

DeSaussure Window Replacement and Access Control Project

State Project Number: H27-Z323

Project Number: 17402

902 Sumter Street
Columbia, SC 29208



147 Wappoo Creek Drive
Suite 400
Charleston, SC 29412

843.762.2222
843.762.2300

CONSTRUCTION DOCUMENTS

11/02/2017

DRAWING INDEX

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G103	LIFE SAFETY PLAN - THIRD FLOOR

DEMOLITION

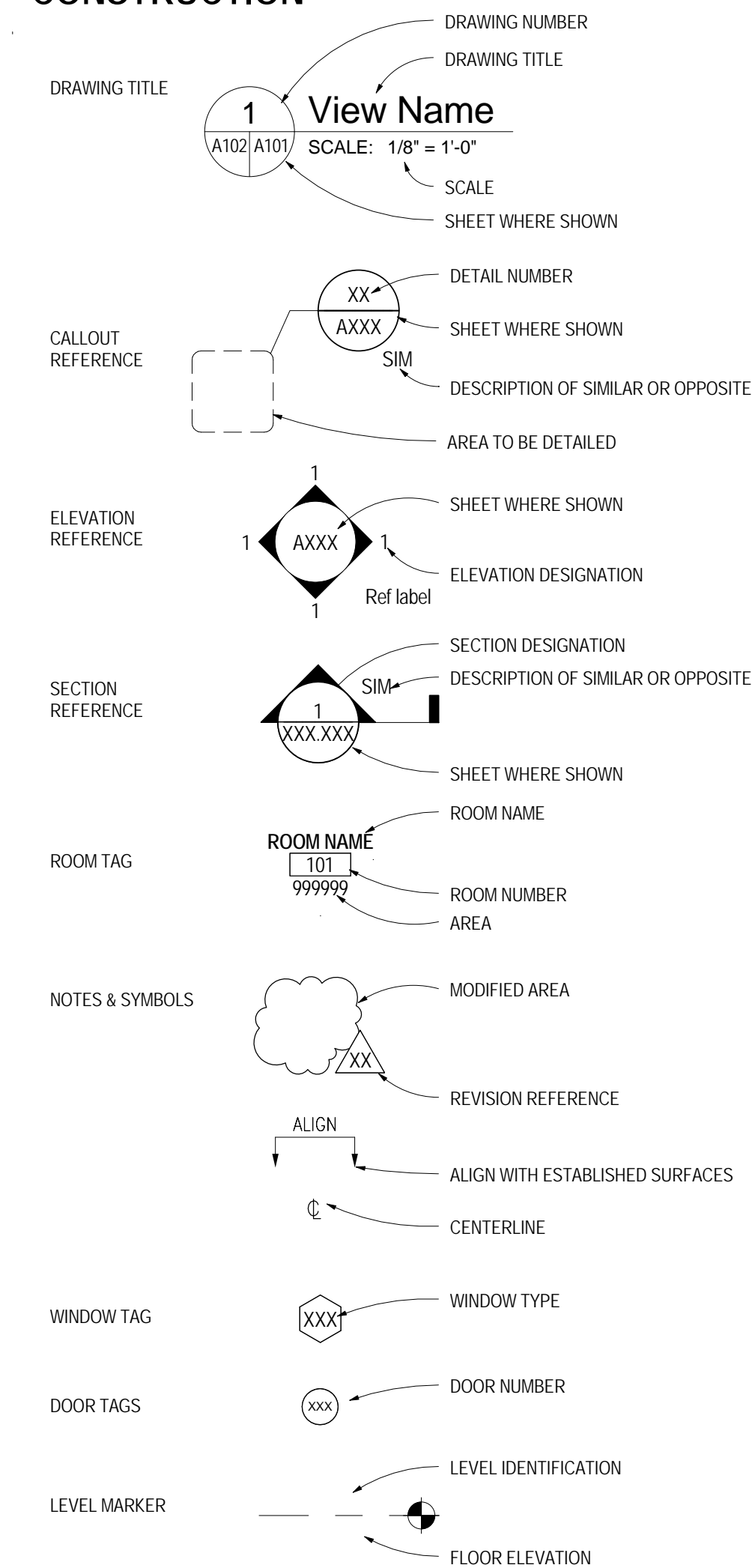
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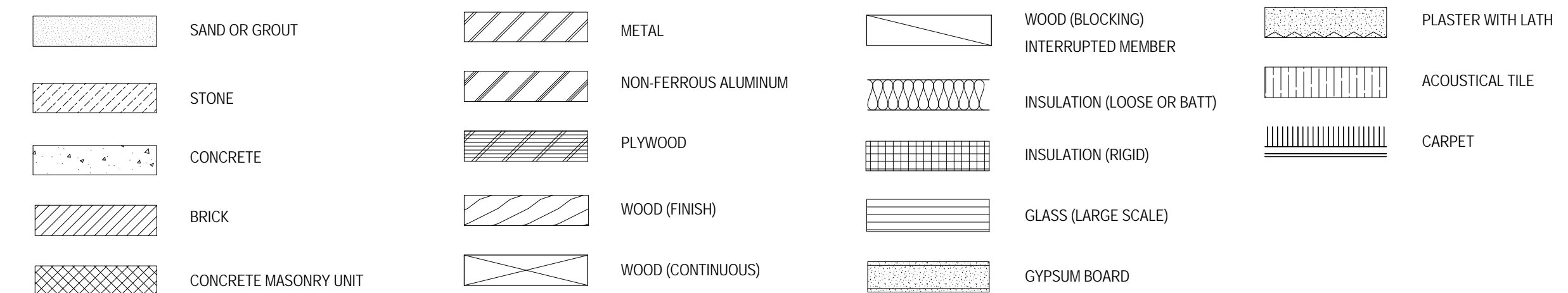
GRAPHIC SYMBOLS

CONSTRUCTION



GRAPHIC SYMBOLS

SECTION INDICATIONS



CONSTRUCTION SITE SIGN

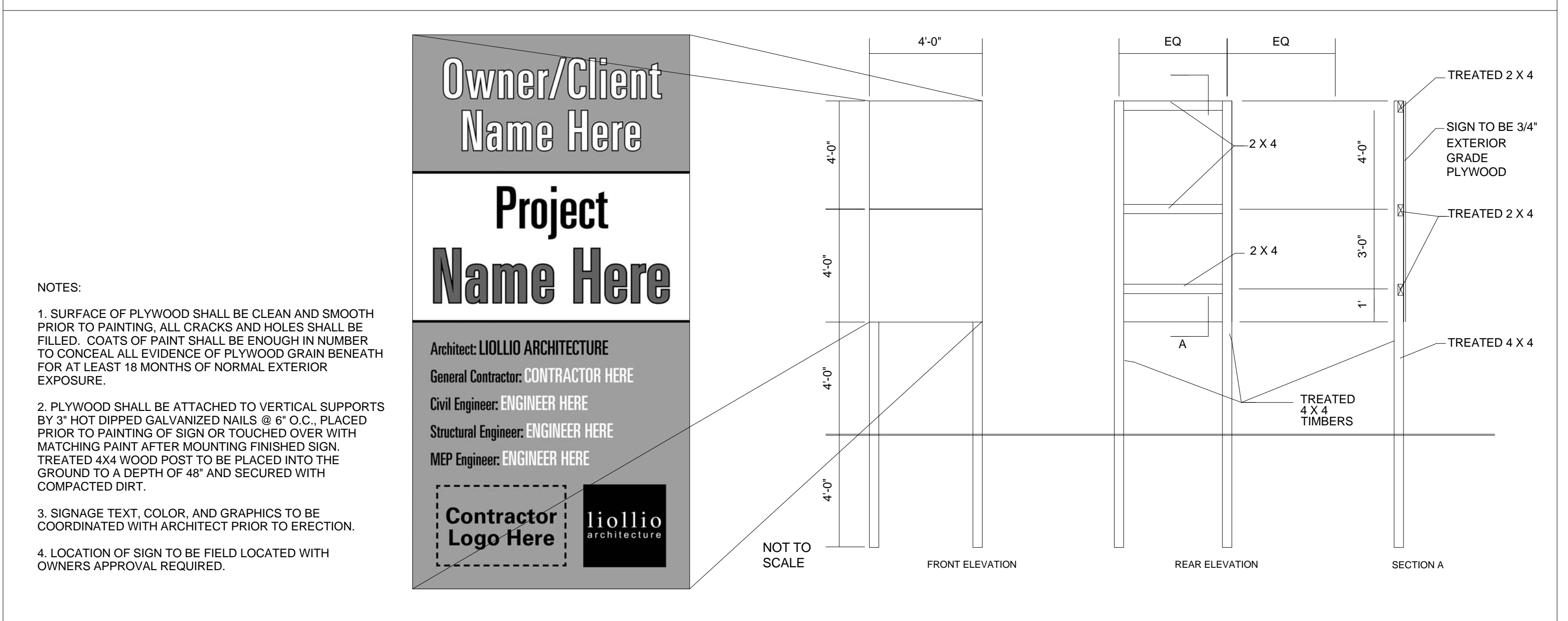


TABLE 5-1 FLOOD HAZARD INFORMATION & FLOOD LOADS	
FLOOD HAZARD AREA	
Base Flood Elevation NONE _____ MSL Design Flood Elevation -- _____ MSL	
NON HIGH-VELOCITY WAVE ACTION	
Elevation of Lowest Proposed Floor _N/A_____ MSL Dry floodproofing <input type="checkbox"/> no <input type="checkbox"/> yes per ASCE 24	Meet ASCE 24 Section 2.6.2.1/ 2.6.2.2
HIGH-VELOCITY WAVE ACTION	
Elevation of Lowest Proposed Floor _N/A_____ MSL Flotation resistant <input type="checkbox"/> no <input type="checkbox"/> yes per ASCE 24 Breakaway wall <input type="checkbox"/> no <input type="checkbox"/> yes per ASCE 24	Meet ASCE 24 Section 2.6.2.1/ 2.6.2.2

TABLE 5-2 SOILS & SITE	
SOILS INVESTIGATION (If required) <input type="checkbox"/> no <input type="checkbox"/> yes per IBC 1803.2	
SOILS CLASSIFICATION	
Site Class _____ per IBC 1613.3.2	
Classes Soil of Materials (UCS System) _____ per IBC 1803.5.1	
Allowable Footing Bearing Pressure _____ psf	
MINIMUM DESIGN SOIL BEARING LOAD _____ psf per IBC table 1806.2	
SOILS CLASSIFICATION	
Subgrade: _____ Percent	<input type="checkbox"/> ASTM D698 <input type="checkbox"/> ASTM D1557 <input type="checkbox"/> AASHTO (only for paving & roads)
Base: _____ Percent	<input type="checkbox"/> ASTM D698 <input type="checkbox"/> ASTM D1557 <input type="checkbox"/> AASHTO (only for paving & roads)
Other: _____ Percent	<input type="checkbox"/> ASTM D698 <input type="checkbox"/> ASTM D1557 <input type="checkbox"/> AASHTO (only for paving & roads)
MINIMUM DESIGN SOIL LATERAL LOAD _____ psf per IBC table 1610.1	
FOOTINGS	
Undisturbed footings <input type="checkbox"/> no <input type="checkbox"/> yes	
Compacted Fill Material <input type="checkbox"/> no <input type="checkbox"/> yes per IBC 1804.5	
ELEVATIONS	
Elevation of Water Table: _____ MSL	
Elevation of lowest footing: _____ MSL	
Elevation of lowest floor or basement _____ MSL	

TABLE 5-3 BASIC BUILDING CODE INFORMATION			
CONSTRUCTION CLASSIFICATION	Type: III-B, SPRINKLERED _____ (IBC 602)		
OCCUPANCY GROUP (indicate all) (Note IBC 506.5)	R-2 DORMITORY, B BUSINESS _____ (IBC 302)		
OCCUPANCY GROUP (indicate most restrictive)	R-2 DORMITORY _____ (IBC Table 503)		
Does building require Incidental Use Area Separation?	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes (IBC 509.1)		
Does building have Accessory Occupancy (ies)? If so, what percent of story is Accessory Occupancy?	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes (IBC 508.2)	N/A _____ SF	N/A _____ %
Mixed Occupancy	<input type="checkbox"/> no <input checked="" type="checkbox"/> yes (IBC 508)	SEE NOTE 1 BELOW	
Non separated	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes (IBC 508.3)	N/A	
Separated	<input type="checkbox"/> no <input checked="" type="checkbox"/> yes (IBC 508.4) (IBC 506.5)	RESIDENTIAL VS. BUSINESS	

OTHER FIRE PROTECTION SYSTEMS, DEVICES or FEATURES
If the building has any special or notable fire protection or safety feature or hazard the designers should list them here, describe the performance characteristics and refer to location in construction documents. (e.g. fire extinguishers, smoke-evacuation/control/compartments. Note IBC 414.1.3)

NOTE 1: BUSINESS VS. RESIDENTIAL SEPARATION PER TABLE 508.4; 1 HOUR (EXISTING ASSUMED)

TABLE 5-4 BUILDING AREA	
AREA LIMIT BY TABLE 506.2 OF IBC (Do not indicate increases for sprinklers & street frontage.)	16,000 _____ SF (area limitation per story)
AREA MODIFICATION FROM EQUATION 5-1 OF IBC (Insert equation from IBC 506.1 with completed calculations in this box)	56,000 _____ SF (maximum modified area per story)
Equation 5-1: A _a = A _t + [A _t x I _f] + [A _t x I _s] A _a = Allowable area per story (square feet). A _t = Tabular area per story in accordance with Table 503 I _f = Area increase factor due to frontage (percent) as calculated in accordance with Section 506.2 I _s = Area increase due to sprinkler protection as calculated in accordance with Section 506.3 (Repeat equation for each story of differing occupancies, IBC 506.5.2)	
TOTAL ALLOWED AREA OF BUILDING (summary of all stories)	168,000 _____ SF
AREA AS DESIGNED PER STORY (Repeat for each story)	7,743 _____ SF (area per story)
TOTAL DESIGNED AREA OF BUILDING	24,989 _____ SF

TABLE 5-5 BUILDING HEIGHT				
	AS DESIGNED		AS ALLOWED BY IBC	
	In Feet	In Stories	In Feet	In Stories
Without any Allowable Increase (per IBC Table 504.3)	--	--	55'	3
Allowable Height Increase (per IBC 504.2)	--	--	20'	1
Total Height, including any Allowable Increase	54' EST.	3	75'	3

TABLE 5-6 BUILDING DESIGN OCCUPANT LOAD					
Stories & Levels	Function of Space	A	B	C	D
		Floor Area (specify NSF or GSF)	Max Area allowed /Occupant(specify NSF or GSF)	Persons on floor for this Function	Design Occupant Load
B	MECHANICAL	1,760	300 GSF	6	
	Subtotal Design Occupant Load for This Story				
1	RESIDENTIAL (R-2)	3,975	200 NSF	24	
	BUSINESS (B)	3,023	100 NSF	27	
Subtotal Design Occupant Load for This Story					51
2	RESIDENTIAL (R-2)	3,975	200 NSF	24	
	BUSINESS (B)	3,023	100 NSF	27	
Subtotal Design Occupant Load for This Story					51
3	RESIDENTIAL (R-2)	3,975	200 NSF	24	
	BUSINESS (B)	3,023	100 NSF	27	
Subtotal Design Occupant Load for This Story					51
Total Building Design Occupant Load					159

