# University of South Carolina

# Historic Horseshoe Wall Repairs III

Construction Documents

State Project No. H27-Z364 SMHa Project No.: 1806.00

April 27, 2018

#### **INDEX OF DRAWINGS**

Drawing No. Drawing Title TITLE SHEET OVERALL PLAN **ENLARGED PLANS ENLARGED PLANS ELEVATIONS (EXTERIOR)** ELEVATIONS (EXTERIOR) **ELEVATIONS (INTERIOR)** A204 **ELEVATIONS (INTERIOR)** 

**DETAILS** 

A301

**REVISIONS:** 

University of **South Carolina Historic Horseshoe** Wall Repairs III

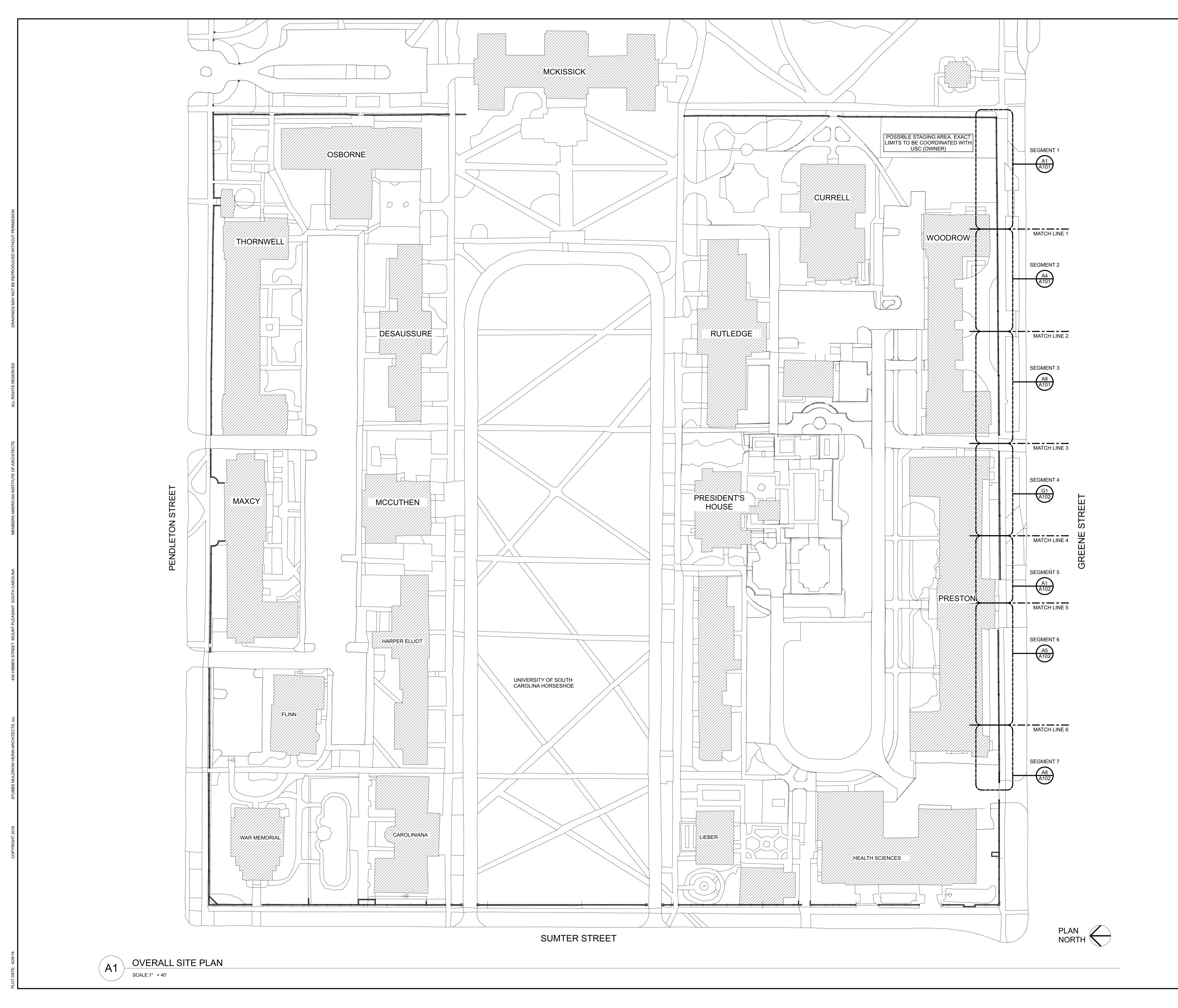
Columbia, SC

## SMHa

STUBBS MULDROW HERIN architects, inc.



