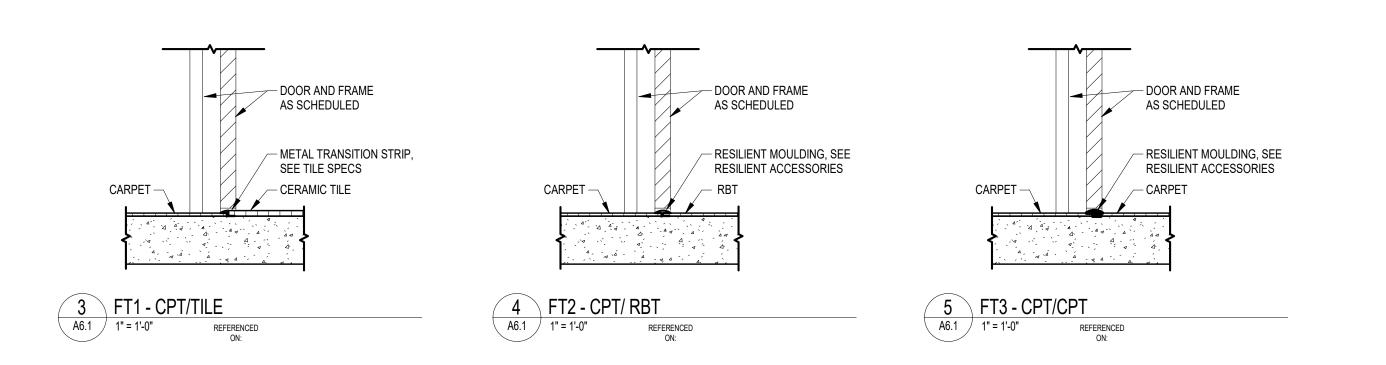
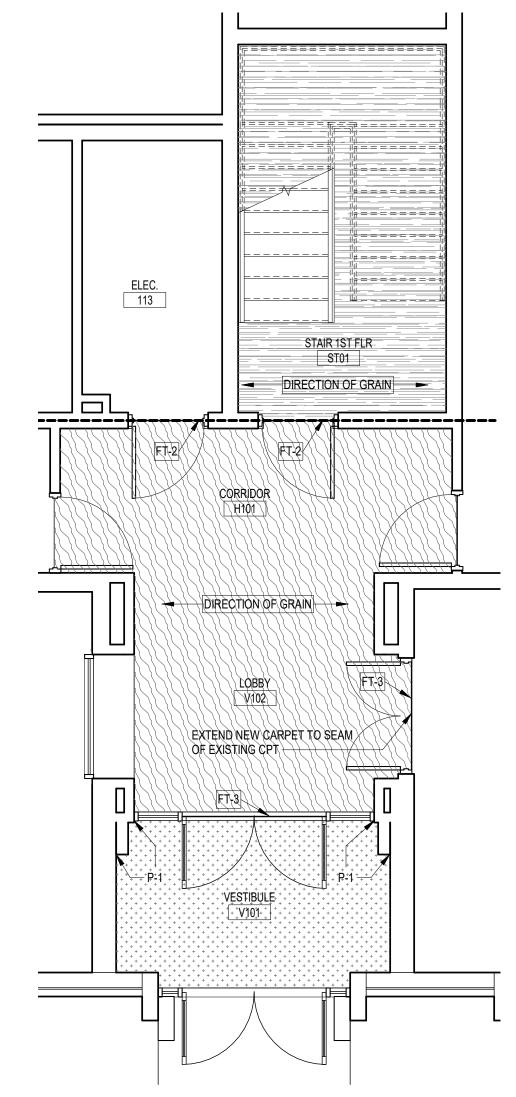


- D. REFERENCE REFLECTED CEILING PLANS FOR EXTENT/LOCATION OF CEILING FINISH DESIGNATIONS AND
- E. SEE FINISH PLANS AND/OR ENLARGED INTERIOR PLANS & ELEVATIONS FOR EXTENT OF SPECIFIC FINISH
- F. FINISH COLUMNS IN OPEN AREAS TO MATCH ADJACENT WALLS, UNLESS NOTED OTHERWISE.
- **G.** SEE FINISH PLANS FOR BLINDS AND ROLLER SHADE LOCATIONS.
- H. SEE SILL DETAILS, FLOORING SPECIFICATIONS AND FINISH SCHEDULE FOR TRANSITION STRIPS.
- I. ALL FURNITURE N.I.C., TYPICAL.
- J. NO TRANSITION STRIP BETWEEN LVT AND CARPET EDGE@ TEAM LOUNGE

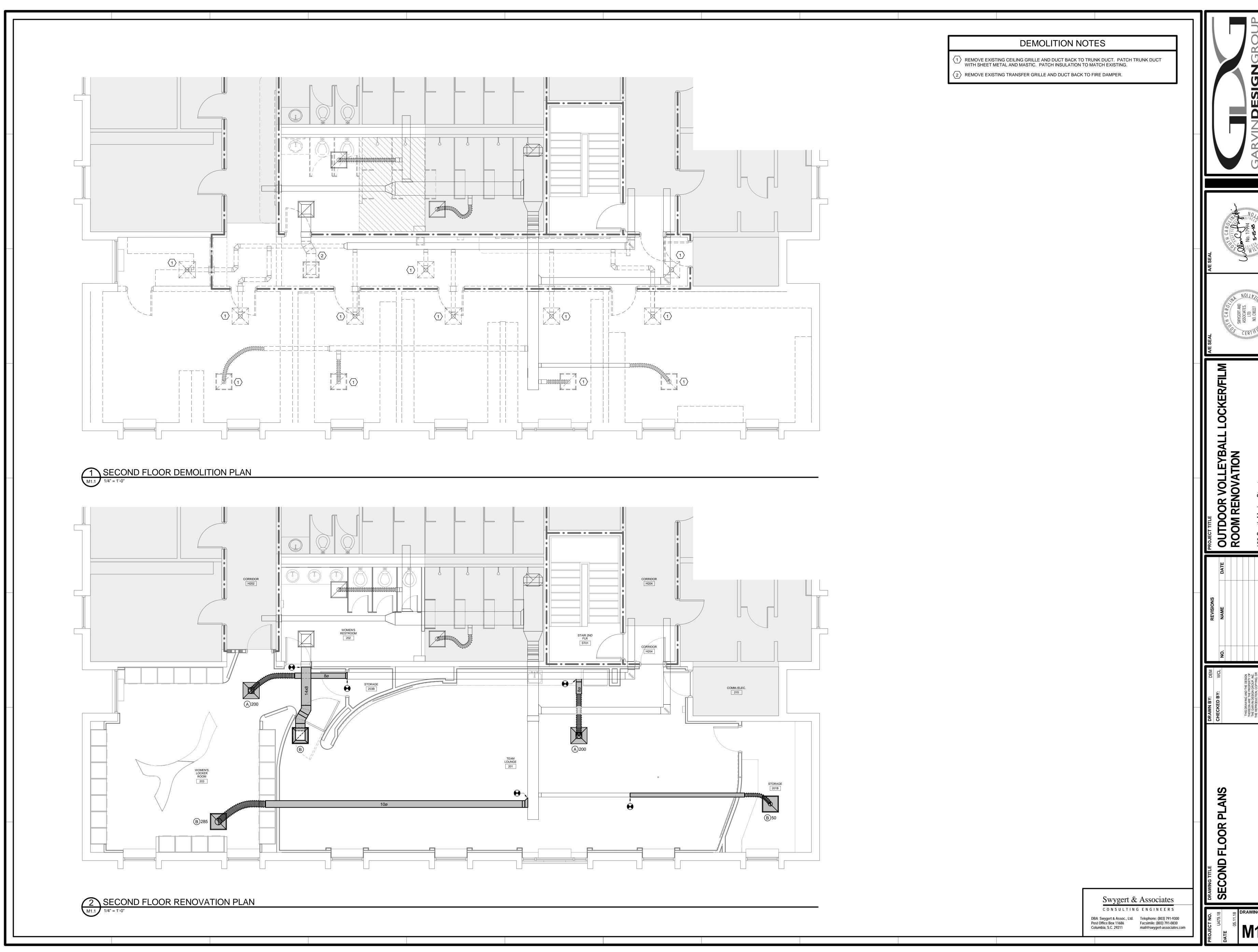
				FINISH SCH	HEDULE - BASE	BID <u>I</u>	NOTE: ALL WALL ORIENTATION			
ROOM			FLOOR	WALL FINISH						
NO.	ROOM NAME	BASE		NORTH	EAST	SOUTH	WEST	CEILING	Comments	Level
201	TEAM LOUNGE	RB-1	LVT,CPT-1,CPT-2	P-1,P-4,CT-3,PL-1	P-1/WB-1,P-4	P-1,WC-1,WB-1,P	P-3 P-1/WB-1,P-1	APC-1,GB/P-1	RS-1	Second Floor
201B	STORAGE	RB-1	CPT-2	P-1	P-1	P-1	P-1	APC-1	RS-1	Second Floor
202	WOMEN'S RESTROOM	EX/CT-2	CT-1,EX	EX,CT-2	EX	EX	EX	APC-2		Second Floor
203	WOMEN'S LOCKER ROOM	RB-1	CPT-1,CPT-2	P-3*,P-1	P-3*,P-1	P-3*	P-3*	APC-1	WF	Second Floor
203B	STORAGE	RB-1	CPT-1	P-1	P-1	P-1	P-1	APC-1		Second Floor
H202	CORRIDOR	EX/RB-2	EX	EX	EX/P-5	P-5	EX	EX		Second Floor
H204	CORRIDOR	EX/RB-2	CPT-3, EX	P-1	P-1	P-1	P-1	EX		Second Floor
ST01	STAIR 1ST FLR	RB-1	RBT	P-1	P-1	P-1	P-1	EX		First Floor
ST01	STAIR 2ND FLR	RB-1	RBT,CPT-3	P-1	P-1	P-1	P-1	EX		Second Floor