FOOTNOTES:

- Provide the complete name of the Function of space using the left column of Table 1004.1.2 of the IBC.
- Design Area per each occupant of this function on this floor in either Gross or Net square footage
- Allowed Floor Areas in SF per Occupant per right column in Table 1004.1.2 of the IBC.
- Divide Column A (2) by Column B (3) for each function and enter result, rounded up to the nearest whole person (4)
- Subtotal all Column C values for this floor to yield the Design Occupant Load (5)
- Total Building Design Occupant Load - sum of all Column D value (6)

TABLE 5-7 GENERAL FIRE PROTECTION REQUIREMENTS		
SEPARATIONS		
Fireblocking Required	<input type="checkbox"/> no <input checked="" type="checkbox"/> yes	per IBC Section 718
Draftstopping Required	<input type="checkbox"/> no <input checked="" type="checkbox"/> yes	per IBC Section 718
Smoke Control System Required	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes	per IBC Section 909
Smoke Barriers Required	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes	per IBC Sections 407 and 408
Smoke Partitions Required	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes	per IBC Sections 407 and 408
Fire Partition Required	<input type="checkbox"/> no <input checked="" type="checkbox"/> yes	per IBC Section 708
Fire Barrier Required	<input type="checkbox"/> no <input checked="" type="checkbox"/> yes	per IBC Section 707
ALARM & DETECTION		
Fire Alarm System Required	<input type="checkbox"/> no <input checked="" type="checkbox"/> yes	per IFC Section 907
Emergency Alarm System Required	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes	per IFC Section 908
SUPPRESSION		
Standpipes Required	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes	per IFC Section 905
Sprinklers Required	<input type="checkbox"/> no <input checked="" type="checkbox"/> yes	per IFC Section 903
Sprinklers Provided	<input type="checkbox"/> no <input checked="" type="checkbox"/> yes	
Portable Extinguishers Required	<input type="checkbox"/> no <input checked="" type="checkbox"/> yes	per IFC Section 906
Other Suppression Systems Required	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes	per IFC Section 904
Smoke & Heat Vents Required	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes	per IFC Section 910
OTHER: (Indicate other provided fire and life safety features not listed above, if any)		

TABLE 5-9 STRUCTURAL DESIGN INFORMATION	
RISK CATEGORY	per IBC 1803.2
LIVE LOADS	
Floor Live Load F _l = _____ PSF	List the F _l for each occupancy
Roof Live Load R _l = _____ PSF	
Ground Snow Load p _g = _____ PSF	IBC Figure 1608.2 (or ASCE 7)
WIND LOADS	
Analysis Procedure _____	ASCE 7 or IBC 1609.6
Ultimate Design V _{ult} = _____ MPH	IBC Fig's. 1609A-1609C
Wind Speed _____	
Exposure Category _____	IBC 1609.4.3
Internal Pressure Coefficient GC _p = _____	ASCE 7
External Pressure Coefficient GC _s = _____	ASCE 7
SEISMIC LOADS	
Seismic Importance Factor I _e = _____	ASCE 7 Table 1.5-2
Site Class _____	IBC 1613.3.2
Mapped Spectral Response Acceleration S _s = _____	S ₁ = _____
Design Spectral Response Acceleration Parameters S _{ds} = _____	S _{1s} = _____
Seismic Design Category _____	IBC Table 1613.3.5(1) & 1613.3.5(2)
Basic Seismic Force Resisting System _____	
Design Base Shear _____ KIPS	
Seismic Response Coefficient(s) C _v = _____	ASCE 7
Response Modification Factor(s) R = _____	ASCE 7
Analysis Procedure _____	
ARCHITECTURAL-MECHANICAL-ETC. LOADS	
Provide as applicable: architectural items, mechanical, plumbing, etc. per ASCE 7	
SPECIAL LOADS	
Provide as applicable: abnormal items, moving loads, impact, hoisting, etc. per ASCE	

TABLE 5-8 FIRE RESISTANCE RATING OF BUILDING ELEMENTS				
BUILDING ELEMENT	Rating As Required (in hours)	Rating As Designed (in hours)	Testing Agency & Design No. (UL, FM, etc)	Designers Wall/Partition Key Code
Structural Frame (per IBC Table 601)	0	0		
Bearing Walls Exterior Interior (per IBC Table 601)	2 0	2 (ASSUMED) 0		
Nonbearing Walls & Partitions Exterior Interior (per IBC Table 601 & 602) Note footnote "e" from Table 601	0 0	0 0		
Floor Construction including supporting beams & joists (per IBC Table 601)	0*	0* / 1/2 (ASSUMED)		
Roof Construction including supporting beams & joists (per IBC Table 601)	0	0		
Fire Walls (per IBC Table 706)	N/A	N/A		
Fire Barriers (per IBC Table 707)	1	1 (ASSUMED)	UL U906 (ASSUMED)	
Shaft Enclosures (per IBC Table 713)	E&G HOUSING	2 (ASSUMED) 1 (ASSUMED)		
Fire Partitions (per IBC Table 708)	1	1 (ASSUMED)	UL U906 (ASSUMED)	
Opening & Protective Listing by Category (fire shutters, doors, etc. per IBC Section 716)		NO NEW RATED OPENINGS		
Others (as required by Designer)				

△ Revision Date Description

University of South Carolina

DeSaussure Window Replacement and Access Control Project

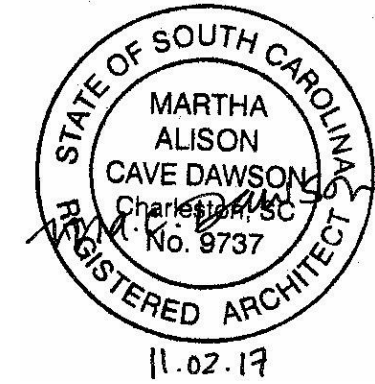
902 Sumter Street
Columbia, SC 29208
State Project Number: H27-Z323
Project Number: 17402
Checked By: JMW
Drawn By: ACD
Date: 11/02/2017
Scale:

G001
CODE REVIEW



147 Wappoo Creek Drive
Suite 400
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PROJECT DESIGNED IN ACCORDANCE WITH:
International Building Code (IBC), 2015 Edition



147 Wappoo Creek Drive Suite 400 Charleston, SC 29412

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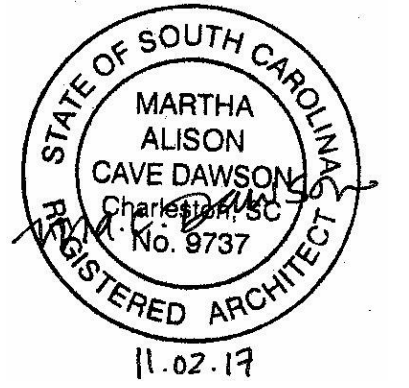


TABLE 5-14 STATEMENT OF SPECIAL INSPECTIONS. Table with columns: MATERIAL, TYPE OF INSPECTION, FREQUENCY, SPECIFICATION REFERENCE, INSPECTION BY. Includes fields for PROJECT NAME and PROJECT NUMBER.

TABLE 5-12 ELECTRICAL INFORMATION. Includes SERVICE TRANSFORMER details (By Utility Company, By Agency), ELECTRICAL SERVICE INFORMATION (Service Voltage/Phase, Amperes, etc.), and LIGHTNING PROTECTION PROVIDED (no, yes).

TABLE 5-13 DESIGN-RELATED CONSTRUCTION PERMITS/APPROVALS. The following list is not all-inclusive of every permit and standards applicable to each project.

Table with 4 columns: TYPE OF DEVELOPMENT, SC LAW OR REGULATION, WHERE TO OBTAIN PERMIT/APPROVAL, STATUS. Lists various construction types and their corresponding regulatory requirements.

For Completion of this Table in the Bid Documents Stage, it must indicate the status of each Permit by insertion of "approved" and date in the status column.

TABLE 5-10 PLUMBING INFORMATION. Includes WATER SYSTEM (Service Line, Peak Flow), SANITARY SEWER SYSTEM (Loading, Service Line Size), and MINIMUM PLUMBING FIXTURES REQUIRED/PROVIDED table.

TABLE 5-11 MECHANICAL INFORMATION. Includes AIR COMFORT SYSTEMS (Overall Thermal Transfer Value, Building Cooling/Heating Load) and OTHER LOADING FEATURES (Glass, Insulation Values).

(The above data shall be considered a minimum and any special attribute required to meet the mechanical codes.)

Revision Date Description

Table with columns: Revision Date, Description. Multiple empty rows for tracking changes.

University of South Carolina

DeSaussure Window Replacement and Access Control Project

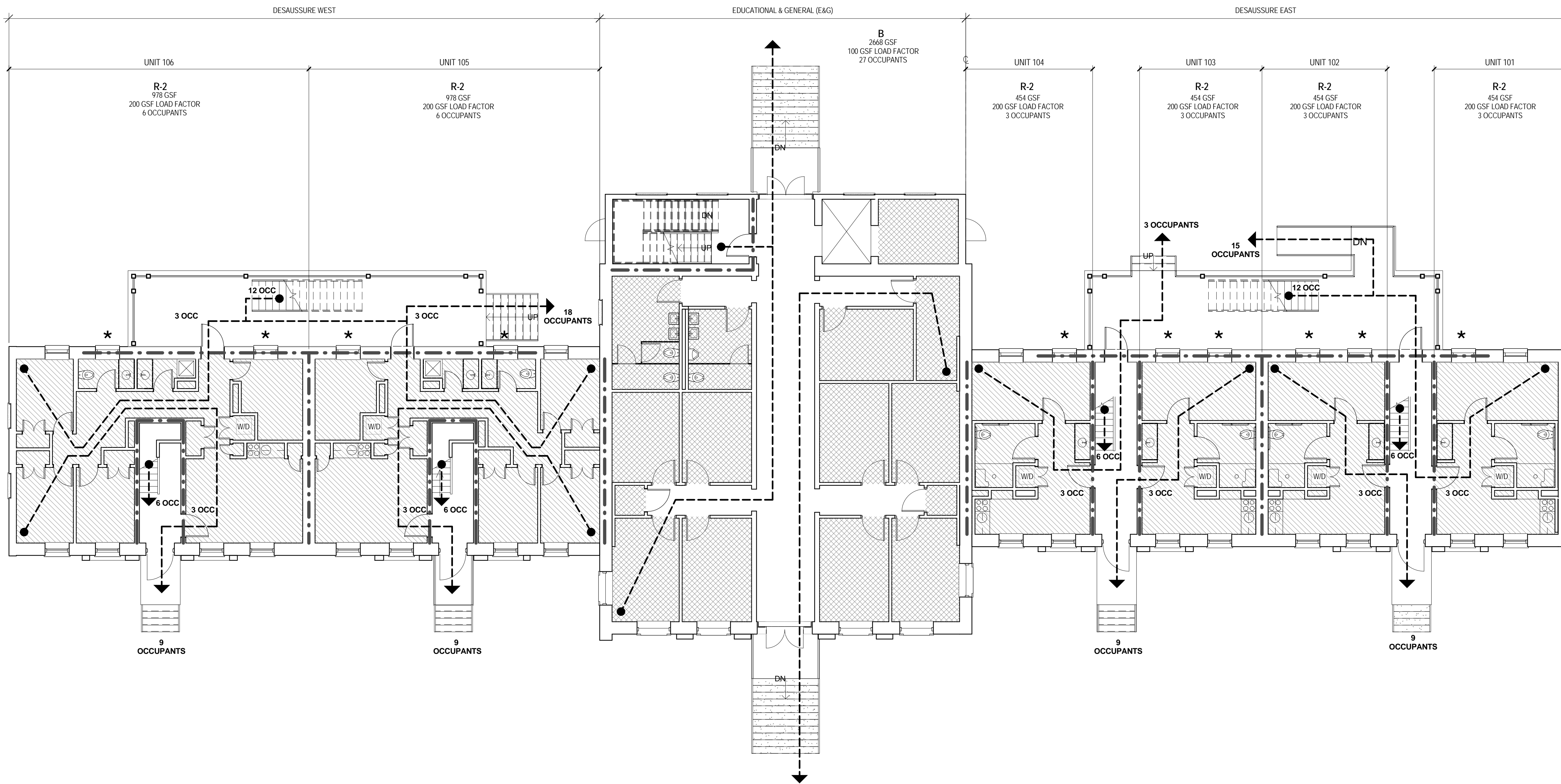
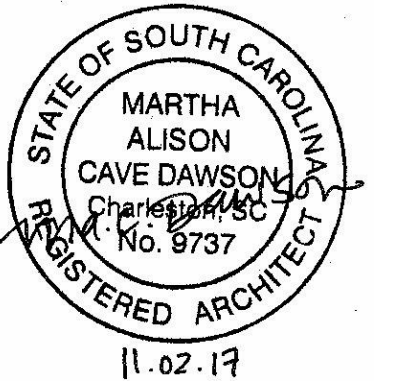
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Summary table with rows for State Project Number, Project Number, Checked By, Drawn By, Date, Scale.