STATE PROJECT NO: H27-Z364 SMHa PROJECT NO: 1806.00 DRAWN BY: B.RIESBERG ISSUE DATE: 4/27/18



#### **GENERAL NOTES:**

A. PROJECT SUMMARY: HISTORIC RESTORATION OF DESIGNATED PORTIONS OF THE MASONRY WALL SURROUNDING USC'S HISTORIC HORSESHOE. WORK SHALL INCLUDE REMOVAL AND REPLACEMENT (TUCKPOINTING) OF ALL PORTIONS OF THE EXTERIOR AND INTERIOR PORTIONS OF THE WALL, REPLACEMENT OF DAMAGED BRICK, AND REMOVAL AND REPLACEMENT OF DAMAGED PORTIONS OF THE WALL.

B. IT IS THE INTENT OF THESE DRAWINGS TO GRAPHICALLY CONVEY THAT ALL SURFACES SHALL BE REPOINTED AND THAT ALL DAMAGED BRICK SHALL BE REMOVED AND REPLACED WITH THE SPECIFIED REPLACEMENT BRICK. AREAS NOT REQUIRING REPOINTING WILL BE IDENTIFIED BY ARCHITECT AND OWNER AND DEDUCTED PER UNIT PRICE

C. OWNER SHALL PROVIDE BIDDERS/CONTRACTOR WITH HAZARD MATERIAL REPORT. CONTRACTOR SHALL COMPLY WITH USC (OWNER) ABATEMENT REQUIREMENTS.

#### WORK BY OWNER:

CONTRACTOR TO COORDINATE WITH OWNER FOR THE FOLLOWING WORK BY OWNER.

1. VEGETATION REMOVAL WHERE INDICATED.

2. PRE-APPLICATION OF HERBICIDE FOR PLANT GROWTH ON WALL. 3. TREE PROTECTION.

#### **DEFINITIONS:**

EXTERIOR: REFERS TO STREET SIDE OF WALL INTERIOR: REFERS TO OPPOSITE SIDE OF WALL FROM STREET

**REVISIONS:** 

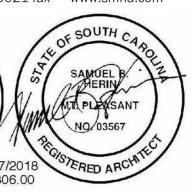
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OVERALL PLAN

## 015000. PRICES. - - - - - - (19) / WOODROW / (EAST WING) / \_ - - - - (13) PHOTOGRAPH H1 A203 WÓODRÓW (WEST WING) WOODROW (EAST WING) \_ \_ \_ \_ \_ PLAN MATCH LINE 1 MATCH LINE 3 MATCH LINE 2 **ENLARGED PLAN SEGMENT 3 ENLARGED PLAN SEGMENT 2 ENLARGED PLAN SEGMENT 1** SCALE:1/8" = 1'-0" SCALE:1/8" = 1'-0" SCALE:1/8" = 1'-0"

#### **GENERAL NOTES:**

SEE ELEVATIONS AND DETAIL SHEETS FOR ADDITIONAL WORK REQUIREMETNS AND DIMENSIONAL INFORMATION.

A. NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM THE WORK AS INTENDED BY THE CONTRACT DOCUMENTS.

B. OWNER TO PRE-TREAT WALL WITH HERBICIDE. CONTRACTOR TO REMOVE ALL VISIBLE PLANT, MOSS, AND SHRUB GROWTH FROM MASONRY SURFACES. REMOVE ALL LOOSE SOILS AND DEBRIS FROM OPEN MASONRY JOINTS. REFER TO SPECIFICATIONS ON MASONRY SURFACE CLEANING AND PREPARATION.

D. REMOVE NAILS OR OTHER ANCHORAGES FROM WALL DURING REPOINTING PROCESS.

E. PROTECT ADJACENT MATERIALS AND SURFACES FROM DAMAGE DURING CONSTRUCTION ACTIVITIES.

F. NON HISTORIC INTERIOR CAMPUS WALLS THAT RUN PERPENDICULAR TO PERIMETER WALLS ARE NOT INCLUDED IN SCOPE OF WORK UNLESS NOTED OTHERWISE.

G. PROVIDE TEMPORARY ENCLOSURE FENCES AROUND ALL AREAS OF WORK TO PREVENT THE SPREAD OF CONSTRUCTION DEBRIS AND DUST. TEMPORARY PARTITIONS TO BE CONSTRUCTED PRIOR TO START OF DEMOLITION WORK. COORDINATE SEQUENCES WITH OWNER. SEE

H. COORDINATE ALL WORK AT PEDESTRIAN AND VEHICULAR ENTRY WAYS WITH OWNER. MAINTAIN CLEAR PATH OF ACCESS FOR PEDESTRIANS AND VEHICLES.