2 FIRST FLOOR ENLARGED FINISH PLAN
A6.1 1/4" = 1'-0" REFERENCED A1.1
ON:

				FINISH SCHE	DULE - ALTERN	ATE NO. 1 NOTE: ALL V	/ALL ORIENTATIONS BASE	D ON PLAN NORTH "UP" THE PAG	SE .
ROOM	ROOM WALL FINISH								
NO.	ROOM NAME	BASE	FLOOR	NORTH	EAST	SOUTH	WEST	CEILING	Comments Level
						·			
H101	CORRIDOR	EX,P-3	CPT-1	P-1,WG*	P-1	P-1	P-1	APC-1*	First Floor
V101	VESTIBULE	EX WD,P-3	CPT-3	P-1	P-1	P-1	P-1	APC-1*	First Floor
V102	LOBBY	EX WD,P-3	CPT-1		P-1	P-1	P-1	APC-1*,EX/GB/P-5	First Floor



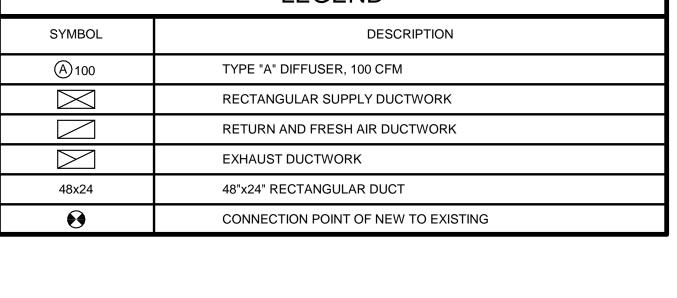
	AIR DISTRIBUTION SCHEDULE										
TAG	DESCRIPTION	MANUFACTURER	MODEL	FRAME	CFM	NECK SIZE	FACE SIZE	MAX NC	REMARKS		
A	PERFORATED SUPPLY	PRICE	APDC	LAY-IN	126-250	8"ø	24"x24"	30	1, 2		
B	PERFORATED EXHAUST	PRICE	APDDR	LAY-IN	0-1,000	22"x22"	24"x24"	30	1, 2		

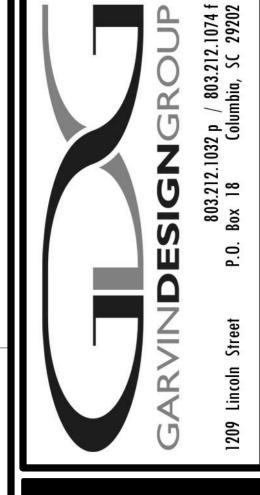
PROVIDE WITH STANDARD WHITE FINISH. PROVIDE ALUMINUM OR ALUMINIZED STEEL CONSTRUCTION.

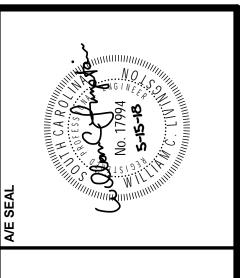
GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL CODE, 2015 INTERNATIONAL FUEL GAS CODE, 2009 INTERNATIONAL ENERGY CONSERVATION CODE, AND 2005 SMACNA HVAC DUCT CONSTRUCTION STANDARD. ALL LOCAL CODES OR REQUIREMENTS STILL APPLY.
- VISIT SITE PRIOR TO BIDDING. THIS CONTRACTOR SHALL DETERMINE DIFFICULTY OF INSTALLATION AND REFLECT THIS IN HIS BIDDING.
- . DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF DOORS, WINDOWS, AIR DISTRIBUTION, ETC.
- 4. DO NOT SCALE DRAWINGS. THIS CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND LOCATIONS IN THE FIELD.
- 5. ALL PIPING AND DUCTWORK LOCATIONS SHALL BE COORDINATED WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID INTERFERENCE.
- 6. ALL DUCTWORK INSULATION SHALL BE RUN CONTINUOUSLY THROUGH PARTITIONS.
- 7. ALL MECHANICAL ITEMS EXTENDING THROUGH WALLS SHALL BE FLASHED AND COUNTERFLASHED.
- 8. THIS CONTRACTOR SHALL PROVIDE ALL ITEMS OF MISCELLANEOUS STEEL AS REQUIRED FOR INSTALLATION OF ALL MECHANICAL ITEMS.
- 9. CORRECT SETTINGS ON ALL BALANCING FITTINGS SHALL BE PERMANENTLY MARKED. PROVIDE ORANGE FLAGGING RIBBON ON EACH DAMPER HANDLE FOR EASY IDENTIFICATION.
- 10. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY DISMANTLING OF EQUIPMENT TO BE REMOVED.
- 11. ITEMS REMOVED UNDER THIS CONTRACT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY.
- 12. THE HVAC SYSTEMS SHALL NOT BE OPERATED DURING HEAVY CONSTRUCTION OPERATIONS INCLUDING MASONRY, GYPSUM BOARD SANDING, HEAVY CLEANUP ACTIVITIES, OR OTHER ACTIVITIES THAT CREATE AIRBORNE PARTICLES OR DEBRIS. ALL SYSTEMS SHALL BE CLEAN OF CONSTRUCTION DEBRIS, DUST AND DIRT AT FINAL COMPLETION. DUCT CLEANING AND UNIT/COIL CLEANING SHALL BE PERFORMED IF REQUIRED. IF EQUIPMENT OPERATES DURING CONSTRUCTION PROVIDE FILTER MEDIA OVER ALL RETURN GRILLES AND RETURN DUCT OPENINGS TO PROTECT DUCTS AND EQUIPMENT.