G002 CODE REVIEW



147 Wappoo Creek Drive
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1 LIFE SAFETY PLAN - DESSAUSURE LEVEL 01
G101 SCALE: 1/8" = 1'-0"

LIFE SAFETY PLAN LEGEND

- SYMBOLS**
- 1 HR RATED WALL (ASSUMED)
 - # OCC. EGRESS OCCUPANT LOAD
 - PRIMARY EGRESS
 - FIRE RATED WINDOW (45 MINUTE)
- OCCUPANCY TYPES**
- RESIDENTIAL (R-2)
 - BUSINESS (B)
 - CIRCULATION

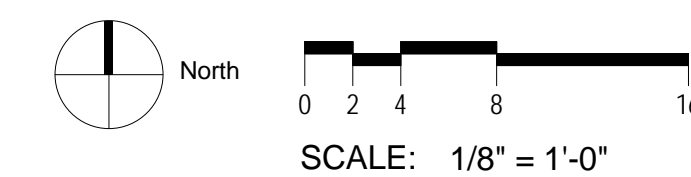
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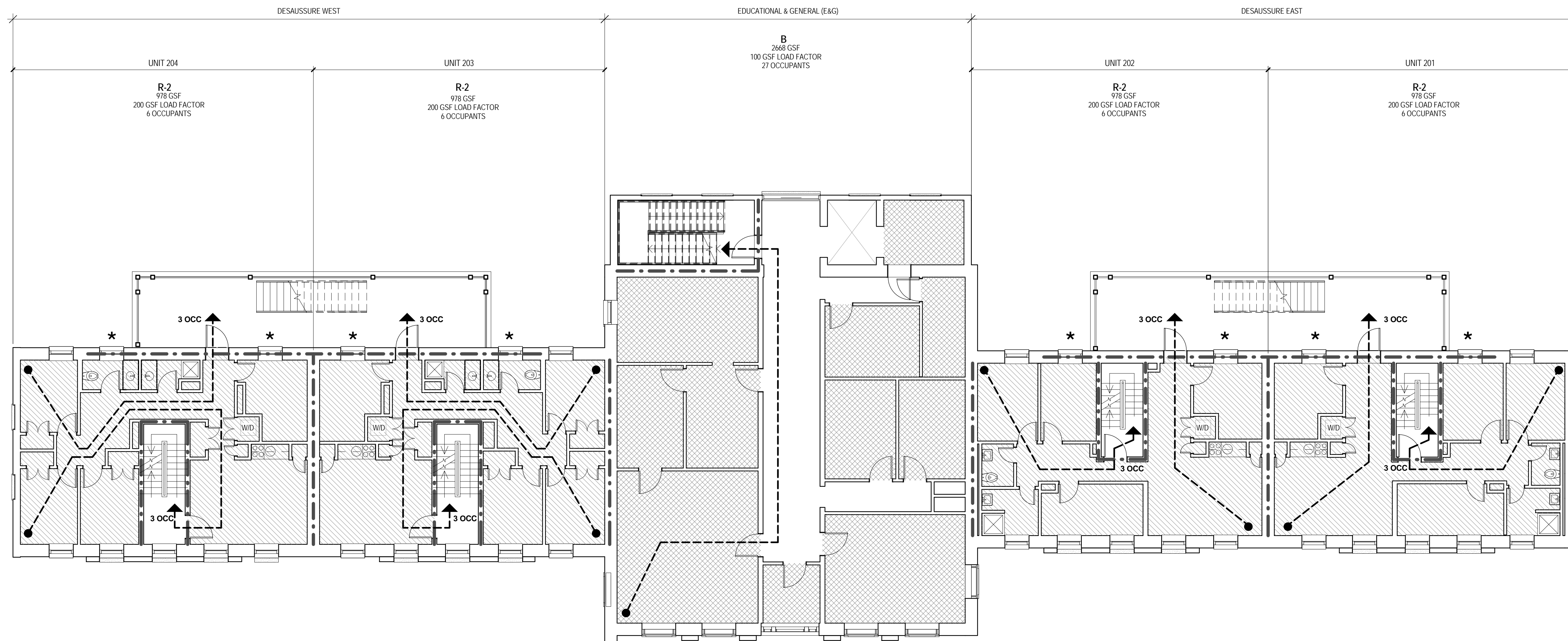
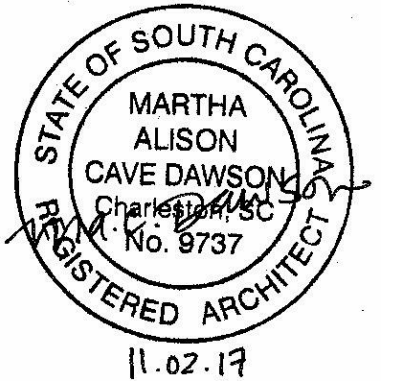
University of South Carolina
DeSaussure Window Replacement and Access Control Project

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G101
LIFE SAFETY PLAN - FIRST FLOOR

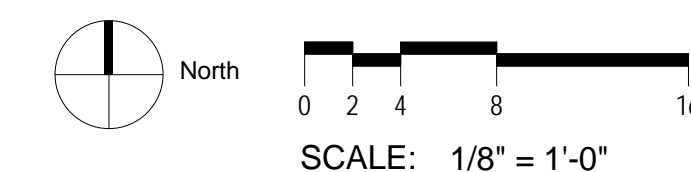




1 LIFE SAFETY PLAN - DESSAUSURE LEVEL 02
G102 SCALE: 1/8" = 1'-0"

LIFE SAFETY PLAN LEGEND

SYMBOLS	---	1 HR RATED WALL (ASSUMED)
	# OCC.	EGRESS OCCUPANT LOAD
	→	PRIMARY EGRESS
	*	FIRE RATED WINDOW (45 MINUTE)
OCCUPANCY TYPES	[Diagonal Lines]	RESIDENTIAL (R-2)
	[Cross-Hatch]	BUSINESS (B)
	[White]	CIRCULATION



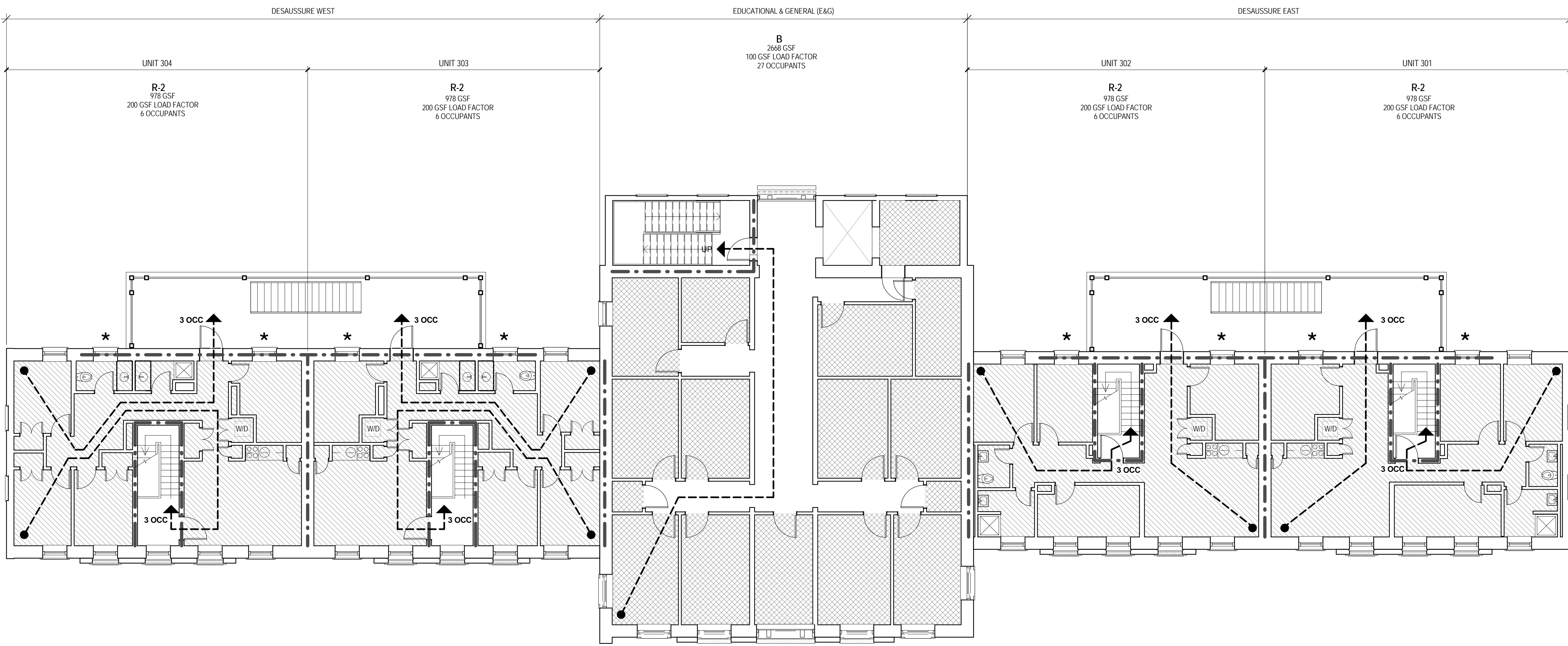
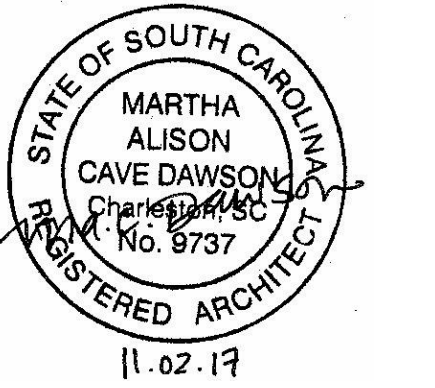
Revision	Date	Description

University of South Carolina
DeSaussure Window Replacement and Access Control Project
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G102 LIFE SAFETY PLAN - SECOND FLOOR



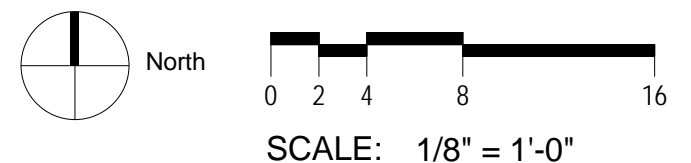
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1 LIFE SAFETY PLAN - DESSAUSURE LEVEL 03
G103 SCALE: 1/8" = 1'-0"

LIFE SAFETY PLAN LEGEND

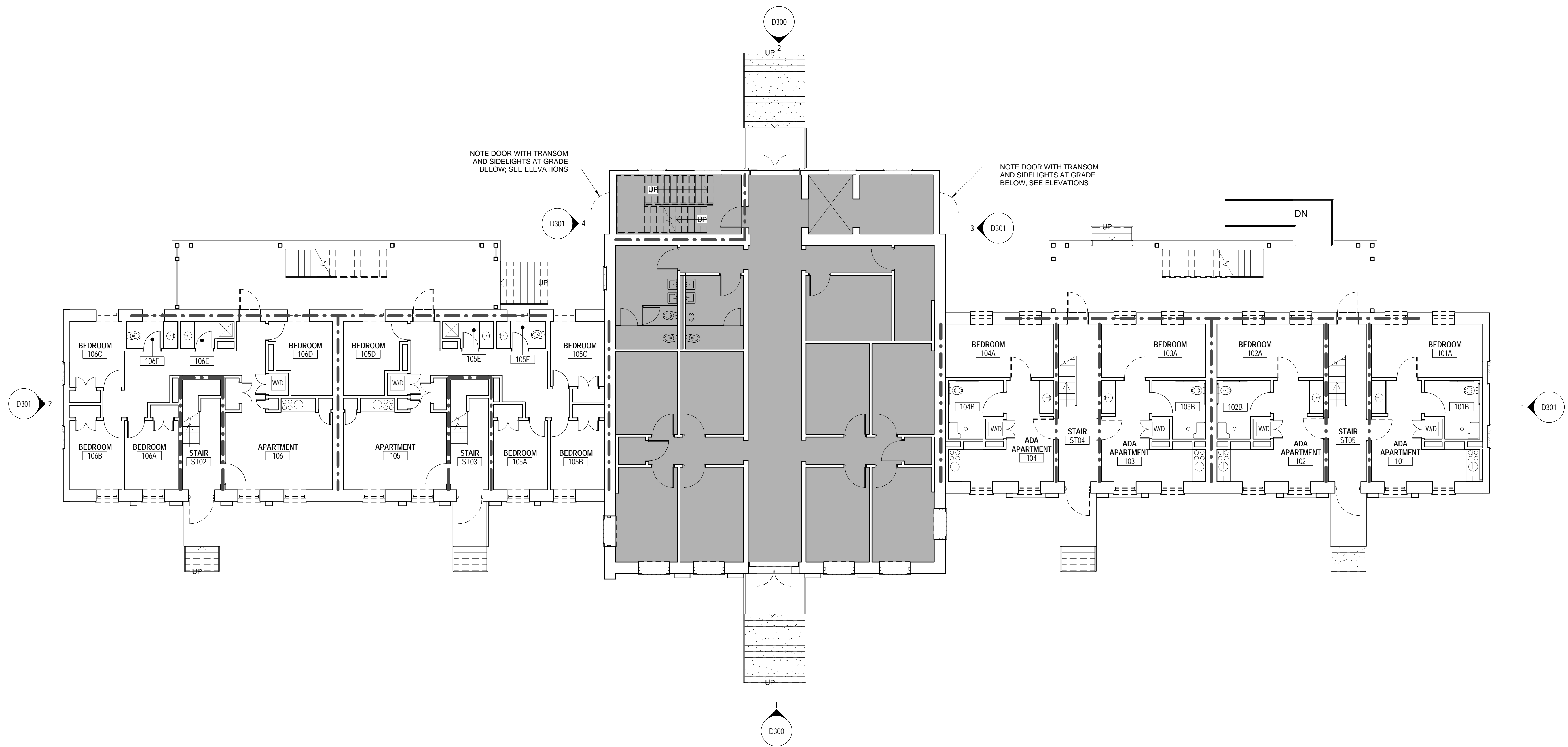
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- 1 HR RATED WALL (ASSUMED)
 - # OCC. EGRESS OCCUPANT LOAD
 - PRIMARY EGRESS
 - FIRE RATED WINDOW (45 MINUTE)
- OCCUPANCY TYPES**
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 - BUSINESS (B)
 - CIRCULATION



Revision	Date	Description

University of South Carolina
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G103 LIFE SAFETY PLAN - THIRD FLOOR



NOTE DOOR WITH TRANSOM AND SIDELIGHTS AT GRADE BELOW; SEE ELEVATIONS

NOTE DOOR WITH TRANSOM AND SIDELIGHTS AT GRADE BELOW; SEE ELEVATIONS

NOTE 1: ALL EXTERIOR WINDOWS, DOORS AND FRAMES TO BE REMOVED; TYP.
NOTE 2: INFILLED WINDOWS TO REMAIN; TYP. (N.I.C.)

