CENTER. 3 PROVIDE AND INSTALL AN ENGRAVED LAMINATED PLASTIC NAMEPLATE ON EACH ITEM OF ELECTRICAL EQUIPMENT SERVING MECHANICAL EQUIPMENT WHICH MATCH MECHANICAL DESCIPTIONS, TO INDICATE THE
- DESIGNATION OF THE UNIT ON THE PLANS & THE BRANCH CIRCUIT SERVING THE EQUIPMENT. 4 PROVIDE NEMA CONFIGURATION RECEPTACLES TO MATCH PLUGS ON EQUIPMENT FURNISHED.
- WHERE SPEED CONTROLLER IS INDICATED TO BE PROVIDED WITH FANS, IT SHALL BE PROVIDED BY MECHANICAL CONTRACTOR AND INSTALLED BY ELECTRICAL CONTRACTOR. 6 PROVIDE LABEL ON INSIDE FACE OF COVER PLATE OF ALL RECEPTACLES, SWITCHES & WALL MOUNTED

DEVICES INDICATING PANEL AND BRANCH CIRCUIT TO WHICH EACH DEVICE IS CONNECTED.

REMOVED DURING DEMOLITION AND RE-INSTALLED ON NEW CEILING IN SAME LOCATION.

- GENERAL "DEMOLITION" NOTES ALL ELECTRICAL EQUIPMENT TO BE REMOVED SHALL REMAIN THE PROPERTY OF THE OWNER. THE CONTRACTOR SHALL NOT DISPOSE OF ANY MATERIALS UNTIL RELEASED BY OWNER'S PROJECT MANAGER. MATERIALS THAT OWNER'S PROJECT MANAGER CHOOSES TO RETAIN SHALL BE DELIVERED BY TH CONTRACTOR TO A LOCATION DESIGNATED BY THE PROJECT MANAGER. ALL OTHER MATERIALS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR.
- REMOVE ALL EXPOSED ABANDONED COMMUNICATION CABLE FOUND DURING THE CONSTRUCTION PROCESS. SUPPORT ALL EXISTING REMAINING CABLE PER THE NEC.
- 3 ELECTRICAL DEVICES NOT SHOWN ON WALLS TO BE DEMOLISHED SHALL BE DEMOLISHED AT NO ADDITIONAL COST TO OWNER. 4 ELECTRICAL DEVICES NOT SHOWN ON CEILINGS OR WALLS TO REMAIN SHALL REMAIN IN PLACE. PROTECT
- FROM DAMAGE DURING CONSTRUCTION 5 ELECTRICAL DEVICES NOT SHOWN ON CEILINGS TO BE REMOVED SHALL BE TEMPORARILY DISCONNECTED AND

#### **ABBREVIATIONS** DESCRIPTION

- (E) EXISTING AFC ABOVE FINISHED CEILING
- AFF ABOVE FINISHED FLOOR
- AFG ABOVE FINISHED GRADE
- AHU AIR HANDLING UNIT
- BAS BUILDING AUTOMATION SYSTEM
- BFC BELOW FINISHED CEILING
- BFG BELOW FINISHED GRADE
- BOD BOTTOM OF DEVICE CBB COMMUNICATIONS BACK BOARD

ECB ENCLOSED CIRCUIT BREAKER

- cd CANDELA CLG CEILING
- EF EXHAUST FAN FACP FIRE ALARM CONTROL PANEL
- FCU FAN COIL UNIT
- FDS FUSED DISCONNECT SWITCH FSD FIRE/SMOKE DAMPER
- GBB GROUND BUSS BAR GFCI GROUND-FAULT CIRCUIT-INTERRUPTING
- GFI GROUND-FAULT INTERRUPTING
- GP GENERAL PURPOSE HD HAND DRYER
- HP HEAT PUMP
- ICP IRRIGATION CONTROL PANEL IG ISOLATED GROUND
- I-BOX JUNCTION BOX
- LCS LIGHTING CONTROL SYSTEM
- NEC NATIONAL ELECTRIC CODE
- NFDS NON-FUSED DISCONNECT SWITCH OC ON CENTER
- RFAP REMOTE FIRE ALARM ANNUNCIATOR PANEL RTU ROOF TOP UNIT
- SD SMOKE DETECTOR
- SPD SURGE PROTECTION DEVICE
- TGB TELEPHONE GROUNDING BUSS BAR UNO UNLESS OTHERWISE NOTED
- UTP UNSHIELDED TWISTED PAIR VFD VARIABLE FREQUENCY DRIVE
- W/ WITH
- WH WATER HEATER WP WEATHERPROOF