	LEGEND						
SYMBOL	DESCRIPTION						
A 100	TYPE "A" DIFFUSER, 100 CFM						
	RECTANGULAR SUPPLY DUCTWORK						
	RETURN AND FRESH AIR DUCTWORK						
	EXHAUST DUCTWORK						
48x24	48"x24" RECTANGULAR DUCT						
€	CONNECTION POINT OF NEW TO EXISTING						



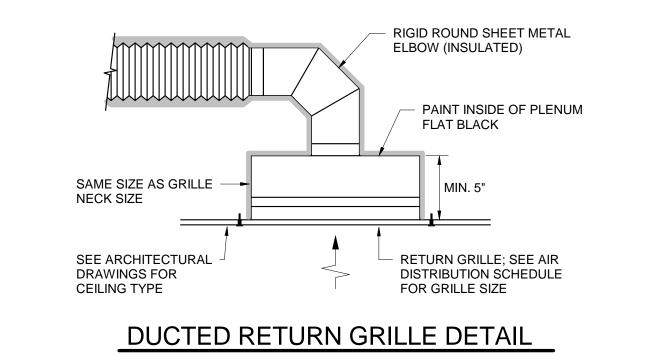


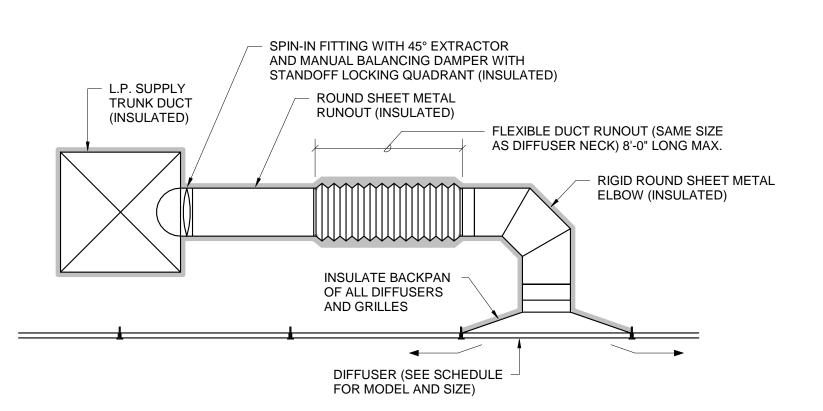




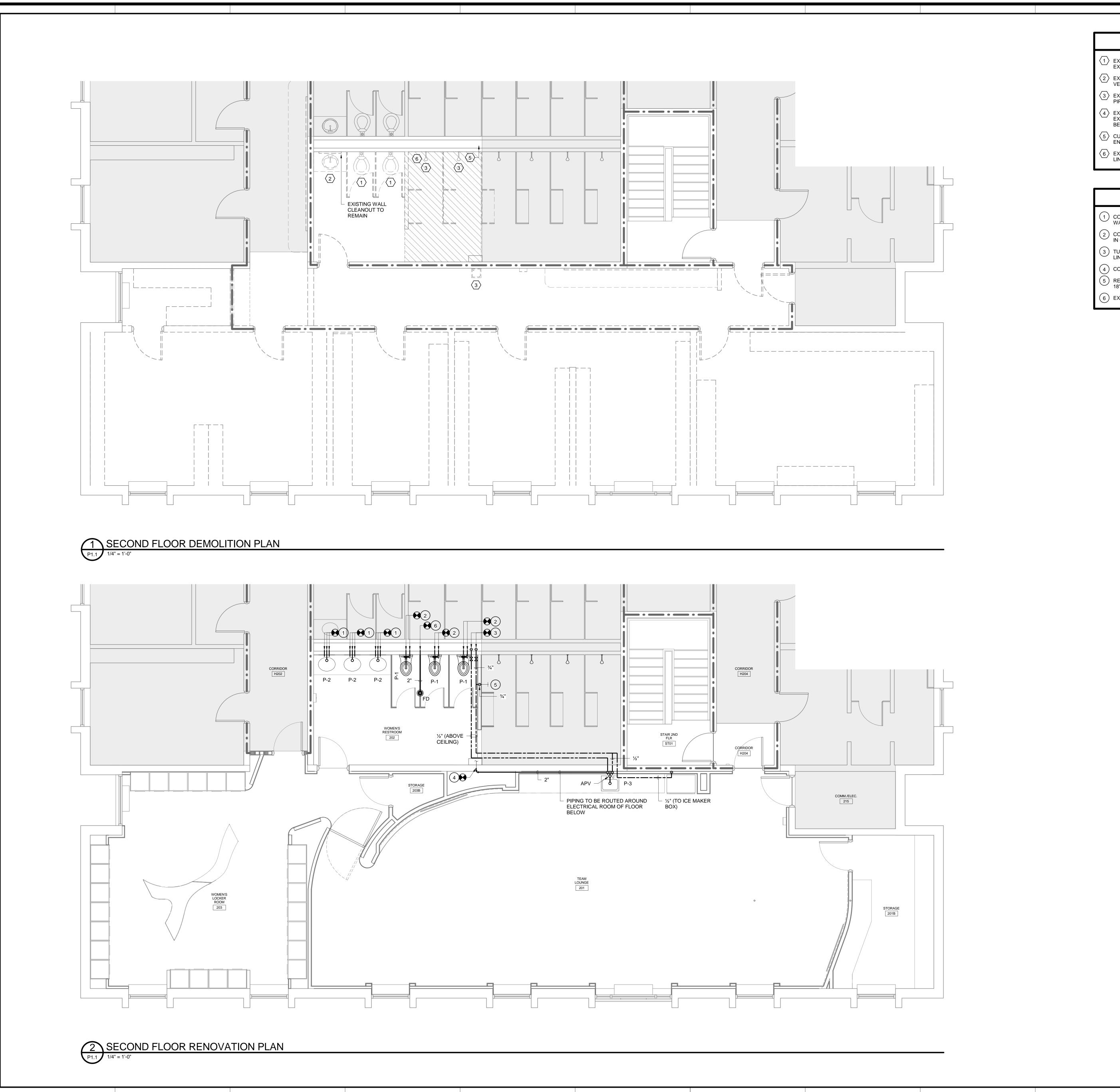
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Columbia, S.C. 29211 mail@swygert-associates.com





CEILING DIFFUSER DETAIL
NO SCALE



DEMOLITION NOTES

- EXISTING WALL MOUNTED FLUSH VALVE WATER CLOSET TO BE REMOVED COMPLETELY. CAP EXISTING WASTE, VENT, AND SUPPLY PIPING AS REQUIRED.
- EXISTING COUNTERTOP LAVATORY TO BE REMOVED COMPLETELY. CAP EXISTING WASTE, VENT, AND SUPPLY PIPING AS REQUIRED.
- (3) EXISTING SHOWER VALVE AND HEAD TO BE REMOVED COMPLETELY. CAP EXISTING SUPPLY PIPING AS REQUIRED.
- EXISTING DRINKING FOUNTAIN AND WATER FILTER TO BE REMOVED COMPLETELY. CAP EXISTING VENT AND SUPPLY PIPING AS REQUIRED. EXISTING WASTE PIPING BELOW FLOOR TO BE REUSED.
- CUT EXISTING TRENCH GRATE BODY AND FRAME AS REQUIRED FOR NEW FLOOR PLAN. FINISH END OF GRATE SMOOTH AND CAP DRAIN BODY AT 4" FROM NEW WALL.
- EXISTING WALL HYDRANT AND BOX TO BE REMOVED AND RELOCATED. CAP EXISTING SUPPLY LINE AS REQUIRED. SEE RENOVATION PLAN FOR NEW LOCATION.

NOTES TO SHEET

- 1 CONNECT NEW 11/4" WASTE LINE, 3/4" COLD WATER LINE, AND 1/2" HOT WATER LINE TO EXISTING WASTE AND SUPPLY PIPING IN CHASE.
- 2 CONNECT NEW 4" WASTE LINE AND 1" SUPPLY LINE TO EXISTING WASTE AND SUPPLY PIPING IN CHASE.
- 3 TURN SUPPLY PIPING DOWN INTO CHASE AND CONNECT TO EXISTING DOMESTIC WATER LINES.
- 4 CONNECT TO EXISTING WASTE LINE AT REMOVED DRINKING FOUNTAIN.
- 5 RELOCATE EXISTING WALL HYDRANT AND BOX TO NEW WALL OF SHOWER STALL. MOUNT AT 18" ABOVE FINISHED FLOOR.
- (6) EXTEND INTO CHASE AND CONNECT TO NEAREST EXISTING WASTE LINE.