Revision Date Description

Revision Date	Description

University of South Carolina

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D101 DEMOLITION PLAN - FIRST FLOOR

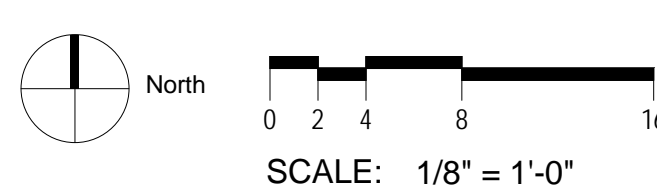
1 DEMO - DESSAUSURE LEVEL 01
D101 SCALE: 1/8" = 1'-0"

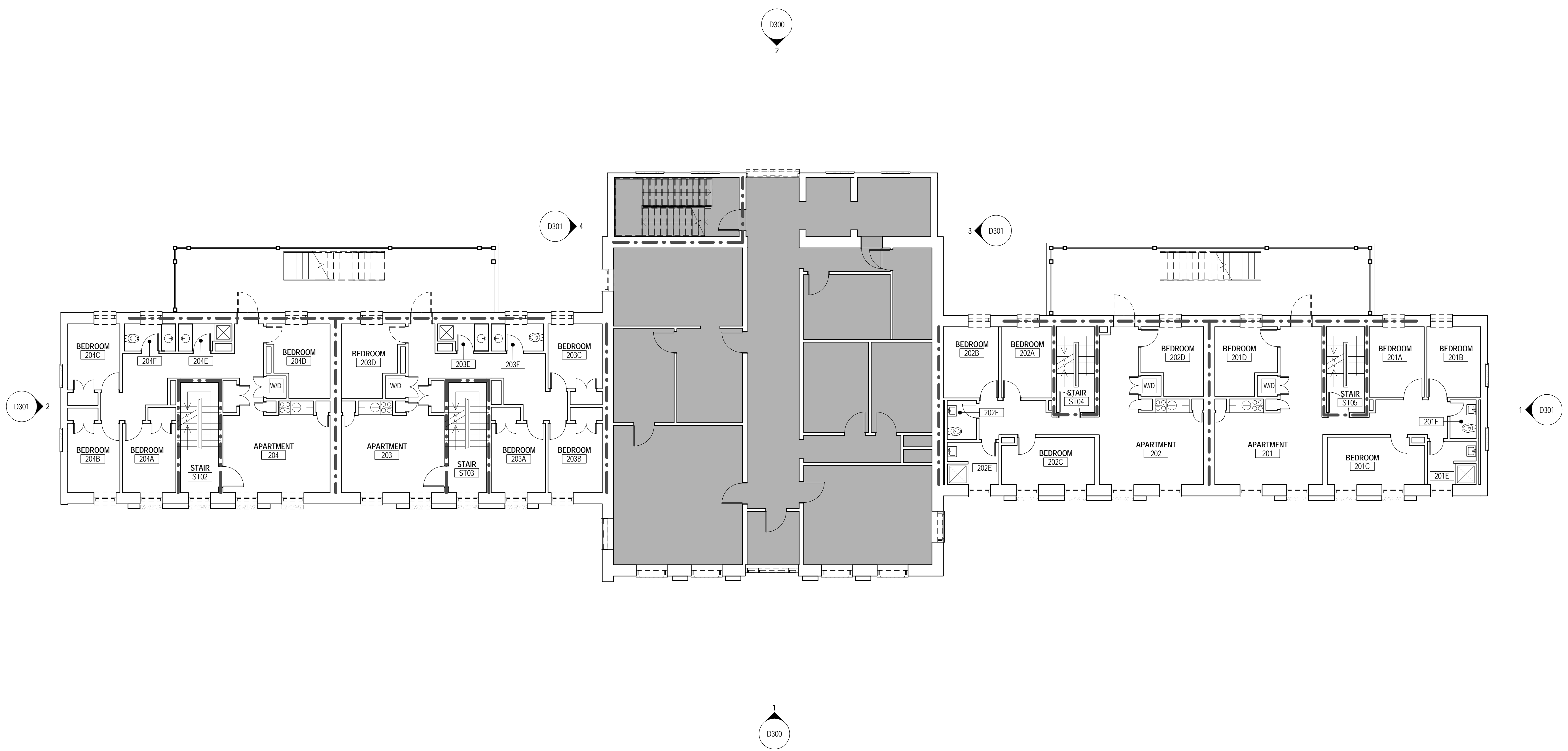
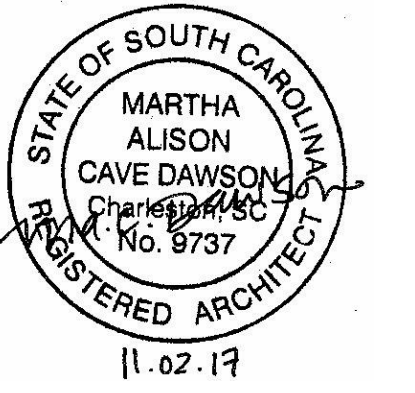
GENERAL DEMOLITION NOTES

- A REMOVE INTERIOR SECURITY SCREENS FROM WINDOWS WHERE APPLICABLE. CLEAN, REPAIR AND STORE FOR RE-INSTALLATION
- B REMOVE ALL DOORS SHOWN DASHED; INTERIOR DOOR FRAMES TO REMAIN
- C CAREFULLY REMOVE ALL WINDOWS SHOWN DASHED. PROTECT EXTERIOR STUCCO FROM DAMAGE. SEE WINDOW DETAILS FOR EXTENT OF REMOVAL OF WINDOW AND SURROUNDING BLOCKING, TYP.
- D ALL OPENINGS WHERE WINDOWS AND DOORS ARE REMOVED SHALL BE CLEANED AND PREPPED TO RECEIVE NEW BUILDING MATERIALS.
- E OPENINGS SHALL BE COVERED, SECURED AND WATERPROOFED AT ALL TIMES WHEN CONSTRUCTION CREWS ARE NOT PRESENT.
- F STUCCO HEADERS AND SILLS TO REMAIN. CUT AND PATCH TO MATCH EXISTING AS REQUIRED FOR WINDOW INSTALLATION.

FLOOR PLAN LEGEND

- PARTITIONS
- EXISTING CONSTRUCTION TO REMAIN
 - EXISTING CONSTRUCTION TO BE DEMOLISHED
 - 1-HOUR RATED PARTITION (ASSUMED)
 - AREA NOT IN CONTRACT (NIC)





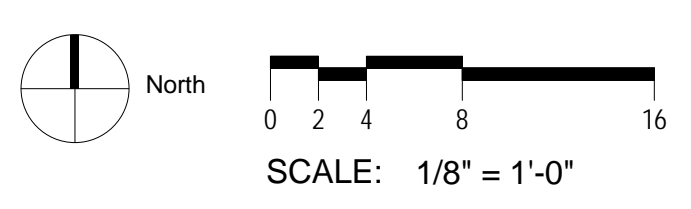
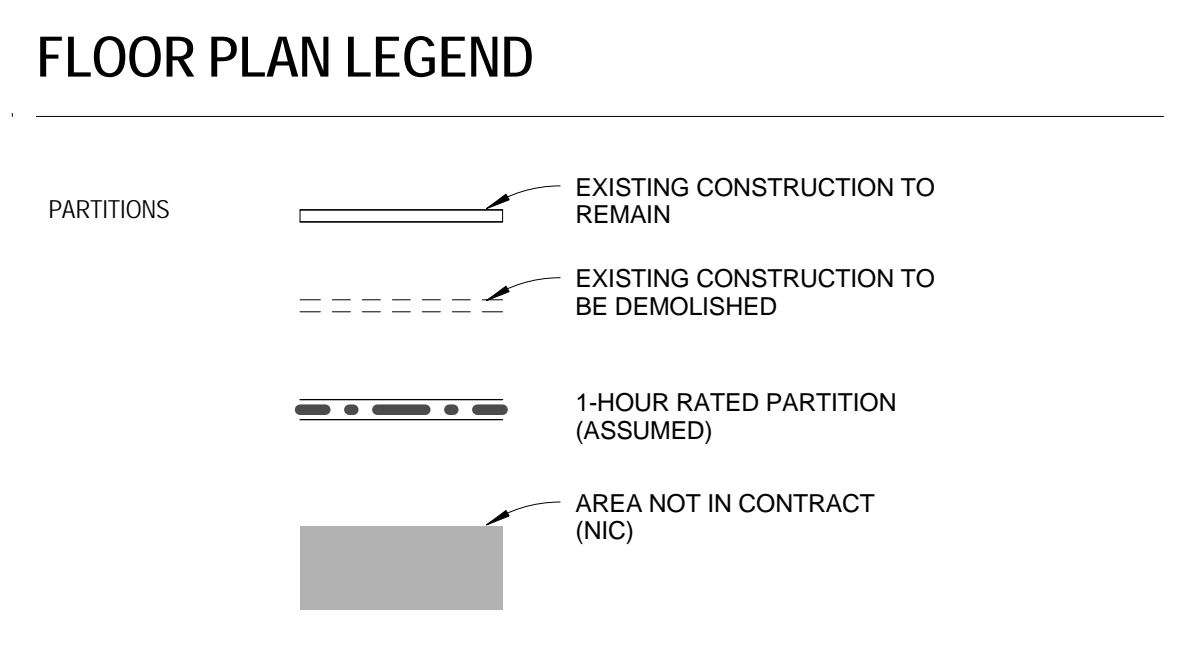
NOTE 1: ALL EXTERIOR WINDOWS, DOORS AND FRAMES TO BE REMOVED; TYP.
NOTE 2: INFILLED WINDOWS TO REMAIN; TYP. (N.I.C.)

1 DEMO - DESSAUSURE LEVEL 02
D102 SCALE: 1/8" = 1'-0"

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- GENERAL DEMOLITION NOTES**
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 - B REMOVE ALL DOORS SHOWN DASHED; INTERIOR DOOR FRAMES TO REMAIN
 - C CAREFULLY REMOVE ALL WINDOWS SHOWN DASHED. PROTECT EXTERIOR STUCCO FROM DAMAGE. SEE WINDOW DETAILS FOR EXTENT OF REMOVAL OF WINDOW AND SURROUNDING BLOCKING, TYP.
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 - F STUCCO HEADERS AND SILLS TO REMAIN. CUT AND PATCH TO MATCH EXISTING AS REQUIRED FOR WINDOW INSTALLATION.

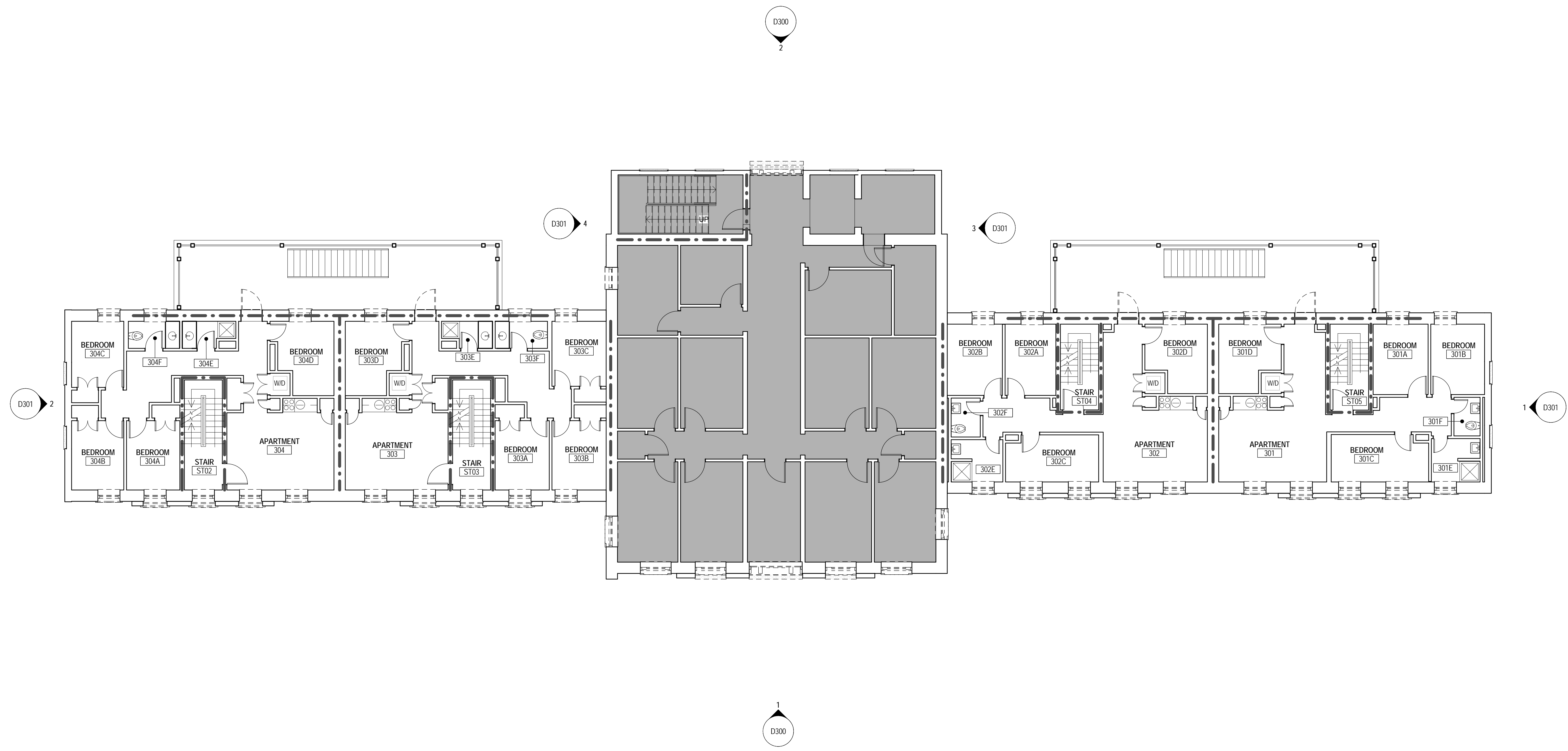
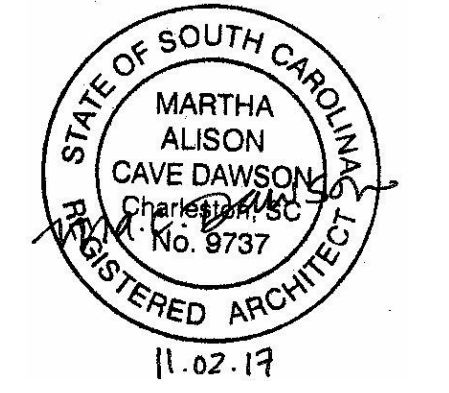


D102 DEMOLITION PLAN - SECOND FLOOR



147 Wappoo Creek Drive
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P 843.762.2222



NOTE 1: ALL EXTERIOR WINDOWS, DOORS AND FRAMES TO BE REMOVED; TYP.
NOTE 2: INFILLED WINDOWS TO REMAIN; TYP. (N.I.C.)