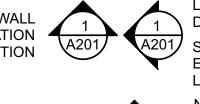
I. SHORE WALL WHERE HEAVY DAMAGE IS PRESENT. EXCAVATE AND PROVIDE FLOWABLE FILL UNDER WALL WHERE UNSUITABLE MATERIAL EXISTS. OTHER AREAS ENCOUNTERED SHALL BE COMPLETED PER UNIT

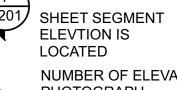
J. CONTRACTOR SHALL PROVIDE PLASTIC PALLETS FOR SALVAGED BRICK, PLACE BRICK ON PALLETS, AND SHRINK-WRAP EACH PALLET.

#### GRAPHIC SYMBOL LEGEND:



**ELEVATION** 





MATCH LINES \_ \_ MATCH LINE 1

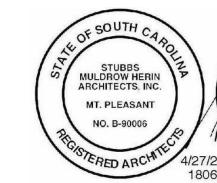
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## **University of** South Carolina **Historic Horseshoe** Wall Repairs III

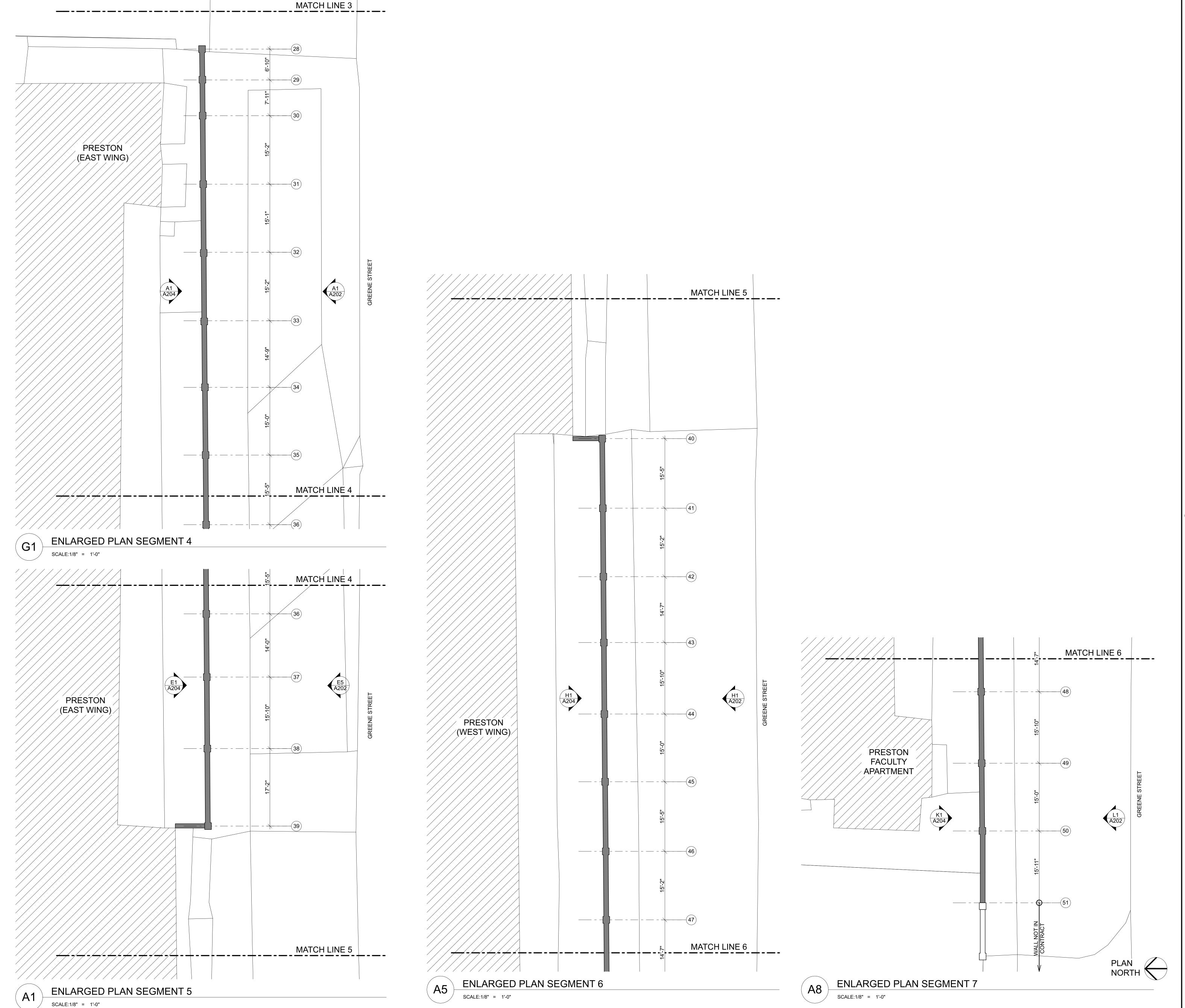
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#### GRAPHIC SYMBOL LEGEND:



PHOTOGRAPH



**ELEVATION** 

MATCH LINES \_ \_ MATCH LINE 1

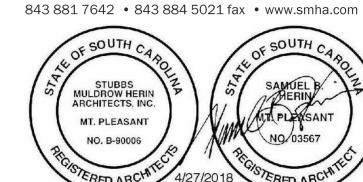
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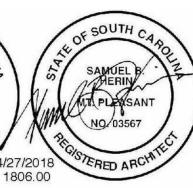
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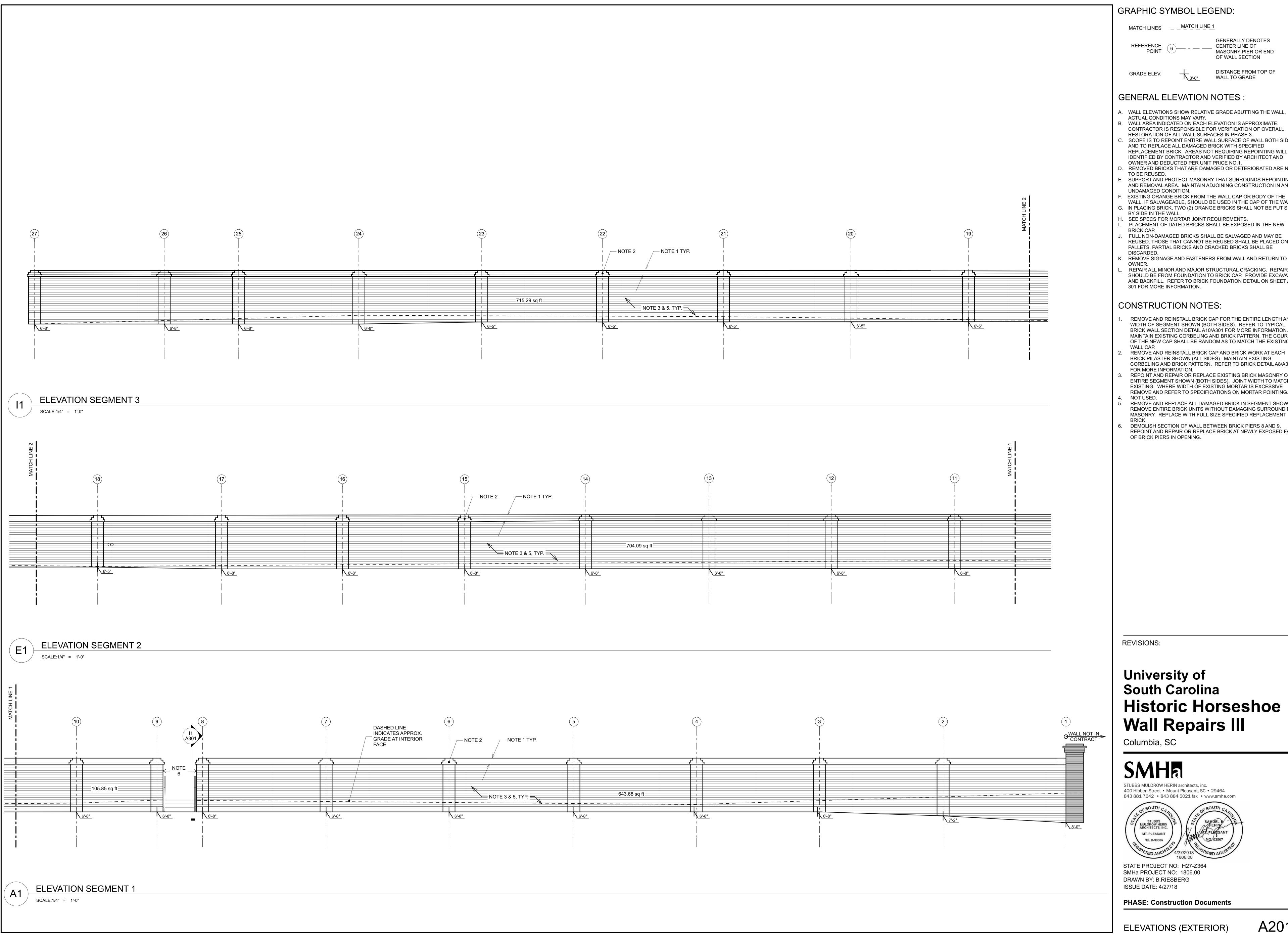
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A102

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MATCH LINES \_ \_ MATCH LINE 1