GARVINDESIGNGROUI

803.212.1032 p / 803.212.107

1209 Lincoln Street P.O. Box 18 Columbia, SC 292





VOLLEYBALL LOCKER/FILM IOVATION

ROOM RENOVATION 139 South Marion Street

NAME DATE OUT ROC 139 Sc Column

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D FLOOR PLANS

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DATE

05.11.18

05.11.18

	PLUMBING FIXTURE SCHEDULE								
						MIN. S	UPPLY		
P. NO.	FIXTURE	MFGR.	NAME	MFGRS. NO.	SIZE	CW	HW	REMARKS	
P-1	WATER CLOSET	KOHLER	KINGSTON	K-4325		1"	-	WITH SLOAN MODEL 111-XL FLUSH VALVE, AND BENEKE 527 SEAT, AND CHAIR CARRIER.	
P-2	LAVATORY	KOHLER	CAXTON	K-2211	20¼"x17¼"	3/8"	3/8"	UNDERCOUNTER MOUNTED WITH DELTA MODEL 22C651 FAUCET, WATTS, OR APPROVED EQUAL, SERIES LFUSG-B ASSE 1070 THERMOSTATIC MIXING VALVE, McGUIRE 155WC OFFSET GRID DRAIN, McGUIRE H165 3/8" CAST BRASS SUPPLIES WITH STOPS, AND McGUIRE 8872 1-1/4" P-TRAP. MOUNT MIXING VALVE AS HIGH AS POSSIBLE UNDER COUNTERTOP.	
P-3	SINK	ELKAY	LUSTERTONE	ELUH281610	30½"x18½"	1/2"	1/2"	UNDERCOUNTER MOUNTED WITH DELTA MODEL 9978-DST FAUCET WITH PULL OUT SPRAY HOSE, LK-35 CUP STRAINER, McGUIRE 2167 1/2" CAST BRASS SUPPLIES WITH STOPS, McGUIRE 8912 1-1/2" P-TRAP, AND T&S BRASS MODEL B-1210- 01-WFK GLASS FILLER WITH WATER FILTRATION KIT. NOTE DEPTH OF SINK WHEN ROUGHING IN PIPING.	
FD	FLOOR DRAIN	ZURN		ZN-415-S				WITH 5"x5" SQUARE NICKLE BRONZE STRAINER, P-TRAP, AND PROSET, OR APPROVED EQUAL, TRAP GUARD.	

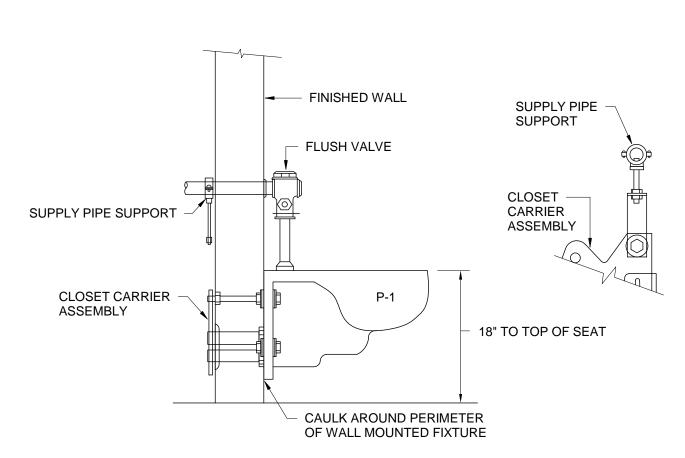
GENERAL NOTES

- ALL WORK SHALL BE PERFORMED ACCORDING TO ALL LOCAL, STATE, NATIONAL CODES, AND THE 2015 INTERNATIONAL PLUMBING CODE.
- DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS, FIXTURE LOCATIONS, ETC.
- 3. CONTRACTOR SHALL, PRIOR TO BIDDING, VISIT THE SITE AND DETERMINE SCOPE OF WORK, MATERIALS REQUIRED AND DIFFICULTY OF INSTALLATION. WORK SHALL BE INSTALLED
- 4. COORDINATE CLOSELY WITH ALL WORK DONE UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID INTERFERENCE AND CONFLICT.
- OPENINGS THROUGH WALLS AND FLOORS SHALL BE CUT NO LARGER THAN REQUIRED FOR INSTALLATION AND SHALL BE SMOOTH.
- 6. ALL OPENINGS THROUGH WALLS SHALL BE FLASHED AND COUNTER FLASHED.
- 7. ALL PIPING IS SHOWN DIAGRAMMATIC. HOWEVER, CONTRACTOR SHALL PROVIDE ALL REQUIRED FITTINGS AND PIPING FOR ALL OFFSETS AND/ OR CHANGES IN ELEVATION.
- 8. ALL PIPING SHALL BE SUPPORTED IN ACCORDANCE WITH THE SPECIFICATIONS, AND AS DETAILED ON THESE DRAWINGS.
- CONTRACTOR SHALL VERIFY ACTUAL LOCATIONS AND INVERTS OF THE EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
- 10. ALL PIPING INSULATION SHALL BE RUN CONTINUOUSLY.

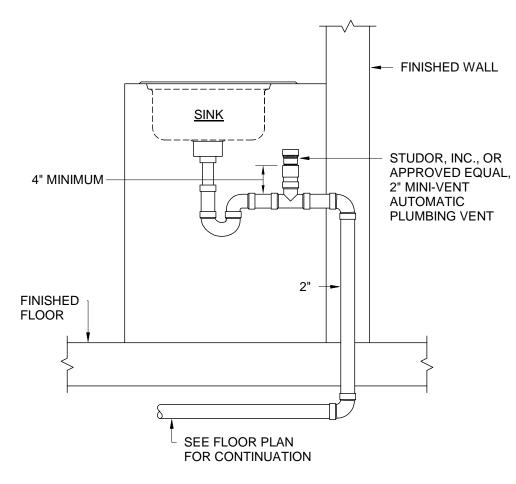
COMPLETE AND OPERATIVE.

- 11. CEILING REMOVAL AND REPLACEMENT AS REQUIRED FOR INSTALLATION OF NEW PIPING ON FLOOR BELOW SHALL BE BY THIS CONTRACTOR. REPLACE ANY DAMAGED TILES WITH NEW. CEILING TILES TO BE REPLACED WITH GRID REMAINING IN FIRST FLOOR LOBBY BY OTHERS UNDER ALTERNATE NO. 1. SEE ARCHITECTURAL PLANS FOR SCOPE.
- 12. THIS CONTRACTOR SHALL EXTEND A 1/2-INCH COPPER LINE FROM NEAREST COLD WATER SUPPLY TO REFRIGERATOR ICE MAKER. PROVIDE OATEY, OR APPROVED EQUAL, MODEL 38681 ICE MAKER BOX WITH VALVE MOUNTED AT 2'-0" ABOVE FINISHED FLOOR.