XFMR TRANSFORMER

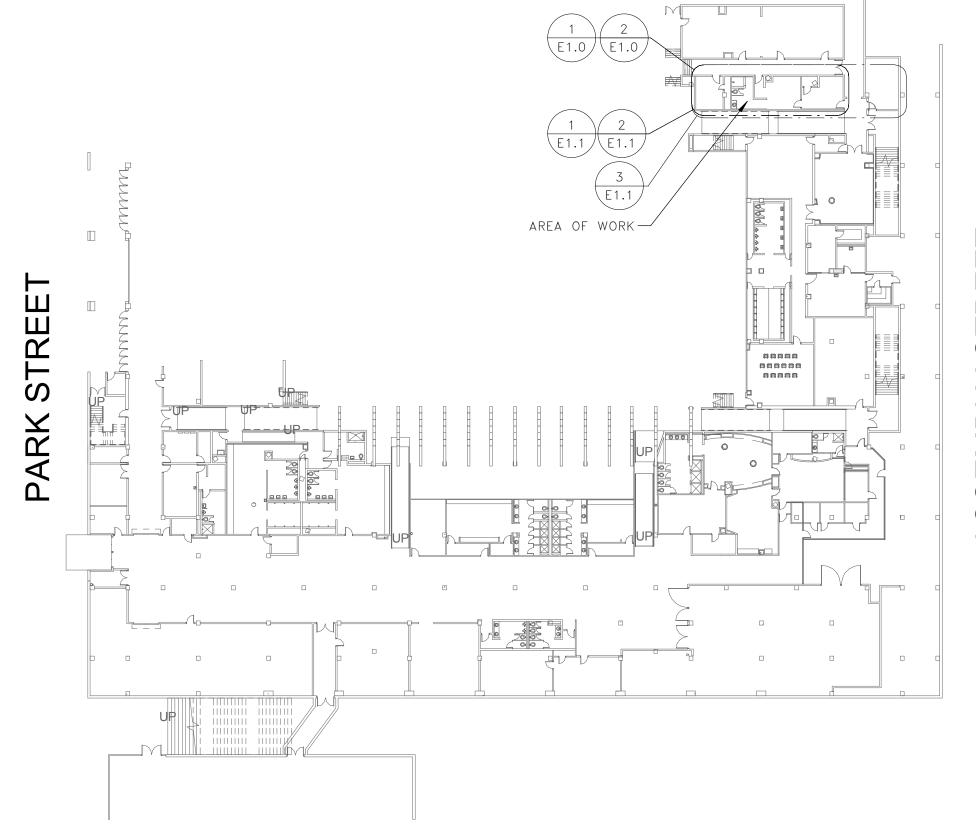
#### DEMOLITION/RENOVATION NOTATION

- IF NO ANNOTATION IS SHOWN ASSUME EXISTING TO REMAIN IN PLACE FOR SOLID LINES AND DEMOLISH FOR DASHED LINES. DEVICES AND EQUIPMENT NOT SHOWN SHALL BE ASSUMED TO BE EXISTING TO REMAIN IN
- E EXISTING FIXTURE OR DEVICE TO REMAIN IN PLACE. REPLACE ANY BROKEN DEVICES OR PLATES; COLOR TO MATCH EXISTING. R EXISTING FIXTURE OR DEVICE TO BE REMOVED BY THE ELECTRICAL CONTRACTOR. MAINTAIN
- CONTINUITY OF REMAINING PORTIONS OF BRANCH CIRCUIT. RE EXISTING DEVICE TO BE REMOVED BY THE ELECTRICAL CONTRACTOR. EXISTING CIRCUIT SHALL BE RETAINED. PROVIDE NEW DEVICE
- AS SHOWN ON RENOVATION PLANS. RN RELOCATED FIXTURE (NEW LOCATION). RR EXISTING FIXTURE TO BE RELOCATED BY THE ELECTRICAL CONTRACTOR TO NEW LOCATION

SHOWN ON RENOVATION PLAN.