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902 Sumter Street
Columbia, SC 29208
State Project Number: H27-Z323
Project Number: 17402
Checked By: JMW
Drawn By: ACD
Date: 11/02/2017
Scale: 1/8" = 1'-0"

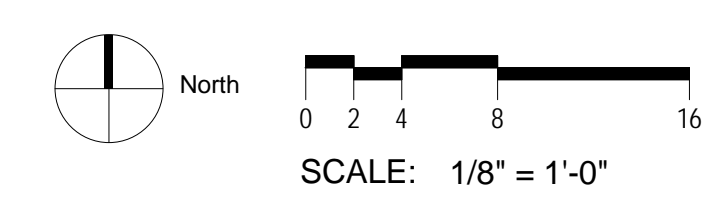
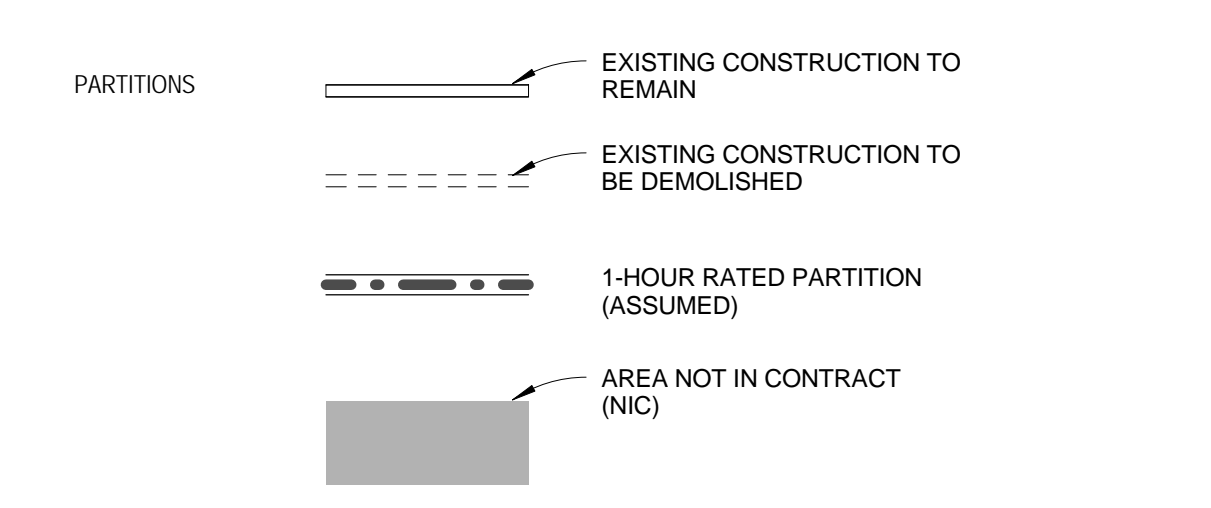
D103 DEMOLITION PLAN - THIRD FLOOR

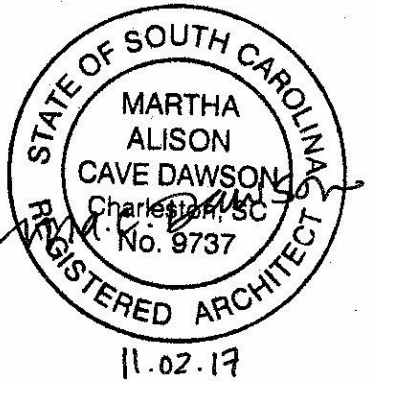
1 DEMO - DESSAUSURE LEVEL 03
D103 SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES

- A REMOVE INTERIOR SECURITY SCREENS FROM WINDOWS WHERE APPLICABLE. CLEAN, REPAIR AND STORE FOR RE-INSTALLATION
- B REMOVE ALL DOORS SHOWN DASHED; INTERIOR DOOR FRAMES TO REMAIN
- C CAREFULLY REMOVE ALL WINDOWS SHOWN DASHED. PROTECT EXTERIOR STUCCO FROM DAMAGE. SEE WINDOW DETAILS FOR EXTENT OF REMOVAL OF WINDOW AND SURROUNDING BLOCKING, TYP.
- D ALL OPENINGS WHERE WINDOWS AND DOORS ARE REMOVED SHALL BE CLEANED AND PREPPED TO RECEIVE NEW BUILDING MATERIALS.
- E OPENINGS SHALL BE COVERED, SECURED AND WATERPROOFED AT ALL TIMES WHEN CONSTRUCTION CREWS ARE NOT PRESENT.
- F STUCCO HEADERS AND SILLS TO REMAIN. CUT AND PATCH TO MATCH EXISTING AS REQUIRED FOR WINDOW INSTALLATION.

FLOOR PLAN LEGEND

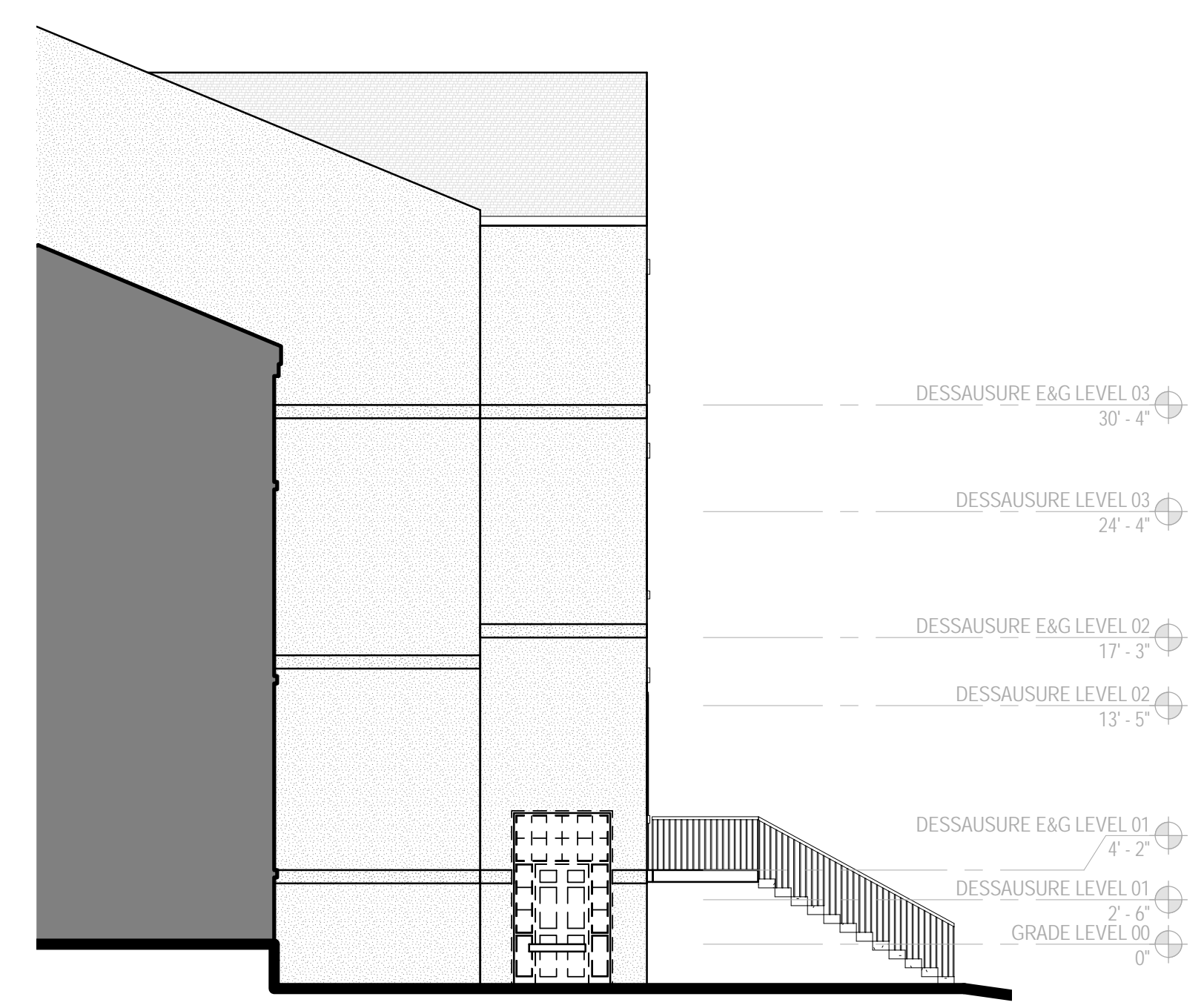




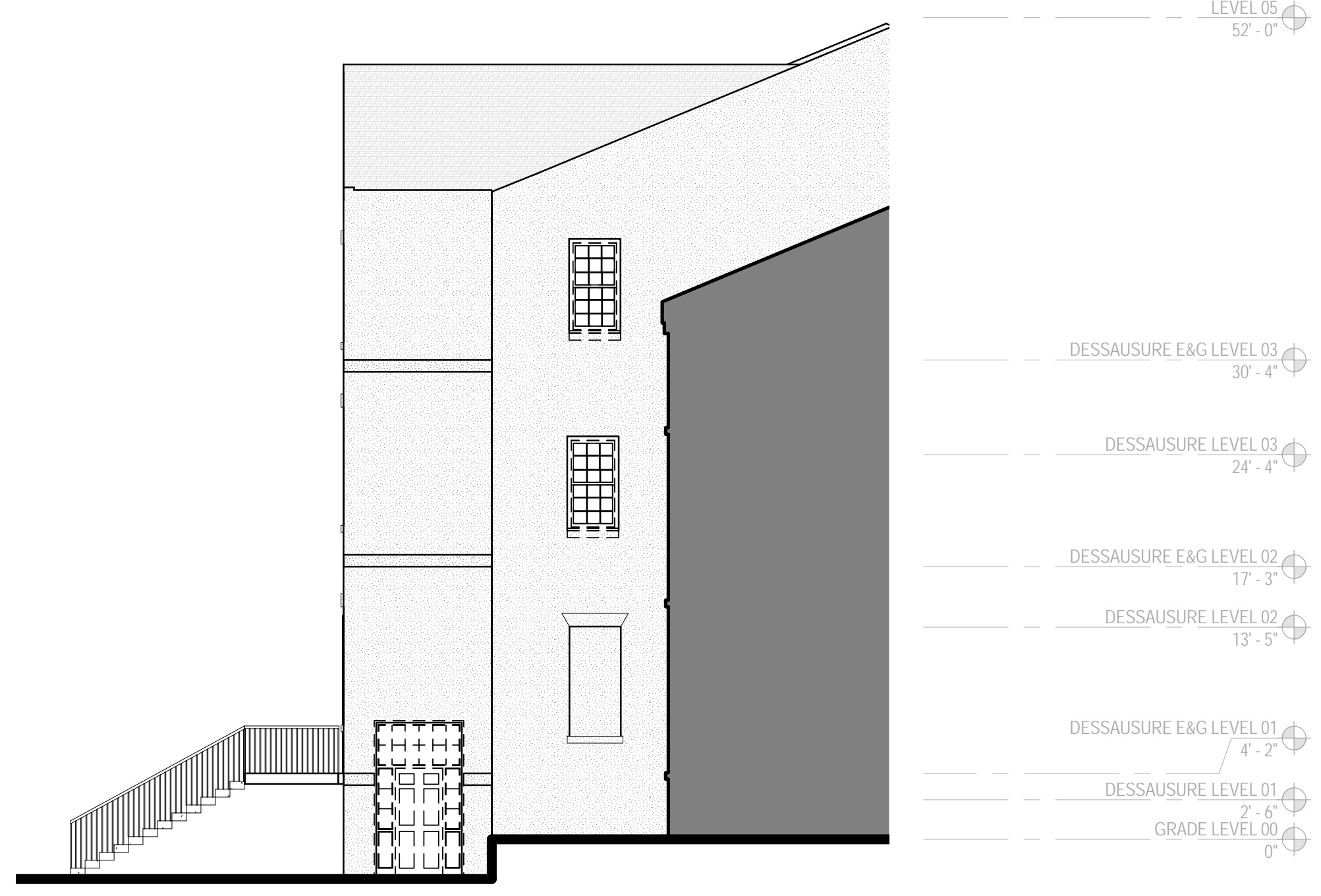
1 ELEVATION - EAST DEMO
D301 SCALE: 1/8" = 1'-0"



2 ELEVATION - WEST DEMO
D301 SCALE: 1/8" = 1'-0"



3 EAST DEMO - E&G
D301 SCALE: 1/8" = 1'-0"



4 WEST DEMO - E&G
D301 SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES

- A REMOVE INTERIOR SECURITY SCREENS FROM WINDOWS WHERE APPLICABLE. CLEAN, REPAIR AND STORE FOR RE-INSTALLATION
- B REMOVE ALL DOORS SHOWN DASHED; INTERIOR DOOR FRAMES TO REMAIN
- C CAREFULLY REMOVE ALL WINDOWS SHOWN DASHED. PROTECT EXTERIOR STUCCO FROM DAMAGE. SEE WINDOW DETAILS FOR EXTENT OF REMOVAL OF WINDOW AND SURROUNDING BLOCKING, TYP.
- D ALL OPENINGS WHERE WINDOWS AND DOORS ARE REMOVED SHALL BE CLEANED AND PREPPED TO RECEIVE NEW BUILDING MATERIALS.
- E OPENINGS SHALL BE COVERED, SECURED AND WATERPROOFED AT ALL TIMES WHEN CONSTRUCTION CREWS ARE NOT PRESENT.
- F STUCCO HEADERS AND SILLS TO REMAIN. CUT AND PATCH TO MATCH EXISTING AS REQUIRED FOR WINDOW INSTALLATION.

NOTE 1: ALL EXTERIOR WINDOWS, DOORS AND FRAMES TO BE REMOVED; TYP.
NOTE 2: INFILLED WINDOWS TO REMAIN; TYP. (N.I.C.)