LEGEND						
SYMBOL	DESCRIPTION					
٠	SANITARY WASTE LINE					
─ - ─	DOMESTIC COLD WATER LINE					
~ − − ~	DOMESTIC HOT WATER LINE					
د , ک	PIPE TURNS TO, AWAY					
\longrightarrow	BALL VALVE					
APV	AUTOMATIC PLUMBING VENT					
$oldsymbol{\Theta}$	CONNECTION POINT OF NEW TO EXISTING					



WALL MOUNTED WATER CLOSET SUPPLY DETAIL
NO SCALE



AUTOMATIC PLUMBING VENT
NO SCALE

MILS, NOTES, SCHEDI

Swygert & Associates

C O N S U L T I N G E N G I N E E R S

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PATE DRAWING NO. P1.118
PATE P1.18
PATE P1.1

GENERAL "ELECTRICAL" NOTES

- BRANCH CIRCUIT WIRING SHALL BE NO. 12 AWG UNLESS NOTED OTHERWISE. WHERE CONDUCTOR AND RACEWAY SIZE ARE SHOWN AT HOMERUN, SUCH SIZE SHALL BE USED FOR THE ENTIRE CIRCUIT. EXCEPTION: FINAL CONNECTION TO DEVICES, IN OUTLET BOXES, IS NOT REQUIRED TO BE LARGER THAN NO.
- 20A/120V BRANCH CIRCUITS EXCEEDING 100'IN LENGTH FROM PANEL TO FARTHEST DEVICE OR FIXTURE
- SHALL USE NO. 10 CONDUCTORS AND 3/4"C. PRIOR TO ROUGH-IN, COORDINATE THE LOCATION AND MOUNTING HEIGHT OF ALL WALL AND CEILING

MOUNTED DEVICES WITH THE ARCHITECTURAL ELEVATIONS, MILLWORK SHOP DRAWINGS, AND EXISTING

- CONDITIONS. IN THE EVENT OF A CONFLICT, NOTIFY THE ARCHITECT. MINOR ADJUSTMENTS IN DEVICE LOCATION, I.E. 5'-0" IN ANY DIRECTION SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER. 4 COORDINATE THE LOCATION OF ALL FLOOR-MOUNTED OUTLETS WITH THE ARCHITECT PRIOR TO ROUGH-IN.
- 5 PROVIDE FLEXIBLE CONDUIT FOR ALL CONDUITS CROSSING EXPANSION JOINTS. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION OF EXPANSION JOINTS.
- 6 OUTLET BOXES FOR SWITCHES, RECEPTACLES, ETC MOUNTED ON OPPOSITE SIDES OF FIRE RATED PARTITIONS SHALL NOT BE MOUNTED IN THE SAME WALL CAVITY. SEPARATE WALL PENETRATIONS BY MOUNTING ON OPPOSITE SIDES OF WALL STUDS OR OTHER VERTICAL STRUCTURAL MEMBER IN THE WALL.
- ALL FLOOR BOXES SHALL BE INSTALLED TO MAINTAIN THE FIRE RATING OF THE FLOOR. COORDINATE CORE DRILLING HOLES IN FLOOR WITH STRUCTURAL ENGINEER. 8 RACEWAYS SHALL BE INSTALLED CONCEALED IN NEW WALL CONSTRUCTION ABOVE CEILINGS, BELOW FLOOR,
- AND IN OTHER CAVITIES TO THE GREATEST EXTENT POSSIBLE. WHERE EXPOSED RACEWAYS MUST BE USED, LAYOUT RACEWAYS TO MINIMIZE THE NUMBER OF VERTICAL RUNS.
- 9 FEEDER CONDUITS, BRANCH CIRCUITS AND CABLE TRAY ROUTING SHALL COMPLY WITH DETAILS ON DRAWINGS AND SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES BEFORE AND DURING CONSTRUCTION.
- O WHERE LIGHT SWITCH AND ABOVE COUNTER RECEPTACLES ARE INDICATED TO BE MOUNTED ADJACENT TO EACH OTHER, THE DEVICES SHALL BE MOUNTED AT THE SAME HEIGHT UNDER A COMMON DEVICE PLATE.
- 11 REFER TO THE ARCHITECTURAL DRAWINGS FOR PROJECT PHASING. 12 THE ARRANGEMENT, GROUPING, AND ROUTING OF BRANCH CIRCUITS SHALL BE PROVIDED AT THE
- CONTRACTOR'S DISCRETION IN ACCORDANCE WITH GENERALLY ACCEPTED PRACTICE FOR ELECTRICAL WORK, THE NATIONAL ELECTRICAL CODE REQUIREMENTS, LOCAL ORDINANCES, AND THE FOLLOWING:
- 2.1 A COMMON NEUTRAL SHALL NOT BE INSTALLED IN A HOMERUN FOR 2 OR 3 BRANCH CIRCUITS UNLESS DIRECTION IS PROVIDED BY THE ENGINEER IN WRITTING FOR A SPECIFIC APPLICATION.
- 2.2 MULTIPLE SINGLE-POLE BRANCH CIRCUITS (UP TO 3 HOTS, 3 NEUTRALS, 1 GROUND) RATED FOR 30-AMPS OR LESS MAY BE PULLED INTO A SINGLE RACEWAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SIZING
- THE RACEWAYS AND DERATING CONDUCTORS PER NEC ARTICLE 310.15. 12.3 BRANCH CIRCUIT, FEEDER & COMMUNICATION CIRCUITS SHALL BE ROUTED OVERHEAD UNLESS PRIOR
- APPROVAL HAS BEEN GRANTED BY THE ARCHITECT AND ENGINEER. 12.4 A GROUND CONDUCTOR SHALL BE PROVIDED IN ALL RACEWAYS UNLESS NOTED OTHERWISE.
- 13 PROVIDE EXPANSION JOINT COUPLINGS ANYWHERE A CONDUIT PASSES THROUGH A BUILDING EXPANSION 14 WHERE FLOOR MOUNTED RECEPTACLES/DEVICES ARE GROUPED, PROVIDE DEVICES GROUPED IN ONE FLOOR
- 15 COORDINATE THE ROUTING OF UNDERGROUND CONDUCTORS/CONDUIT WITH STRUCTURAL FOOTINGS AND UNDERGROUND UTILITIES.
- 16 THE USE OF MC CABLE IS NOT ALLOWED. 17 SEAL ALL EXISTING AND NEW FIRE RATED WALL AND FLOOR PENETRATIONS IN THE CONSTRUCTION AREA
- 18 SEE THE ARCHITECTURAL DRAWINGS FOR ALL LOCATIONS OF FIRE RATED WALLS. 19 WHEREVER ON THE ELECTRICAL DRAWINGS THE WORD "PROVIDE" IS USED, IT SHALL BE INFERRED TO MEAN
- "FURNISH AND INSTALL".

GENERAL EXISTING CONDITION NOTES

- AREAS OF WORK EXIST FOR THIS PROJECT WHICH ARE NOT ACCESSIBLE OR HAVE LIMITED ACCESS DURING DESIGN. AS SUCH CONTRACTOR SHALL VERIFY ALL UTILITIES IN AREA OF WORK BEFORE DEMOLITION OF ANY SERVICE. ANY ELECTRICAL COMPONENTS NOT SHOWN SHALL BE IDENTIFIED AND THE ARCHITECT AND ENGINEER SHALL BE NOTIFIED AS SOON AS POSSIBLE. NO ELECTRICAL REWORK SHALL BE COMMENCED WITHOUT COORDINATION OF BOTH ARCHITECT AND ENGINEER.
- IN AREAS WHERE THE EXISTING CEILINGS ARE NOT SLATED TO BE REMOVED, THE CONTRACTOR SHALL WORK THRU THE EXISTING CEILINGS (SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR AREA OF WORK). THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY DAMAGED TILE OR GRID THAT IS A RESULT OF
- 3 REFER TO ARCHITECTURAL PLANS FOR PHASING OF CONSTRUCTION.

CONSTRUCTION AREA.