REFERENCE POINT 6 - - -

GENERALLY DENOTES CENTER LINE OF MASONRY PIER OR END

OF WALL SECTION

DISTANCE FROM TOP OF WALL TO GRADE

#### **GENERAL ELEVATION NOTES:**

- A. WALL ELEVATIONS SHOW RELATIVE GRADE ABUTTING THE WALL. ACTUAL CONDITIONS MAY VARY.
- B. WALL AREA INDICATED ON EACH ELEVATION IS APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF OVERALL RESTORATION OF ALL WALL SURFACES IN PHASE 3.
- SCOPE IS TO REPOINT ENTIRE WALL SURFACE OF WALL BOTH SIDES AND TO REPLACE ALL DAMAGED BRICK WITH SPECIFIED REPLACEMENT BRICK. AREAS NOT REQUIRING REPOINTING WILL BE IDENTIFIED BY CONTRACTOR AND VERIFIED BY ARCHITECT AND
- OWNER AND DEDUCTED PER UNIT PRICE NO.1. D. REMOVED BRICKS THAT ARE DAMAGED OR DETERIORATED ARE NOT TO BE REUSED.
- . SUPPORT AND PROTECT MASONRY THAT SURROUNDS REPOINTING AND REMOVAL AREA. MAINTAIN ADJOINING CONSTRUCTION IN AN UNDAMAGED CONDITION.
- EXISTING ORANGE BRICK FROM THE WALL CAP OR BODY OF THE WALL, IF SALVAGEABLE, SHOULD BE USED IN THE CAP OF THE WALL.
- G. IN PLACING BRICK, TWO (2) ORANGE BRICKS SHALL NOT BE PUT SIDE BY SIDE IN THE WALL.
- H. SEE SPECS FOR MORTAR JOINT REQUIREMENTS. PLACEMENT OF DATED BRICKS SHALL BE EXPOSED IN THE NEW
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- REPAIR ALL MINOR AND MAJOR STRUCTURAL CRACKING. REPAIR SHOULD BE FROM FOUNDATION TO BRICK CAP. PROVIDE EXCAVATION AND BACKFILL. REFER TO BRICK FOUNDATION DETAIL ON SHEET A/ 301 FOR MORE INFORMATION.

#### **CONSTRUCTION NOTES:**

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**REVISIONS:** 

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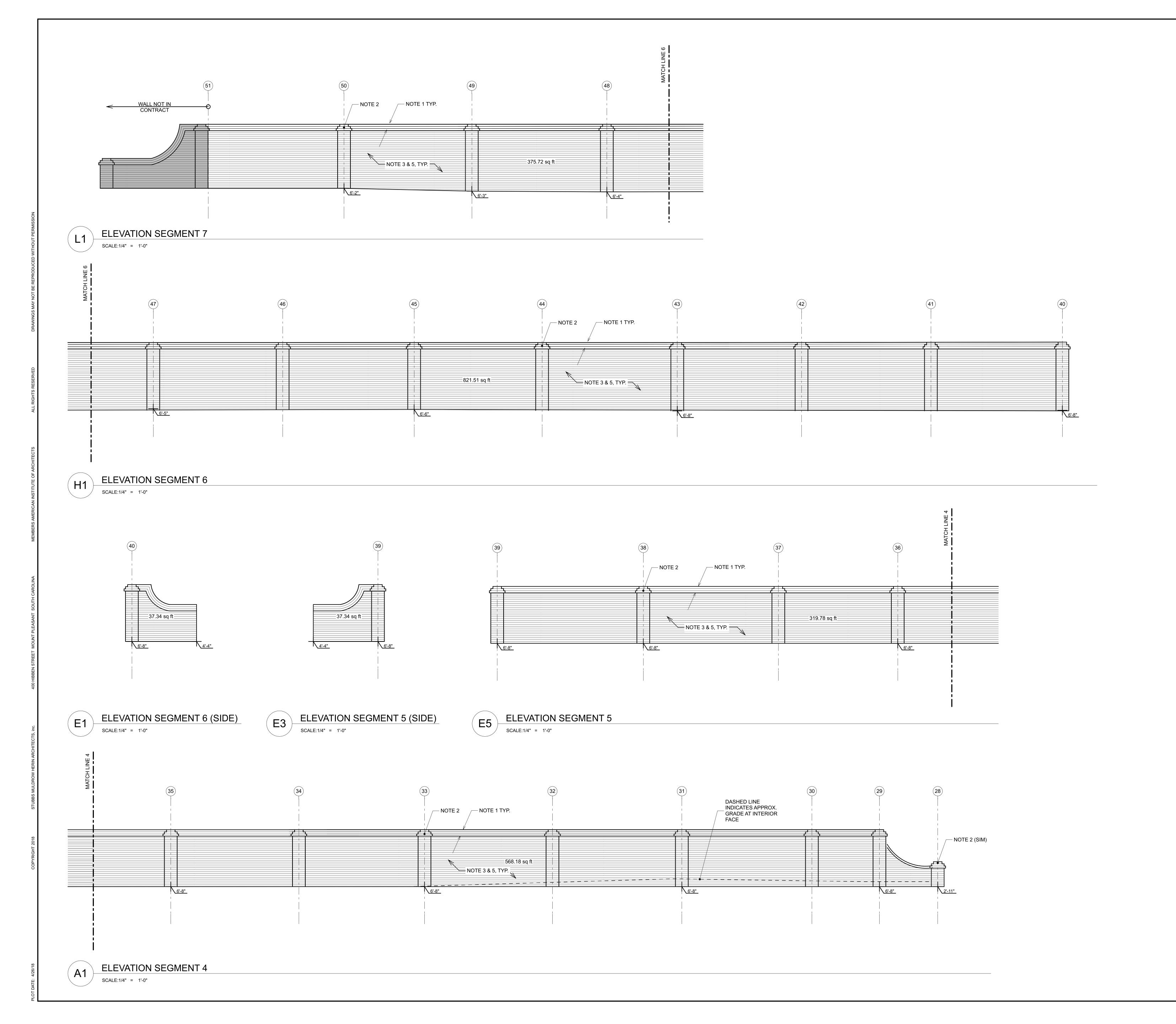
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MATCH LINES \_ \_ MATCH LINE 1