#### ELECTRICAL SYMBOL LEGEND SYMBOL DESCRIPTION SYMBOL DESCRIPTION FIRE ALARM PULL STATION (WALL MOUNTED @ 48" SINGLE RECEPTACLE (WALL MOUNTED @ 18"AFF) AFF TOP OF BOX) FIRE ALARM AUDIBLE DEVICE (WALL MOUNTED @ 7'-DUPLEX RECEPTACLE (WALL MOUNTED @ 18"AFF) | FIRE ALARM VISUAL DEVICE (WALL MOUNTED @ 7'-6" DUPLEX RECEPTACLE (GFI TYPE @ 18"AFF) | FIRE ALARM AUDIBLE/VISUAL DEVICE (WALL MOUNTED @ DUPLEX RECEPTACLE (USB TYPE @ 18"AFF) 7'-6" AFF) DUPLEX RECEPTACLE (@ 6" ABOVE COUNTER) FIRE ALARM AUDIBLE DEVICE (CEILING MOUNTED) | DUPLEX RECEPTACLE (GFI TYPE @ 6" ABOVE FIRE ALARM VISUAL DEVICE (CEILING MOUNTED) DUPLEX RECEPTACLE (USB TYPE @ 6" ABOVE FIRE ALARM AUDIBLE/VISUAL DEVICE (CEILING MOUNTED QUAD RECEPTACLE (WALL MOUNTED @ 18"AFF) SMOKE DETECTOR (WALL MOUNTED) QUAD RECEPTACLE (GFI TYPE @ 18"AFF) SMOKE DETECTOR (CEILING MOUNTED) QUAD RECEPTACLE (USB TYPE @ 18"AFF) SMOKE DETECTOR (DUCT MOUNTED) QUAD RECEPTACLE (@ 6" ABOVE COUNTER) | HEAT DETECTOR (WALL MOUNTED) QUAD RECEPTACLE (GFI TYPE @ 6" ABOVE HEAT DETECTOR (CEILING MOUNTED) COUNTER) REMOTE TEST STATION FOR DUCT MOUNTED DETECTORS QUAD RECEPTACLE (USB TYPE @ 6" ABOVE (WALL MOUNTED) REMOTE TEST STATION FOR DUCT MOUNTED DETECTORS DUPLEX RECEPTACLE (CEILING MOUNTED) (CEILING MOUNTED) FIRE ALARM TAMPER SWITCH DUPLEX RECEPTACLE (FLOOR MOUNTED) QUADPLEX RECEPTACLE (CEILING MOUNTED) FIRE ALARM PRESSURE SWITCH QUADPLEX RECEPTACLE (FLOOR MOUNTED) FIRE ALARM FLOW SWITCH DUPLEX REC/DATA COMBINATION (FLOOR MOUNTED) FIRE / SMOKE DAMPER QUADPLEX REC/DATA COMBINATION (FLOOR PRESSURE INDICATING VALVE MOUNTED) MULTI-PHASE RECEPTACLE (AS NOTED ON PLAN) SECURITY CARD READER JUNCTION BOX (WALL MTD) SECURITY KEY PAD ELECTRIC STRIKE JUNCTION BOX (CEILING) ADDRESSABLE INTERFACE UNIT (MONITOR OR JUNCTION BOX (FLOOR MOUNTED) CONTROL TYPE) PHONE OR DATA OUTLET (WALL MOUNTED @ 18"AFF) $\square$ CCTV CAMERA (WALL MOUNTED) CCTV CAMERA (CEILING MOUNTED) ightharpoonup | Phone or data outlet (MTD above counter) PHONE OR DATA OUTLET (FLOOR MOUNTED) SURGE PROTECTION DEVICE TELEVISION / CATV OUTLET (WALL MOUNTED @ 18 SPEAKER (WALL MOUNTED) TELEVISION / CATV OUTLET (CEILING MOUNTED) SPEAKER (CEILING MOUNTED) PUSH BUTTON CONTROL Wi-Fi ACCESS POINT (CEILING MOUNTED) LIGHT SWITCH, SINGLE POLE CABLE TRAY S LIGHT SWITCH, 3 WAY TYPE ELECTRICAL METERING DEVICE LIGHT SWITCH, 4 WAY TYPE ELECTRICAL UTILITY METER & C/T CABINET LIGHT SWITCH, AUTOMATIC (CONNECT TO LCS) PANELBOARD (SURFACE MOUNTED) \$ LIGHT SWITCH, DIMMER TYPE PANELBOARD (RECESS MOUNTED)