BROUGHT TO THE ATTENTION OF THE ENGINEER

- 4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A FIRESTOP SYSTEM IN ALL PENETRATIONS OF FIRE-RATED WALLS CREATED BY THE REMOVAL OF EXISTING ELECTRICAL CONDUIT OR CABLES, AS WELL AS THOSE CREATED BY NEWLY INSTALLED CONDUITS AND SLEEVES.
- WHERE INSTALLATION REQUIRES CUTTING OR DRILLING OF THE EXISTING FLOOR SLAB, THE CONTRACTOR SHALL X-RAY THE EXISTING SLAB PRIOR TO WORK TO ENSURE THAT NO EXISTING UTILITIES OR STRUCTURAL ELEMENTS IN THE SLAB WILL BE COMPROMISED BY THE WORK. NOTIFY THE ARCHITECT/ENGINEER OF ANY CONFLICTS THAT WILL REQUIRE RELOCATING THE PROPOSED SLAB WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGED UTILITIES OR STRUCTURAL ELEMENTS CAUSED BY THE SLAB
- S SUPPORT ALL EXISTING CONDUITS AND JUNCTION BOXES ABOVE THE CEILING PER NEC IN THE
- REMOVE ALL ABANDONED CONDUIT, WIRE, AND COMMUNICATION CABLES ABOVE THE CEILING IN THE
- CONSTRUCTION AREA. 8 PROVIDE JUNCTION BOX COVER PLATES ON ALL EXISTING JUNCTION BOXES ABOVE THE CEILING IN THE
- CONSTRUCTION AREA. 9 SUPPORT ALL EXISTING COMMUNICATION CABLES ABOVE THE CEILING IN THE CONSTRUCTION AREA

10 WHERE INFORMATION SHOWN ON THESE DRAWINGS CONFLICTS WITH VERIFIED FIELD CONDITIONS, IT SHALL BE

GENERAL "LIGHTING" NOTES

- SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR THE EXACT LOCATION OF ALL CEILING MOUNTED LIGHTING
- EXACT LOCATIONS OF LIGHTING FIXTURES IN MECHANICAL SPACES SHALL BE DETERMINED IN THE FIELD. DO NOT SUPPORT FIXTURES FROM DUCT OR PIPING. PROVIDE CHAIN OR TRAPEZE—TYPE HANGERS WHERE FIXTURES CAN NOT BE MOUNTED DIRECTLY TO CEILING.
- LIGHTING FIXTURE CATALOG NUMBERS ARE INDICATIVE OF THE STYLE OF FIXTURE REQUIRED. CONTRACTOR SHALL PROVIDE FIXTURES WITH THE PROPER TRIM, VOLTAGE AND OPTIONS NECESSARY FOR INSTALLATION. DOUBLE—FACED EXIT FIXTURES SHALL BE OF THE SAME MANUFACTURER & SERIES AS THE SINGLE TYPE
- REGARDLESS OF CATALOG NUMBER INDICATED IN SCHEDULE, PROVIDE BATTERY PACKS FOR ALL FIXTURES INDICATED ON THE DRAWINGS TO BE EMERGENCY TYPE.
- 6 ALL EXIT SIGNS SHALL BE CONNECTED TO LOCAL LIFE SAFETY LIGHTING CIRCUIT AHEAD OF ALL SWITCHING. REGARDLESS OF CATALOG NUMBER INDICATED IN SCHEDULE, ALL EXIT SIGNS SHALL BE PROVIDED WITH A
- BATTERY PACK, SHALL BE WIRED AHEAD OF LOCAL SWITCH AND SHALL NOT BE SWITCHED. 8 REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING DETAILS OF LIGHT FIXTURE TO ACOUSTICAL CEILING SYSTEM AND STRUCTURE.

GENERAL "SIGNAL" NOTES

- EXTEND A 1" CONDUIT WITH PULL WIRE FROM EACH COMMUNICATIONS OUTLET TO NEAREST CABLE—TRAY OR THE EXISTING COMMUNICATION BACKBOARD. TURN CONDUIT 12" INTO CEILING CAVITY A MINIMUM OF 6" ABOVE THE CEILING AND TERMINATE WITH AN INSULATED PROTECTIVE BUSHING. COMMUNICATION OUTLET BOX SHALL BE 4" SQUARE WITH SINGLE GANG RING.
- PROVIDE ALL DUCT SMOKE DETECTORS AND ACCESSORIES NECESSARY FOR INTERLOCKING WITH MECHANICAL EQUIPMENT (AHU'S, SMOKE DAMPERS, ETC). COORDINATE WITH MECHANICAL PLANS FOR LOCATIONS AND REQUIREMENTS. DETECTORS SHALL BE FURNISHED BY ELECTRICAL CONTRACTOR, INSTALLED BY MECHANICAL CONTRACTOR, WIRED TO FIRE ALARM SYSTEM BY ELECTRICAL CONTRACTOR, AND TIED TO MECHANICAL CONTROLS FOR AHU SHUTDOWN BY MECHANICAL CONTRACTOR. ALL COMMUNICATIONS OUTLET BOXES SHALL BE 2-1/2" DEEP.
- 4 PROVIDE 1" CONDUIT TO ABOVE THE LOCAL ACCESIBLE CEILING FOR ALL COMMUNICATION WALL MOUNTED DEVICES. PROVIDE SLEEVES SIZED FOR 40% EXPANSION THROUGH CORRIDOR WALLS. CABLE SHALL BE CONCEALED IN ALL FINISHED AREAS AND ROUTED PARALLEL OR PERPENDICULAR TO THE
- BUILDING STRUCTURE. ALL FIRE ALARM CABLE SHALL BE INSTALLED IN METALLIC CONDUIT. COORDINATES WITH FIRE ALARM SYSTEM MANUFACTURER FOR CABLE ROUTING AND QUANTITIES.

GENERAL "POWER" NOTES

- ALL BRANCH CIRCUITS INDICATED ON THESE PLANS TO BE LARGER THAN NO. 12 AWG SHALL BE SIZED AS INDICATED FOR THE ENTIRE LENGTH OF THE CIRCUIT.
- WHEN A RECEPTACLE IS INDICATED TO BE MOUNTED ADJACENT TO A COMPUTER/TELEPHONE/ TELEVISION OUTLET, THE DEVICE(S) SHALL BE MOUNTED WITHIN 6" CENTER-TO-CENTER.
- PROVIDE AND INSTALL AN ENGRAVED LAMINATED PLASTIC NAMEPLATE ON EACH ITEM OF ELECTRICAL EQUIPMENT SERVING MECHANICAL EQUIPMENT WHICH MATCH MECHANICAL DESCIPTIONS, TO INDICATE THE DESIGNATION OF THE UNIT ON THE PLANS & THE BRANCH CIRCUIT SERVING THE EQUIPMENT.
- PROVIDE NEMA CONFIGURATION RECEPTACLES TO MATCH PLUGS ON EQUIPMENT FURNISHED. WHERE SPEED CONTROLLER IS INDICATED TO BE PROVIDED WITH FANS, IT SHALL BE PROVIDED BY
- MECHANICAL CONTRACTOR AND INSTALLED BY ELECTRICAL CONTRACTOR. PROVIDE LABEL ON INSIDE FACE OF COVER PLATE OF ALL RECEPTACLES, SWITCHES & WALL MOUNTED
- DEVICES INDICATING PANEL AND BRANCH CIRCUIT TO WHICH EACH DEVICE IS CONNECTED. ALL WIRING DEVICES SHALL BE GREY WITH SMOOTH STAINLESS STEEL WALL PLATES.

GENERAL "DEMOLITION" NOTES

- ALL ELECTRICAL EQUIPMENT TO BE REMOVED SHALL REMAIN THE PROPERTY OF THE OWNER. THE CONTRACTOR SHALL NOT DISPOSE OF ANY MATERIALS UNTIL RELEASED BY OWNER'S PROJECT MANAGER. MATERIALS THAT OWNER'S PROJECT MANAGER CHOOSES TO RETAIN SHALL BE DELIVERED BY THE CONTRACTOR TO A LOCATION DESIGNATED BY THE PROJECT MANAGER. ALL OTHER MATERIALS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR.
- REMOVE ALL EXPOSED ABANDONED COMMUNICATION CABLE FOUND DURING THE CONSTRUCTION PROCESS. SUPPORT ALL EXISTING REMAINING CABLE PER THE NEC.
- ELECTRICAL DEVICES NOT SHOWN ON WALLS TO BE DEMOLISHED SHALL BE DEMOLISHED AT NO ADDITIONAL COST TO OWNER. ELECTRICAL DEVICES NOT SHOWN ON CEILINGS OR WALLS TO REMAIN SHALL REMAIN IN PLACE. PROTECT
- FROM DAMAGE DURING CONSTRUCTION ELECTRICAL DEVICES NOT SHOWN ON CEILINGS TO BE REMOVED SHALL BE TEMPORARILY DISCONNECTED AND REMOVED DURING DEMOLITION AND RE-INSTALLED ON NEW CEILING IN SAME LOCATION.