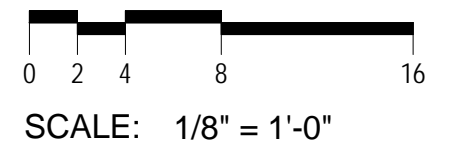
Revision	Date	Description

University of South Carolina

DeSaussure Window Replacement and Access Control Project

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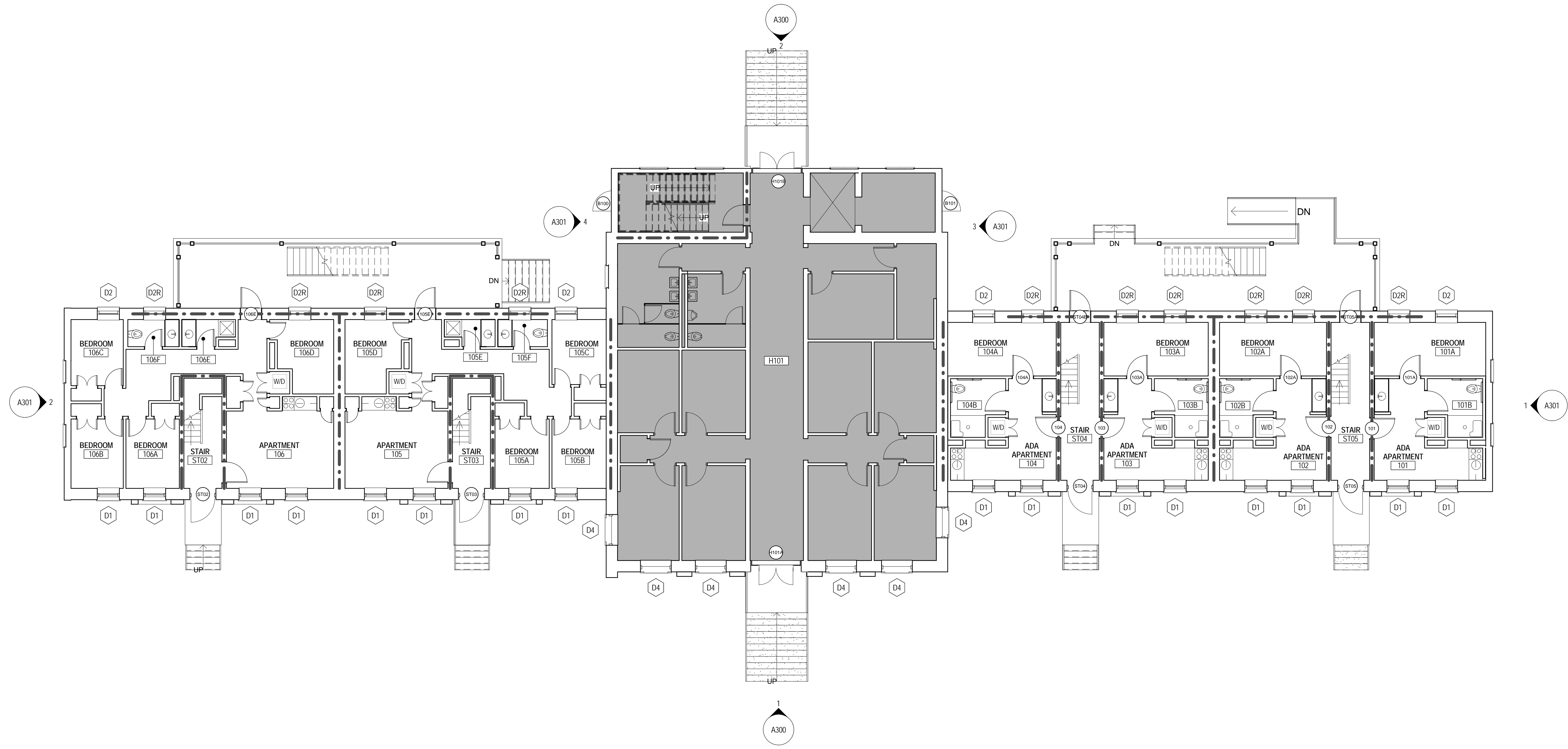
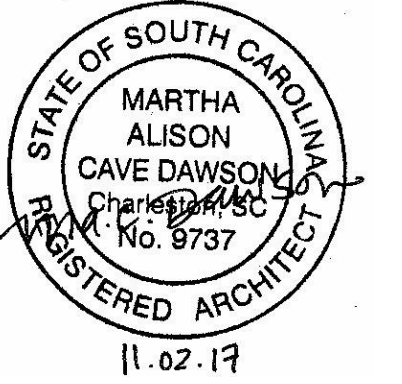
State Project Number:	H27-Z323
Project Number:	17402
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Drawn By:	ACD
Date:	11/02/2017
Scale:	1/8" = 1'-0"



D301
DEMOLITION
ELEVATIONS



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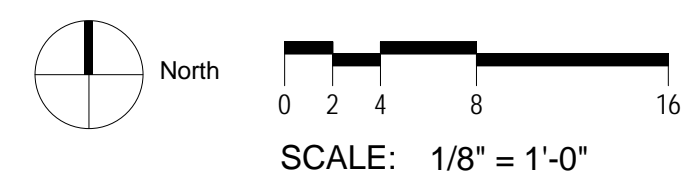
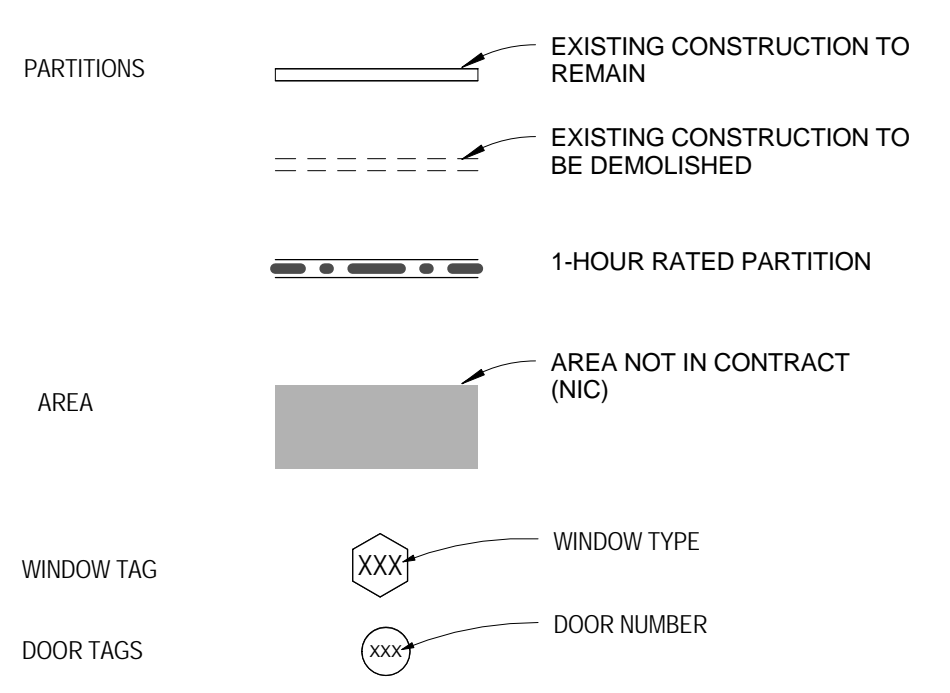
1 DESSAUSURE LEVEL 01
SCALE: 1/8" = 1'-0"

Revision	Date	Description

GENERAL NOTES

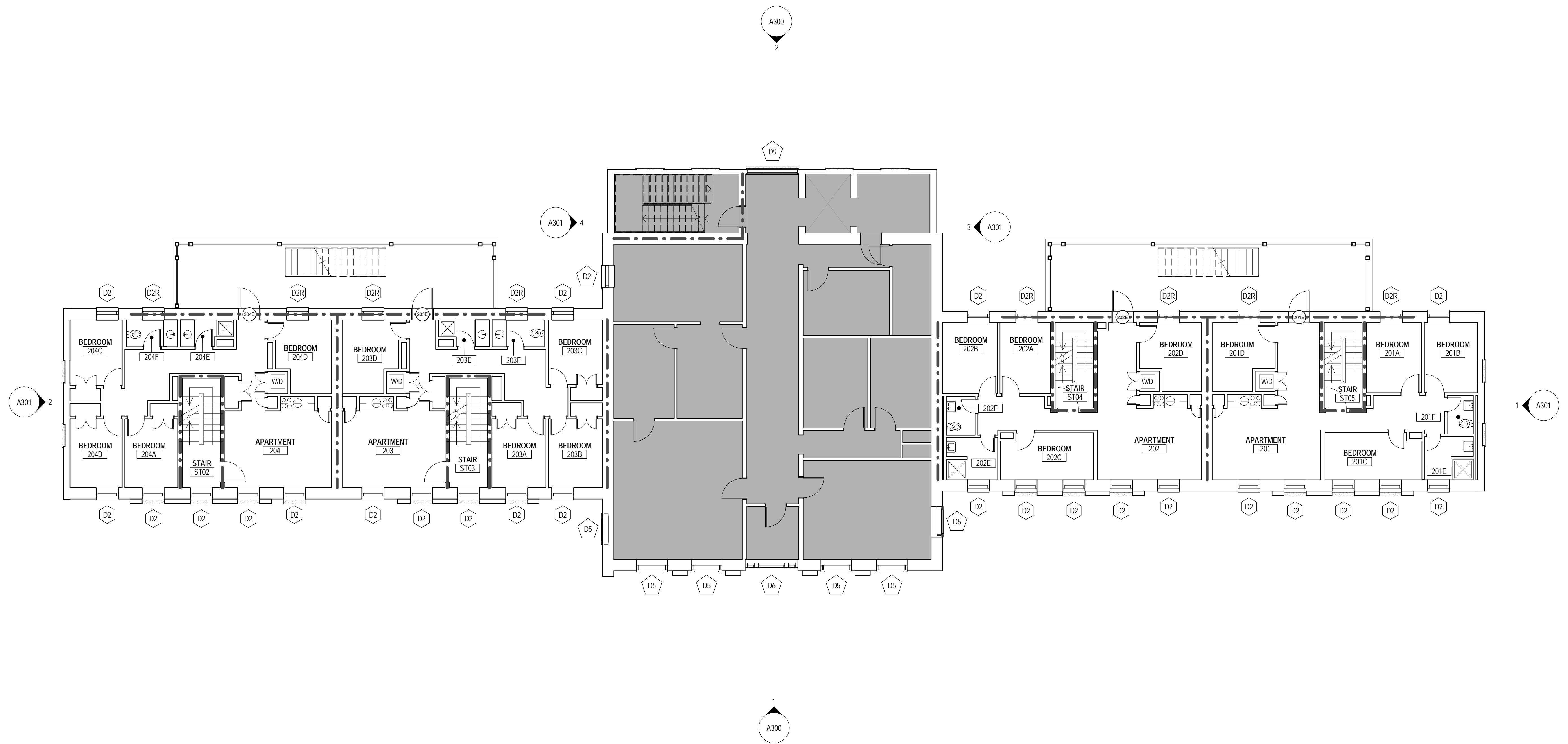
- A REFER TO COVER SHEET G000 ADDITIONAL NOTES, SYMBOLS AND SCHEDULES.
- B SECURITY SCREENS TO BE RE-INSTALLED AT INTERIOR SIDE OF WINDOW WHERE PREVIOUSLY REMOVED. INSTALL SECURITY SCREEN IN THE SAME OPENING WHERE PREVIOUSLY REMOVED.
- C NEW DOORS TO BE INSTALLED IN EXISTING DOOR FRAMES AT ALL INTERIOR LOCATIONS.
- D CUT AND PATCH FINISHES AROUND WINDOWS AND DOORS TO MATCH EXISTING AS REQUIRED.
- E MULTIPLE STUCCO FINISHES MAY BE PRESENT
- F SEE A6XX SHEETS FOR DOOR / WINDOW SCHEDULES, TYPES AND DETAILS.

FLOOR PLAN LEGEND



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DeSaussure Window Replacement and Access Control Project
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 Drawn By: ACD
 Date: 11/02/2017
 Scale: 1/8" = 1'-0"

A101 FLOOR PLAN - FIRST FLOOR

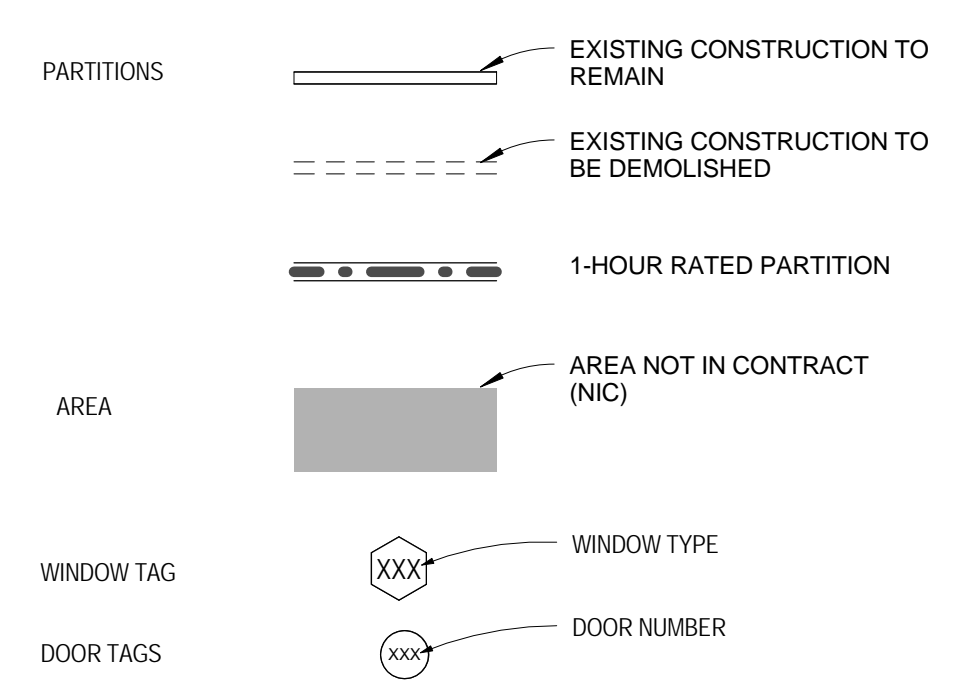


1 DESSAUSURE LEVEL 02
A102 SCALE: 1/8" = 1'-0"

GENERAL NOTES

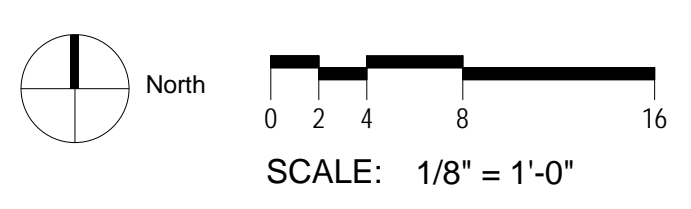
- A REFER TO COVER SHEET G000 ADDITIONAL NOTES, SYMBOLS AND SCHEDULES.
- B SECURITY SCREENS TO BE RE-INSTALLED AT INTERIOR SIDE OF WINDOW WHERE PREVIOUSLY REMOVED. INSTALL SECURITY SCREEN IN THE SAME OPENING WHERE PREVIOUSLY REMOVED.
- C NEW DOORS TO BE INSTALLED IN EXISTING DOOR FRAMES AT ALL INTERIOR LOCATIONS.
- D CUT AND PATCH FINISHES AROUND WINDOWS AND DOORS TO MATCH EXISTING AS REQUIRED.
- E MULTIPLE STUCCO FINISHES MAY BE PRESENT
- F SEE A6XX SHEETS FOR DOOR / WINDOW SCHEDULES, TYPES AND DETAILS.