# LIGHT SWITCH, DIGITALLY TIMED (0-30 MINUTES)MOTOR RATED SNAP SWITCH IN NEMA 1 ENCLOSURE CONTROL PANEL (RECESS MOUNTED) DISCONNECT SWITCH, (REFER TO EQUIPMENT LOWER CASE SUBSCRIPT INDICATES SWITCH-LEG CONNECTION SCHEDULE) MULTI-LEVEL SWITCHING CONFIGURATION DISCONNECT SWITCH, (NON PROTECTED) PHOTOCELL LIGHTING CONTROL MOTOR CONNECTION (AS NOTED) OCCUPANCY SENSOR (CEILING MOUNTED) REMOTE FEED-THRU GFCI DEVICE WITH OCCUPANCY SENSOR (WALL MOUNTED) INDICATOR LIGHT. (NO RECEPTACLE) LIGHTING CONTROL CALLOUT (REFER TO SCHEDULE) #" c. | CONDUIT CALLOUT (# INDICATES DIAMETER) KITCHEN EQUIPMENT CALLOUT (REFER TO SCHEDULE) KEY NOTE CALLOUT (REFER TO KEY NOTES ON SHEET



ELECTRICAL DRAWING INDEX SHEET NAME

EO.1 ELECTRICAL NOTES & LEGENDS

E1.0 ELECTRICAL DEMOLITION PLANS

E1.1 ELECTRICAL RENOVATION PLANS

LIGHTING & EQUIPMENT SCHEDULES

BEAT ENGINEERING ASSOCIATES, INC.

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BELKA

**ENGINEERING** 

ASSOC. INC.

No. C00953

EO.1 NOT TO SCALE

PARTIAL GROUND FLOOR PLAN

	EQUIPMENT CONNECTION SCHEDULE												
UNIT	ELECTRICAL												
I.D.	VOLTS	# OF POLES AMPS NEMA LOAD (VA)											
EF-1	120 V	1			231	2,3							
STEAMER	208 V	2	60 A	1	7500	1							

- EQUIPMENT CONNECTION SCHEDULE NOTES
- 1 ALL SWITCHES SHALL BE GENERAL DUTY TYPE, FUSIBLE UNLESS NOTED WITH "NF" (NON-FUSIBLE).
- 2 DISCONNECT SWITCH INTEGRAL WITH MECHANICAL EQUIPMENT.
- 3 UNIT SHALL OPERATE CONTINUOUSLY.

GEN	ERAL	PANEL	SCHEDULE	NOTES

- 1 FIELD VERIFY EXISTING LOAD SERVED BY EACH BRANCH AND CLEARLY LABEL IN PANELBOARD SCHEDULES.
- 2 CIRCUITS INDICATED TO FEED NEW LIGHTING AND ELECTRICAL DEVICES ARE DIAGRAMMATIC IN NATURE. CONTRACTOR SHALL BE RESPONSIBLE FOR MOVING EXISTING BREAKERS WHERE ADDITIONAL SPACE IS NEEDED BUT AVAILABLE.
- 3 EXISTING BREAKERS SHOWN IN PANEL SCHEDULES ARE FOR REFERENCE ONLY.