ABBREVIATIONS

(E) EXISTING AFC ABOVE FINISHED CEILING

ABR

- AFF ABOVE FINISHED FLOOR
- AFG ABOVE FINISHED GRADE AHU AIR HANDLING UNIT
- BAS BUILDING AUTOMATION SYSTEM
- BFC BELOW FINISHED CEILING
- BFG BELOW FINISHED GRADE
- BOD BOTTOM OF DEVICE
- CBB COMMUNICATIONS BACK BOARD cd CANDELA CLG CEILING
- ECB ENCLOSED CIRCUIT BREAKER
- EF EXHAUST FAN FACP FIRE ALARM CONTROL PANEL
- FCU FAN COIL UNIT
- FDS FUSED DISCONNECT SWITCH
- FSD FIRE/SMOKE DAMPER GBB GROUND BUSS BAR
- GFCI GROUND—FAULT CIRCUIT—INTERRUPTING GFI GROUND—FAULT INTERRUPTING
- GP GENERAL PURPOSE
- HP HEAT PUMP ICP IRRIGATION CONTROL PANEL
- IG ISOLATED GROUND J-BOX JUNCTION BOX
- LCS LIGHTING CONTROL SYSTEM
- NEC NATIONAL ELECTRIC CODE NFDS NON-FUSED DISCONNECT SWITCH
- OC ON CENTER
- RFAP REMOTE FIRE ALARM ANNUNCIATOR PANEL
- RTU ROOF TOP UNIT SD SMOKE DETECTOR
- SPD SURGE PROTECTION DEVICE TGB TELEPHONE GROUNDING BUSS BAR
- UNO UNLESS OTHERWISE NOTED UTP UNSHIELDED TWISTED PAIR
- VFD VARIABLE FREQUENCY DRIVE
- W/ WITH
- WH WATER HEATER
- WP WEATHERPROOF

XFMR TRANSFORMER

IF NO ANNOTATION IS SHOWN ASSUME EXISTING TO REMAIN IN PLACE FOR SOLID LINES AND DEMOLISH FOR DASHED LINES. DEVICES AND EQUIPMENT NOT SHOWN SHALL BE ASSUMED TO

DEMOLITION/RENOVATION NOTATION

BE EXISTING TO REMAIN IN PLACE. EXISTING FIXTURE OR DEVICE TO REMAIN IN PLACE. REPLACE ANY BROKEN DEVICES OR PLATES; COLOR TO MATCH EXISTING. R EXISTING FIXTURE OR DEVICE TO BE REMOVED BY THE

CONTRACTOR. EXISTING CIRCUIT SHALL BE RETAINED. PROVIDE

- ELECTRICAL CONTRACTOR. MAINTAIN CONTINUITY OF REMAINING PORTIONS OF BRANCH CIRCUIT. RE EXISTING DEVICE TO BE REMOVED BY THE ELECTRICAL
- NEW DEVICE AS SHOWN ON RENOVATION PLANS. RN RELOCATED FIXTURE (NEW LOCATION). RR EXISTING FIXTURE TO BE RELOCATED BY THE ELECTRICAL

CONTRACTOR TO NEW LOCATION SHOWN ON RENOVATION PLAN.

LIGHT FIXTURE SCHEDULE FIXTURE SPECIFICATIONS ELECTRICAL LAMPING FIXTURE FIXT. NO. | LAMP TYPE | LOAD | VOLTS | MOUNTING REMARKS | NOTES DESCRIPTION MANUFACTURER SYMBOL CAT. # TYPE 120 V CEILING SURFACE 4' STRIP FIXTURE LED, 2,491 COLUMBIA LCL4-35LW-E-U 24 LUMENS, 3500K AW 4' STRIP FIXTURE LCL4-35LW-E-U LED, 2,491 | 24 | 120 V | WALL MOUNTED 88"AFF COLUMBIA |LUMENS, 3500K| BF 4' LINEAR SLOT FIXTURE, LED, 2,928 | 27 | 120 V NULITE RF2 06L35 UNV D 1C RECESSED FRF WH 4' LUMENS, 3500K FLANGE LED, 2,928 | 27 | 120 V BG | 4' LINEAR SLOT FIXTURE, | NULITE RG2 06L35 UNV D 10 GRID FRF WH 4' LUMENS, 3500K BGE | SAME AS FIXTURE "BG" RG2 06L35 UNV D 1C LED, 2,928 120 V GRID EXCEPT WITH BATTERY LUMENS, 3500K FRF WH 4'EMG LED, 650 12 | 120 V 3" DIAMETER DOWNLIGHT LR3LH21 W T35 RECESSED BLACK REFLECTOR LUMENS, 3500K EXISTING | EXISTING LIGHT FIXTURE, 120 V DEMOLITION/RENOVATION NOTATION SCHEDULE, SHFFT FO.1 4" DIAMETER DOWNLIGHT, LHALD411C35-D10P1/LRA LED, 1,100 | 13 | 120 V RECESSED SPECULAR REFLECTOR LD4SSF062B60-T35 |LUMENS, 3500K| LHALD411C35-D10P1EM2/ FE 4" DIAMETER DOWNLIGHT LED, 1,100 | 13 | 120 V RECESSED SPECULAR REFLECTOR LRALD4SSF062B60-T35 LUMENS, 3500K PRUDENTIAL LTG | P4030LED35M0FWAD1SCUN LED, 9,900 SEMI-RECESSED 3' DIAMETER 120 V SEMI-RECESSED PENDANT VSMR7X7DM01 LUMENS, 3500K EXIT SIGN, EDGE-LIT LIGHTALARMS 6 UEN RM 120 V CEILING/WALL SURFACE MOUNTED

LIGHT FIXTURE SCHEDULE NOTES

LUMENS LISTED IN SCHEDULE REPRESENT DELIVERED LUMENS OF FIXTURES.

SHOWN SHALL BE PROVIDED.

- 2 THREE DIGIT NUMBERS LISTED IN LAMP COLUMN REPRESENT CRI AND COLOR TEMPERATURE. FIRST DIGIT INDICATES MINIMUM CRI AND LAST TWO DIGITS INDICATE COLOR TEMPERATURE. EXAMPLE: 830 INDICATES
- MINIMUM CRI OF 80 AND A COLOR TEMPERATURE OF 3000K.
- 3 SEE ARCHITECTURAL RCP AND ELEVATIONS FOR EXACT LOCATION AND MOUNTING HEIGHTS. 4 CONFIRM QUANTITIES OF FIXTURES SHOWN IN RCP MATCH QUANTITIES SHOWN ON ELECTRICAL PLANS PRIOR TO BID. IF NO DISCREPANCIES ARE NOTED PRIOR TO BID THE HIGHEST QUANTITY OF EACH FIXTURE TYPE

SYMBOL DESCRIPTION CVMDOL DECODIDATION DESCRIPTION

PHONE OR DATA OUTLET (FLOOR MOUNTED)

LIGHT SWITCH, AUTOMATIC (CONNECT TO LCS)

LIGHT SWITCH, DIGITALLY TIMED (0-30 MINUTES)

MOTOR RATED SNAP SWITCH IN NEMA 1 ENCLOSURE

LOWER CASE SUBSCRIPT INDICATES SWITCH-LEG

LIGHTING CONTROL CALLOUT (REFER TO SCHEDULE)

KITCHEN EQUIPMENT CALLOUT (REFER TO SCHEDULE)

KEY NOTE CALLOUT (REFER TO KEY NOTES ON SHEET)