REFERENCE POINT 6 — - — -

GRADE ELEV.

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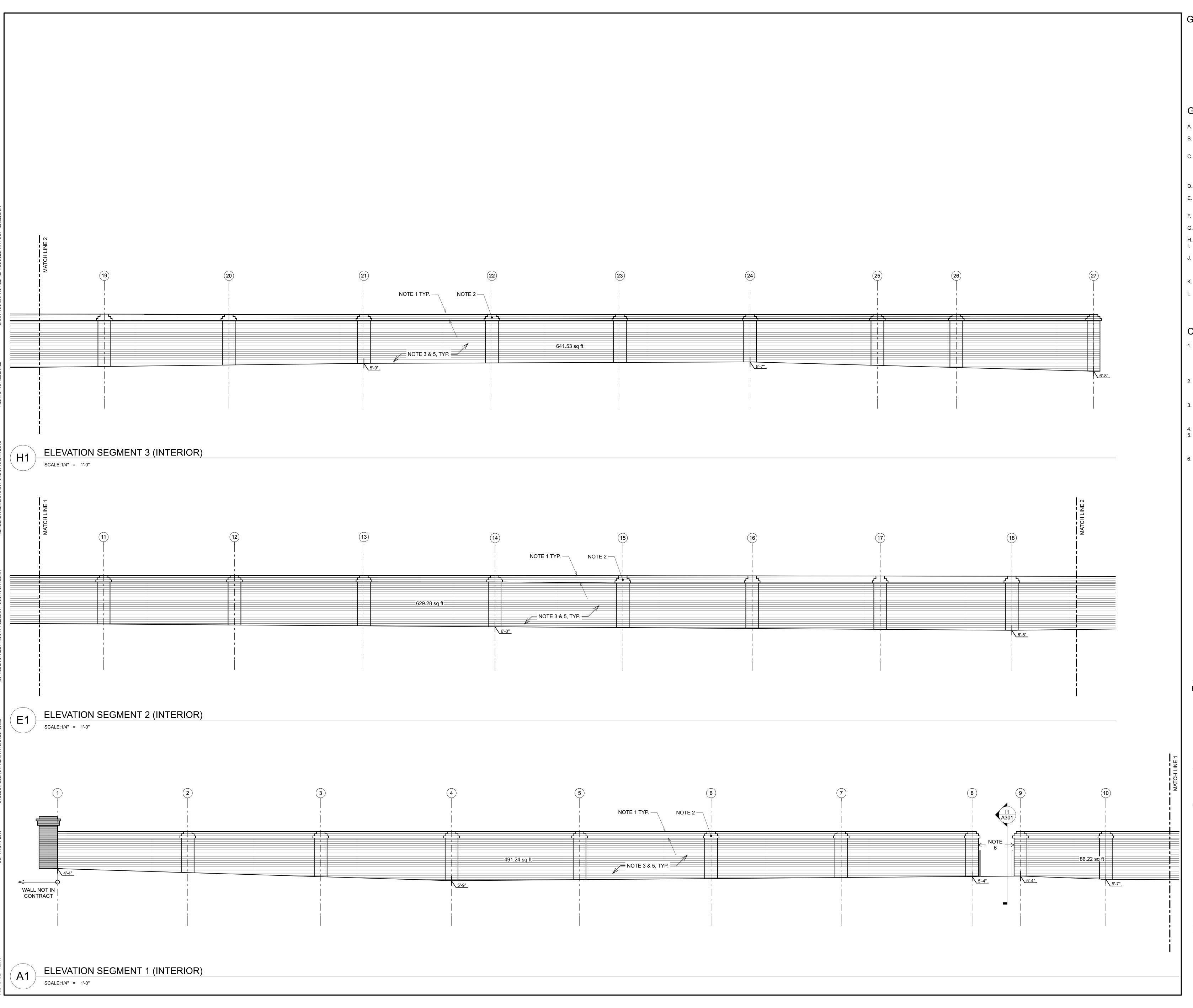
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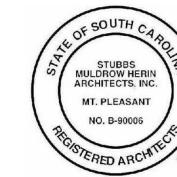
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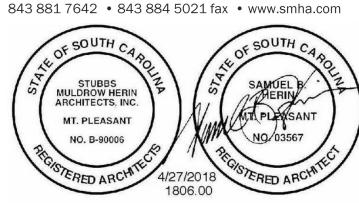