			sting panelboard: LD					HASES:	: 120/2 : 3	,		MAINS RATING: 225 A					
			SUPPLIED FROM:		WIRES: 4								MCB RATING: MAIN LUGS ONLY				
			MOUNTING: SURFACE			ENCLOSURE: Type 1											
	WIRE SIZE	СКТ	DESCRIPTION	BKR	Р		A		В	1	С	Р	BKR	DESCRIPTION CKT	WIRE SIZ		
	0 40 4 40 4 440	1	* CTEANED   NDD COACHEC LOCKED	F.0		3.8	0.0					1	20 EXISTING LOAD	2			
	2-#6, 1-#6, 1-#10	3	* STEAMER - MBB COACHES LOCKER	50	2			3.8	0.0			1	20 EXISTING LOAD	4			
		5								2.9	0.0	1	20 EXISTING LOAD	6			
	3-#3, 1-#3, 1-#8	7	* PANEL "LD2"	100	3	3.7	0.0					1	20 EXISTING LOAD	8			
		9						1.9	0.0			1	20 EXISTING LOAD	10			
		11	EXISTING LOAD	20	1					0.0	0.0	1	20 EXISTING LOAD	12			
		13	EXISTING LOAD	20	1	0.0	0.0					1	20 EXISTING LOAD	14			
		15	EXISTING LOAD	20	1			0.0	0.0			1	20 EXISTING LOAD	16			
		17	EXISTING LOAD	20	1					0.0	0.0	1	20 EXISTING LOAD	18			
		19	EXISTING LOAD	20	1	0.0	0.0					1	20 EXISTING LOAD	20			
		21	EXISTING LOAD	20	1			0.0	0.0			1	20 EXISTING LOAD	22			
		23	EXISTING LOAD	20	1					0.0	0.0	1	20 EXISTING LOAD	24			
		25				0.0	0.0							26			
		27	EXISTING LOAD	20	3			0.0	0.0			3	20 EXISTING LOAD	28			
		29								0.0	0.0			30			
		31	EXISTING LOAD	20	1	0.0	0.0					1	20 EXISTING LOAD	32			
		33	EXISTING LOAD	20	1			0.0	0.0			1	20 EXISTING LOAD	34			
		35	EXISTING LOAD	20	1					0.0	0.0	1	20 EXISTING LOAD	36			
		•	TOTAL PE	R PHASE	KVA:	7	.4	5	5.7	2	.9		ADD. CONNECTED		16.0		
			TOTAL PER PH	ASE AMPA	CITY:	6	65	5	51	2	24			ADD. CONNECTED AMPS:	44		
N	OTES:					1		1		1							
*	ELECTRIC	AL CC	NTRACTOR SHALL PROVIDE BREAKER														

	PANELBOARD:	_D2	DISTRIBUTION: 120/208 Wye PHASES: 3								A.I.C. RATING: 10,000  MAINS RATING: 100 A					
	SUPPLIED FROM: L	D	WIRES: 4									MCB RATING: MAIN LUGS ONLY				
	MOUNTING: S	SURFACE	ENCLOSURE: Type 1													
WIRE SIZE	CKT DES	CRIPTION BKR	Р		A	ŀ	3	(	2	Р	BKR	DESCRIPTION	СКТ	WIRE SIZE		
	1 RELOCATED EXISTING	LOAD 20	1	1.0	0.7					1	20	RECEPTACLES - LOCKERS	2	1-#12, 1-#12, 1-#1		
	3 RELOCATED EXISTING	LOAD 20	1			1.0	0.9			1	20	RECEPTACLES - LOCKERS	4	1-#12, 1-#12, 1-#1		
	5 RELOCATED EXISTING	LOAD 20	1					1.0	0.2	1	20	RECEPTACLE — FRIDGE	6	1-#12, 1-#12, 1-#		
	7 RELOCATED EXISTING	LOAD 20	1	1.0	0.2					1	20	RECEPTACLE — TV	8	1-#12, 1-#12, 1-#		
	9 RELOCATED EXISTING	LOAD 20	1			1.0	0.8			1	20	RECEPS - MBB COACHES LOCKERS, EF-1	10	1-#12, 1-#12, 1-#1		
	11 SPARE	20	1					0.0	0.7	1	20	RECEPS - MBB COACHES LOCKERS	12	1-#12, 1-#12, 1-#		
	13 SPARE	20	1	0.0	0.0					1	20	SPARE	14			
	15 SPARE	20	1			0.0	0.0			1	20	SPARE	16			
	17 SPARE	20	1					0.0	0.0	1	20	SPARE	18			
	19 SPARE	20	1	0.0	0.0					1	20	SPARE	20			
	21 SPARE	20	1			0.0	0.0			1	20	SPARE	22			
	23 SPARE	20	1					0.0	0.0	1	20	SPARE	24			
		TOTAL PER PHASE	KVA:	2	.9	3	.7	1	.9			CONNECTED KVA:		8.5		
		TOTAL PER PHASE AMPA	CITY:	2	25	3	2	1	6			CONNECTED AMPACITY:		24		
OTES:																
GFCI TY	PE BREAKER															
COORDIN	ATE FEEDER SIZE WITH SING	GLE LINE DIAGRAM														
* COORDIN	ATE BREAKER SIZE AND CON	IDUCTOR SIZE WITH SRR MANUE	ال ۲ ۸ ۸	DED												