MULTI-LEVEL SWITCHING CONFIGURATION

OCCUPANCY SENSOR (CEILING MOUNTED)

OCCUPANCY SENSOR (WALL MOUNTED)

#" C. | CONDUIT CALLOUT (# INDICATES DIAMETER)

PUSH BUTTON CONTROL

\$ | LIGHT SWITCH, SINGLE POLE

 $oldsymbol{S}^3$ | light switch, 3 way type

LIGHT SWITCH, 4 WAY TYPE

LIGHT SWITCH, DIMMER TYPE

PHOTOCELL LIGHTING CONTROL

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
φ	SINGLE RECEPTACLE (WALL MOUNTED @ 18"AFF)	F	FIRE ALARM PULL STATION (WALL MOUNTED @ 48" AFF TOP OF BOX)
Ψ	DUPLEX RECEPTACLE (WALL MOUNTED @ 18"AFF)	А	FIRE ALARM AUDIBLE DEVICE (WALL MOUNTED @ 7'-6" AFF)
•	DUPLEX RECEPTACLE (GFI TYPE @ 18"AFF)	Ÿ	FIRE ALARM VISUAL DEVICE (WALL MOUNTED @ 7'-6" AFF)
P	DUPLEX RECEPTACLE (USB TYPE @ 18"AFF)	A/V	FIRE ALARM AUDIBLE/VISUAL DEVICE (WALL MOUNTED © 7'-6" AFF)
#	DUPLEX RECEPTACLE (@ 6" ABOVE COUNTER)	A	FIRE ALARM AUDIBLE DEVICE (CEILING MOUNTED)
P	DUPLEX RECEPTACLE (GFI TYPE @ 6" ABOVE COUNTER)	V	FIRE ALARM VISUAL DEVICE (CEILING MOUNTED)
•	DUPLEX RECEPTACLE (USB TYPE @ 6" ABOVE COUNTER) OR NOTED OTHERWISE	A/V	FIRE ALARM AUDIBLE/VISUAL DEVICE (CEILING MOUNTED)
	QUAD RECEPTACLE (WALL MOUNTED @ 18"AFF)	\$	SMOKE DETECTOR (WALL MOUNTED)
	QUAD RECEPTACLE (GFI TYPE @ 18"AFF)	<u>S</u>	SMOKE DETECTOR (CEILING MOUNTED)
P	QUAD RECEPTACLE (USB TYPE @ 18"AFF)	(D)	SMOKE DETECTOR (DUCT MOUNTED)
#	QUAD RECEPTACLE (@ 6" ABOVE COUNTER)	9	HEAT DETECTOR (WALL MOUNTED)
 	QUAD RECEPTACLE (GFI TYPE @ 6" ABOVE COUNTER)	(1)	HEAT DETECTOR (CEILING MOUNTED)
•	QUAD RECEPTACLE (USB TYPE @ 6" ABOVE COUNTER)	\Diamond	REMOTE TEST STATION FOR DUCT MOUNTED DETECTORS (WALL MOUNTED)
Ф	DUPLEX RECEPTACLE (CEILING MOUNTED)	Ŷ	REMOTE TEST STATION FOR DUCT MOUNTED DETECTORS (CEILING MOUNTED)
	DUPLEX RECEPTACLE (FLOOR MOUNTED)	₸	FIRE ALARM TAMPER SWITCH
#	QUADPLEX RECEPTACLE (CEILING MOUNTED)	P	FIRE ALARM PRESSURE SWITCH
	QUADPLEX RECEPTACLE (FLOOR MOUNTED)	F	FIRE ALARM FLOW SWITCH
	DUPLEX REC/DATA COMBINATION (FLOOR MOUNTED)	FSD	FIRE / SMOKE DAMPER
	QUADPLEX REC/DATA COMBINATION (FLOOR MOUNTED)	PIV	PRESSURE INDICATING VALVE
₩	MULTI-PHASE RECEPTACLE (AS NOTED ON PLAN)	R	SECURITY CARD READER
φ	JUNCTION BOX (WALL MTD)	K	SECURITY KEY PAD
<u> </u>	JUNCTION BOX (CEILING)	AIU	ADDRESSABLE INTERFACE UNIT (MONITOR OR CONTROL TYPE)
J	JUNCTION BOX (FLOOR MOUNTED)	w N	CCTV CAMERA (WALL MOUNTED)
∇	PHONE OR DATA OUTLET (WALL MOUNTED @ 18"AFF)		CCTV CAMERA (CEILING MOUNTED)
\downarrow	PHONE OR DATA OUTLET (MTD ABOVE COUNTER)	SPD	SURGE PROTECTION DEVICE
	PHONE OF DATA OUTLET (FLOOR MOUNTED)	(SP)	SDEAKED (WALL MOUNTED)

SPEAKER (WALL MOUNTED)

| SPEAKER (CEILING MOUNTED)

ELECTRICAL METERING DEVICE

PANELBOARD (SURFACE MOUNTED)

PANELBOARD (RECESS MOUNTED)

CONTROL PANEL (SURFACE MOUNTED)

CONTROL PANEL (RECESS MOUNTED)

MOTOR CONNECTION (AS NOTED)

CONNECTION SCHEDULE)

HANDHOLE

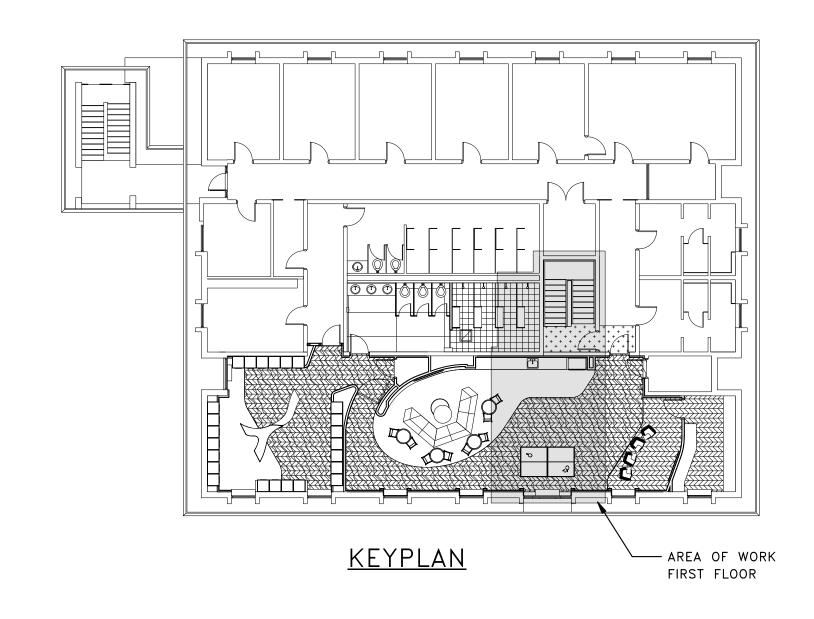
| Wi-Fi ACCESS POINT (CEILING MOUNTED)

ELECTRICAL UTILITY METER & C/T CABINET

DISCONNECT SWITCH, (REFER TO EQUIPMENT

DISCONNECT SWITCH, (NON PROTECTED)

ELECTRICAL SYMBOL LEGEND



ELECTRICAL DRAWING INDEX SHEET NAME

EO.1 ELECTRICAL NOTES & LEGENDS

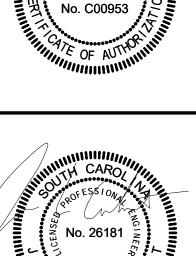
E1.0 ELECTRICAL DEMOLITION PLANS E1.1 FIRST AND SECOND FLOOR LIGHTING PLANS

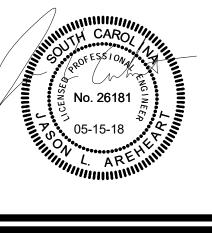
E1.2 SECOND FLOOR POWER RENOVATION PLAN

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