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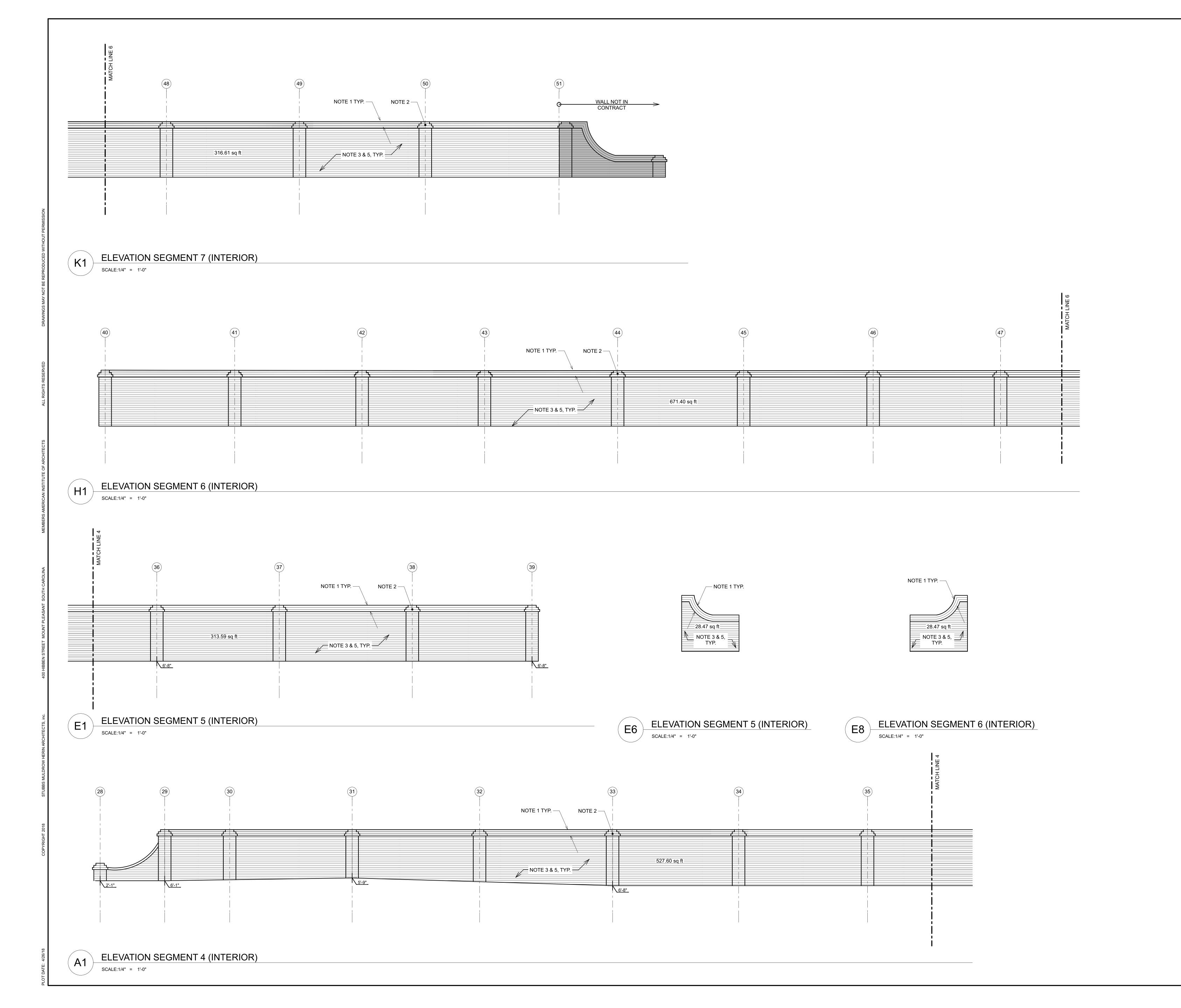
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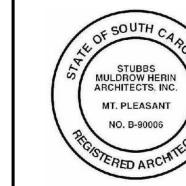
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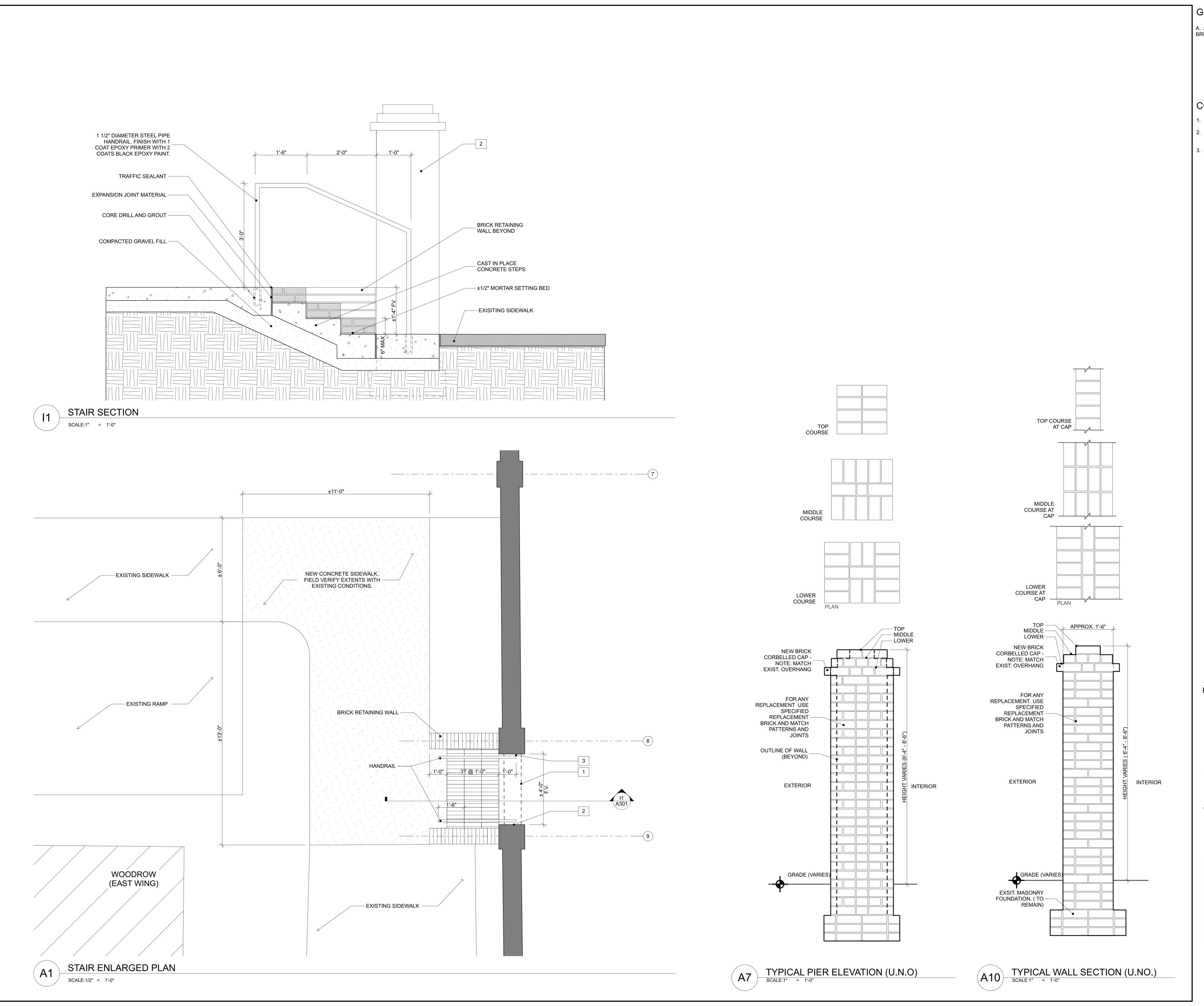
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GENERAL NOTES :

A. ALL NEW/REPLACEMENT BRICK SHALL BE AS SPECIFIED. SALVAGED BRICK FROM THIS WALL MAY ALSO BE USED.

CONSTRUCTION NOTES: X

I. DEMOLISH SECTION OF WALL BETWEEN BRICK PIERS 8 AND 9.

REPOINT AND REPAIR OR REPLACE BRICK AT NEWLY EXPOSED FACE OF BRICK PIERS IN OPENING.

3. PROVIDE 1 1/2" CLEAR BETWEEN HANDRAIL AND MASONRY PIER.

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