FLOOR PLAN LEGEND



Revision Date	Description

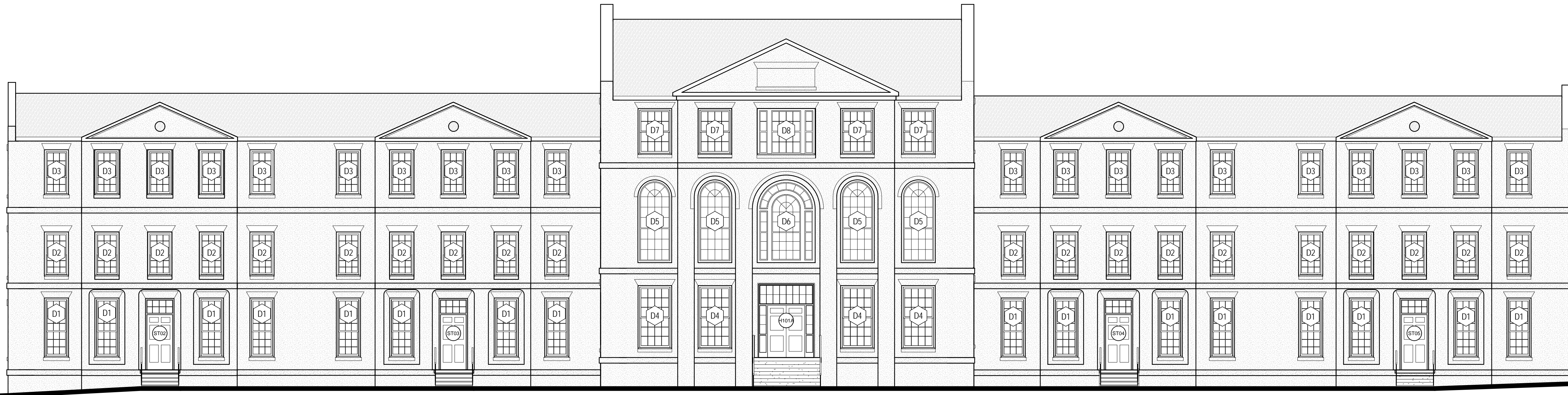
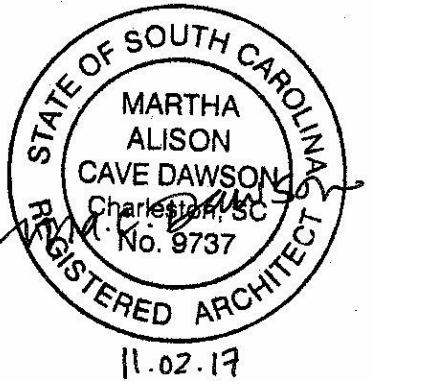
University of South Carolina
DeSaussure Window Replacement and Access Control Project
902 Sumter Street
Columbia, SC 29208
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Checked By: JMW
Drawn By: ACD
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Scale: 1/8" = 1'-0"



A102 FLOOR PLAN - SECOND FLOOR

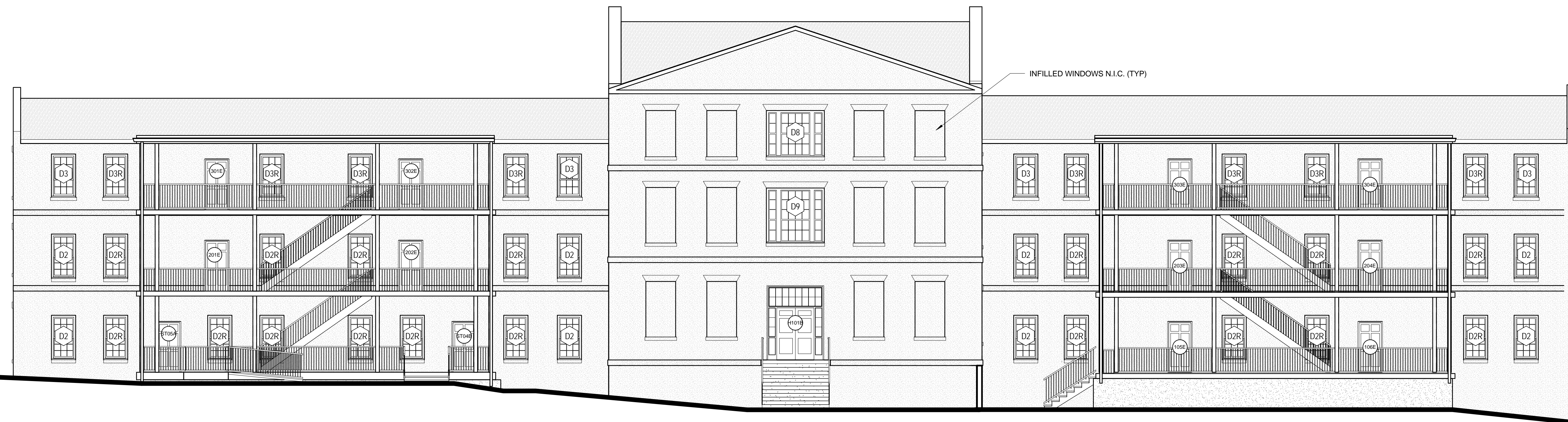


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DESSAUSURE LEVEL 04 33'-3"
DESSAUSURE E&G LEVEL 03 30'-4"
DESSAUSURE LEVEL 03 24'-4"
DESSAUSURE E&G LEVEL 02 17'-3"
DESSAUSURE LEVEL 02 13'-5"
DESSAUSURE E&G LEVEL 01 4'-2"
DESSAUSURE LEVEL 01 2'-6"
GRADE LEVEL 00 0'

1 ELEVATION - SOUTH
A300 SCALE: 1/8" = 1'-0"



LEVEL 05 52'-0"
DESSAUSURE E&G LEVEL 04 40'-5"
DESSAUSURE LEVEL 04 33'-3"
DESSAUSURE E&G LEVEL 03 30'-4"
DESSAUSURE LEVEL 03 24'-4"
DESSAUSURE E&G LEVEL 02 17'-3"
DESSAUSURE LEVEL 02 13'-5"
DESSAUSURE E&G LEVEL 01 4'-2"
DESSAUSURE LEVEL 01 2'-6"
GRADE LEVEL 00 0'

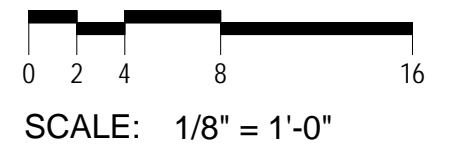
2 ELEVATION - NORTH
A300 SCALE: 1/8" = 1'-0"

Revision Date	Description

University of South Carolina
DeSaussure Window Replacement and Access Control Project
902 Sumter Street
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Drawn By: ACD
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GENERAL ELEVATION NOTES

- A REFER TO SHEET G000 FOR ADDITIONAL NOTES, SYMBOLS AND SCHEDULES.
- B PATCH STUCCO DAMAGED BY CONSTRUCTION ACTIVITIES WITH COMPATIBLE MIXES. PERFORM MATERIAL TESTS TO DETERMINE MIX RATIOS.
- C MULTIPLE STUCCO FINISHES MAY BE PRESENT
- D SEE WINDOW/DOOR SCHEDULES, TYPES AND DETAIL ON A6XX SHEETS

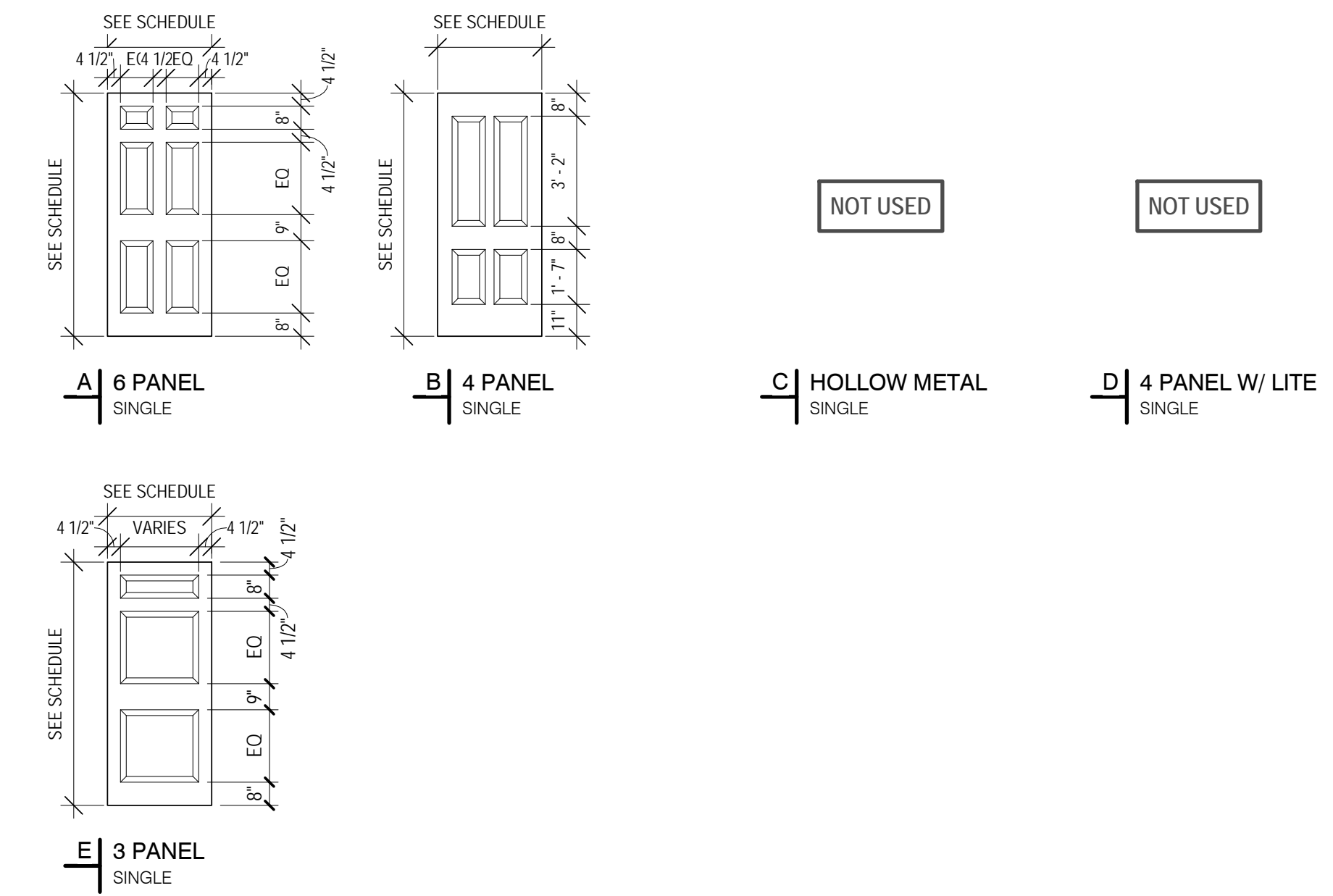


A300 BUILDING ELEVATIONS

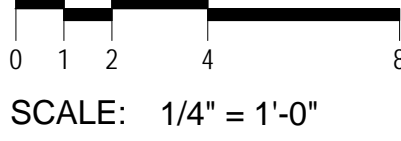
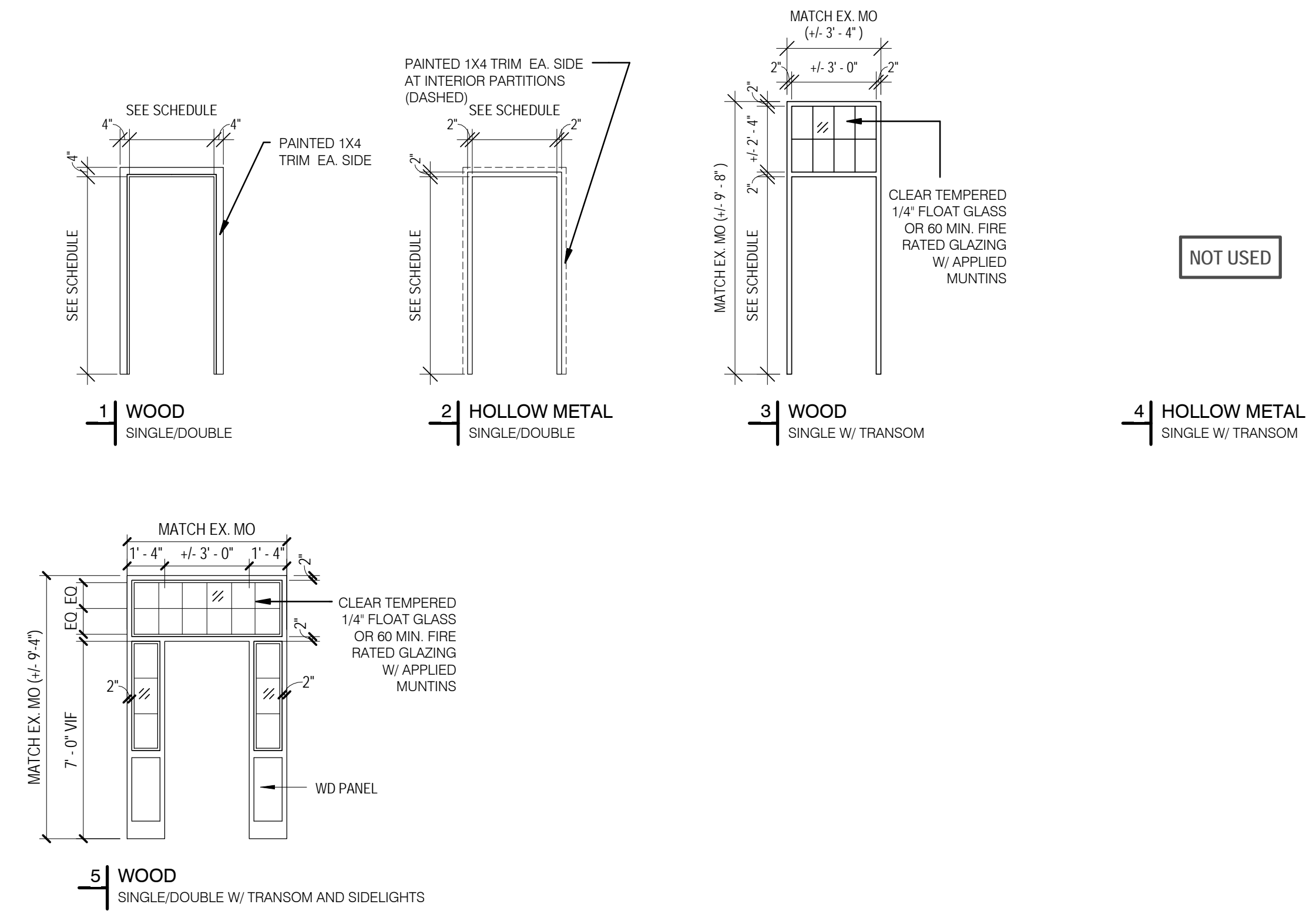
SCHEDULE - DOOR AND FRAME															
Mark	Type	Door				Frame						Fire Rating	Comments	DOOR HIDE	
		Material	Finish	Width	Height	Thickness	Type	Material	Head	Jamb	Sill				
101	A	WD	PT-1	3'-0"	6'-8"	1 3/4"	2 - EXISTING	HM					60 MIN	ADA APARTMENT	
101A	A			3'-0"	6'-8"	1 3/4"	1 - EXISTING	WD						ADA APARTMENT	
102	A			3'-0"	6'-8"	1 3/4"	2 - EXISTING	HM					60 MIN	ADA APARTMENT	
102A	A			3'-0"	6'-8"	1 3/4"	1 - EXISTING	WD						ADA APARTMENT	
103	A			3'-0"	6'-8"	1 3/4"	2 - EXISTING	HM					60 MIN	ADA APARTMENT	
103A	A			3'-0"	6'-8"	1 3/4"	1 - EXISTING	WD						ADA APARTMENT	
104	A			3'-0"	6'-8"	1 3/4"	2 - EXISTING	HM					60 MIN	ADA APARTMENT	
104A	A			3'-0"	6'-8"	1 3/4"	1 - EXISTING	WD						ADA APARTMENT	
105E	A			3'-0"	6'-8"	1 3/4"	2	HM	H2/A602	J2/A602	S1/A602	60 MIN	MATCH MASONRY OPENING		
106E	A			3'-0"	6'-8"	1 3/4"	2	HM	H2/A602	J2/A602	S1/A602	60 MIN	MATCH MASONRY OPENING		
201E	A			3'-0"	6'-8"	1 3/4"	2	HM	H2/A602	J2/A602	S1/A602	60 MIN	MATCH MASONRY OPENING		
202E	A			3'-0"	6'-8"	1 3/4"	2	HM	H2/A602	J2/A602	S1/A602	60 MIN	MATCH MASONRY OPENING		
203E	A			3'-0"	6'-8"	1 3/4"	2	HM	H2/A602	J2/A602	S1/A602	60 MIN	MATCH MASONRY OPENING		
204E	A			3'-0"	6'-8"	1 3/4"	2	HM	H2/A602	J2/A602	S1/A602	60 MIN	MATCH MASONRY OPENING		
301E	A			3'-0"	6'-8"	1 3/4"	2	HM	H2/A602	J2/A602	S1/A602	60 MIN	MATCH MASONRY OPENING		
302E	A			3'-0"	6'-8"	1 3/4"	2	HM	H2/A602	J2/A602	S1/A602	60 MIN	MATCH MASONRY OPENING		
303E	A			3'-0"	6'-8"	1 3/4"	2	HM	H2/A602	J2/A602	S1/A602	60 MIN	MATCH MASONRY OPENING		
304E	A			3'-0"	6'-8"	1 3/4"	2	HM	H2/A602	J2/A602	S1/A602	60 MIN	MATCH MASONRY OPENING		
B100	A			5'-5"	9'-10 1/2"	1 3/4"	5	WD	H1/A602	J1/A602	S1/A602			MATCH MASONRY OPENING	
B101	A			5'-5"	9'-10 1/2"	1 3/4"	5	WD	H1/A602	J1/A602	S1/A602			MATCH MASONRY OPENING	
H101A	EE			7'-5"	9'-10 1/2"	1 3/4"	5	WD	H1/A602	J1/A602	S1/A602			MATCH MASONRY OPENING	
H101B	EE			7'-5"	9'-10 1/2"	1 3/4"	5	WD	H1/A602	J1/A602	S1/A602			MATCH MASONRY OPENING	
ST02	B			3'-6"	10'-2"	1 3/4"	3	WD	H1/A602	J1/A602	S1/A602			MATCH MASONRY OPENING	
ST03	B			3'-6"	10'-2"	1 3/4"	3	WD	H1/A602	J1/A602	S1/A602			MATCH MASONRY OPENING	
ST04	B			3'-6"	10'-2"	1 3/4"	3	WD	H1/A602	J1/A602	S1/A602			MATCH MASONRY OPENING	
ST04B	A			3'-0"	6'-8"	1 3/4"	2	HM	H2/A602	J2/A602	S1/A602	60 MIN		MATCH MASONRY OPENING / ADA	
ST05	B			3'-6"	10'-2"	1 3/4"	3	WD	H1/A602	J1/A602	S1/A602			MATCH MASONRY OPENING	
ST05A	A			3'-0"	6'-8"	1 3/4"	2	HM	H2/A602	J2/A602	S1/A602	60 MIN		MATCH MASONRY OPENING / ADA	