				LIGHT FIXTURE SCH	HEDUL	.E				
		FIXTUR	E SPECIFICATION:	S		LAMPING	ELEC <sup>-</sup>	TRICAL		
SYMBOL	TYPE	FIXTURE DESCRIPTION	MANUFACTURER	CAT. #	NO.	LAMP TYPE	FIXT. LOAD	VOLTS	MOUNTING REMARKS	NOTES
	AG	4' LINEAR SLOT FIXTURE, GRID	NULITE	RG2 06L35 UNV D 1C FRF WH 4'		LED, 2,900 LUMENS, 3500K	26	277 V	GRID	
	AGE	SAME AS FIXTURE "AG" EXCEPT WITH BATTERY	NULITE	RG2 06L35 UNV D 1C FRF WH 4'EMG		LED, 2,900 LUMENS, 3500K	26	277 V	GRID	
. 0	BB	LED SHOWER DOWNLIGHT	LITON	LRLD1422W-T35-WL		LED, 480 LUMENS, 3500K	10	277 V	RECESSED	
. 0	CC	LED DOWNLIGHT	LITON	LHALD411C35-D10P1/LRA LD4SSF062-T35		LED, 1,100 LUMENS, 3500K	13	277 V	RECESSED	
	DDE	6' LINEAR SLOT FIXTURE, FLANGE	NULITE	RF2 03L35 UNV D 1C FRF WH 6'EMG		LED, 2,358 LUMENS, 3500K	20	277 V	RECESSED	
	Е	EXISTING LIGHT FIXTURE, SEE DEMOLITION/RENOVATION NOTATION SCHEDULE, SHEET E0.1								
	FF	2' STRIP FIXTURE	COLUMBIA	LCL2-35LW-E-U		LED, 2,700 LUMENS, 3500K	24	277 V	CEILING SURFACE	
	GG	LED VANITY FIXTURE, ASSYMETRIC DISTRIBUTION	NULITE	RG4 05L35 UNV D 1C FRF WH 8' ASYM		LED, 4,500 LUMENS, 3500K	39	277 V	RECESSED	

#### LIGHT FIXTURE SCHEDULE NOTES

- 1 LUMENS LISTED IN SCHEDULE REPRESENT DELIVERED LUMENS OF FIXTURES.
- 2 THREE DIGIT NUMBERS LISTED IN LAMP COLUMN REPRESENT CRI AND COLOR TEMPERATURE. FIRST DIGIT INDICATES MINIMUM CRI AND LAST TWO DIGITS INDICATE COLOR TEMPERATURE. EXAMPLE: 830 INDICATES MINIMUM CRI OF 80 AND A COLOR TEMPERATURE OF 3000K.

	EXAMPLE: 630 INDIC	AIE2 MIN	IMUM CRI OF	OU AND A	COLOR TEN	IPERATUR	E OF 300	UK.
3	SEE ARCHITECTURAL	RCP AND	ELEVATIONS	FOR EXACT	LOCATION	AND MOL	JNTING HE	IGHTS.

4 CONFIRM QUANTITIES OF FIXTURES SHOWN IN RCP MATCH QUANTITIES SHOWN ON ELECTRICAL PLANS PRIOR TO BID. IF NO DISCREPANCIES ARE NOTED PRIOR TO BID THE HIGHEST QUANTITY OF EACH FIXTURE TYPE SHOWN SHALL BE PROVIDED.

LIGHTING CONTROL SCHEME LEGEND										
MARK	MANUAL / WALL STATION(S)	MULTI-LEVEL SWITCHED/ZONED	OCCUPANCY SENSOR	VACANCY SENSOR	SCHEDULED AUTO-ON	SCHEDULED AUTO-OFF	DAYLIGHT CONTROL		PLUGLOAD	
							DAYLIGHT ON / OFF	DAYLIGHT DIMMED	CONTROL	NOTES
1	Yes	No	No	No	No	No	No	No	No	1,2,3
2	Yes	No	No	Yes	No	No	No	No	No	1,3
3	Yes	No	Yes	No	No	No	No	No	No	1,3

#### LIGHTING CONTROL SCHEME NOTES

- 1 MANUAL WALL SWITCH SHALL BE PART OF THE LIGHTING CONTROL SYSTEM. REFER TO PLANS FOR MANUAL WALL STATION LOCATION(S) IN EACH SPACE. 2 NO AUTOMATIC CONTROL SHALL BE UTILIZED IN THIS SPACE FOR SAFETY CONCERNS. LIGHTING SHALL BE ROUTED THROUGH LIGHTING CONTROL SYSTEM
- FOR MONITORING PURPOSES ONLY.

3 ROOMS WITH DIMMING TYPE SWITCHES SHOWN IN PLAN WILL REQUIRE DIMMING CONTROL



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