NOTE 1 : CONTRACTOR TO VERIFY ALL DIMENSIONS

DOOR TYPES: SCALE = 1/4" = 1'-0"

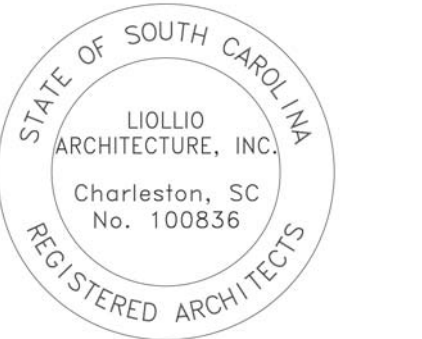
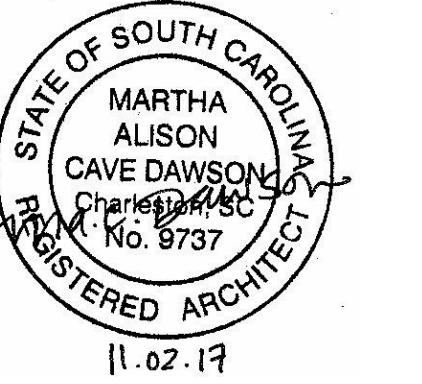


FRAME TYPES: SCALE = 1/4" = 1'-0"



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DeSaussure Window Replacement and Access Control Project

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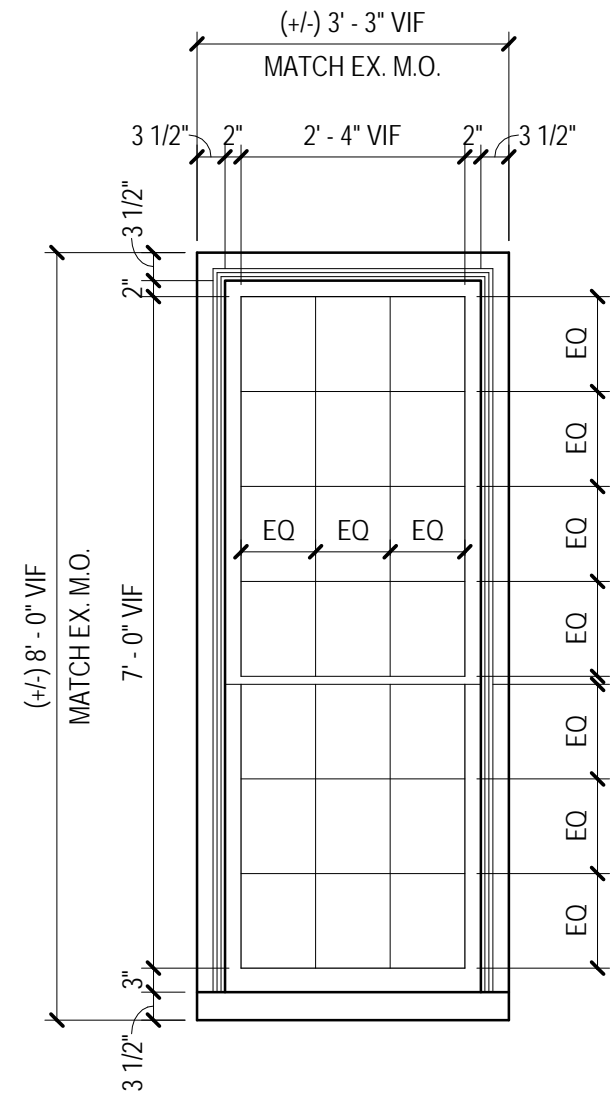
State Project Number:	H27-Z323
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Date:	11/02/2017
Scale:	1/4" = 1'-0"

A600 DOOR SCHEDULE AND TYPES

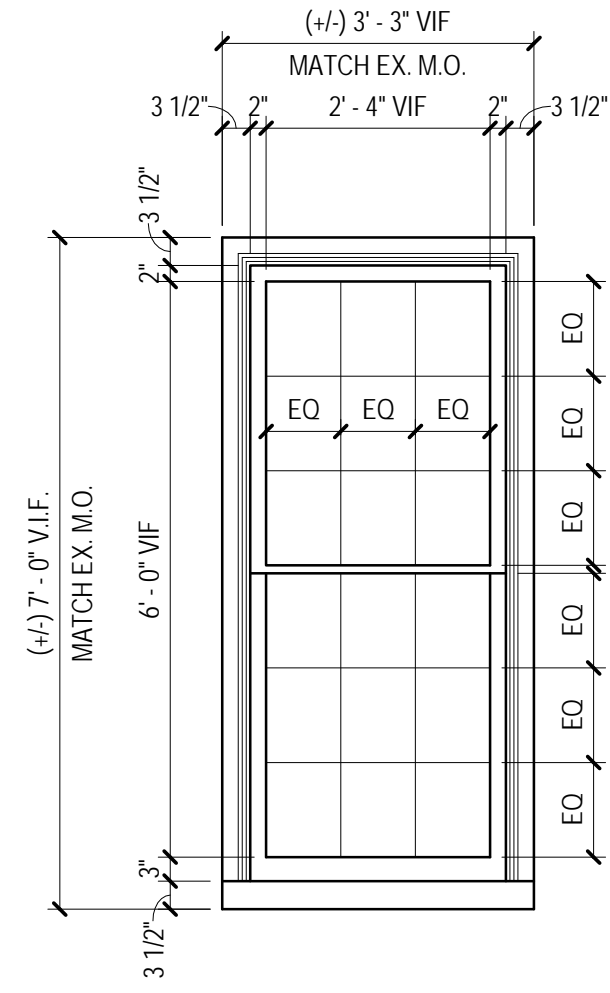
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SCHEDULE - WINDOW						
Type Mark	M.O. Width	M.O. Height	Head Detail	Jamb Detail	Sill Detail	Comments
D1	3' - 3"	8' - 0"	1/A602	1/A602	1/A602	MATCH EXISTING MASONRY OPENING
D2	3' - 3"	7' - 0"	1/A602	1/A602	1/A602	MATCH EXISTING MASONRY OPENING
D2R	3' - 3"	7' - 0"	1/A602	1/A602	1/A602	MATCH EXISTING MASONRY OPENING; RATED STEEL WINDOW
D3	3' - 3"	6' - 0"	1/A602	1/A602	1/A602	MATCH EXISTING MASONRY OPENING
D3R	3' - 3"	6' - 0"	1/A602	1/A602	1/A602	MATCH EXISTING MASONRY OPENING; RATED STEEL WINDOW
D4	3' - 3"	9' - 0"	1/A602	1/A602	1/A602	MATCH EXISTING MASONRY OPENING
D5	4' - 5"	11' - 0"	1/A602	1/A602	1/A602	MATCH EXISTING MASONRY OPENING
D6	7' - 8"	11' - 0"	1/A602	1/A602	1/A602	MATCH EXISTING MASONRY OPENING
D7	4' - 5"	6' - 3 1/2"	1/A602	1/A602	1/A602	MATCH EXISTING MASONRY OPENING
D8	7' - 8"	6' - 3 1/2"	1/A602	1/A602	1/A602	MATCH EXISTING MASONRY OPENING
D9	7' - 6 1/2"	7' - 8"	1/A602	1/A602	1/A602	MATCH EXISTING MASONRY OPENING

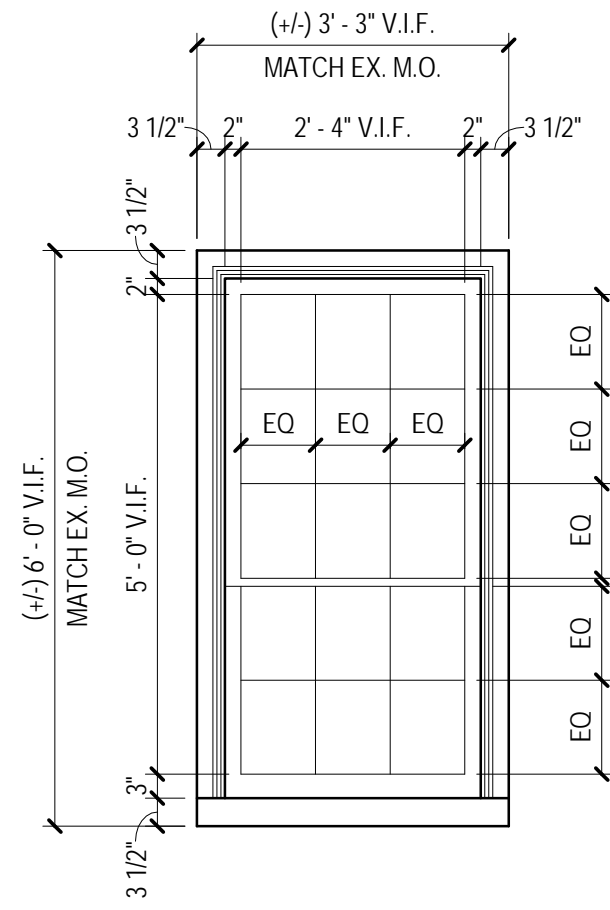
NOTE 1: CONTRACTOR TO VERIFY ALL DIMENSIONS
NOTE 2: PROVIDE HORIZONTAL WINDOW BLINDS AT ALL WINDOWS



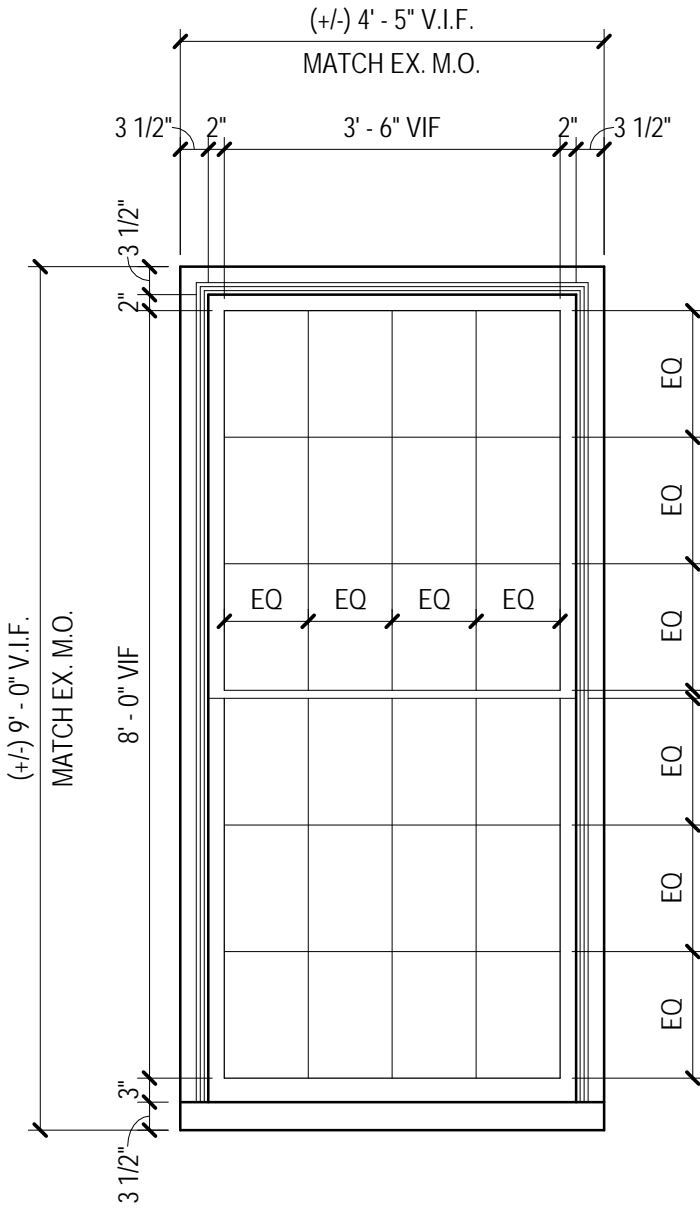
WINDOW TYPE D1



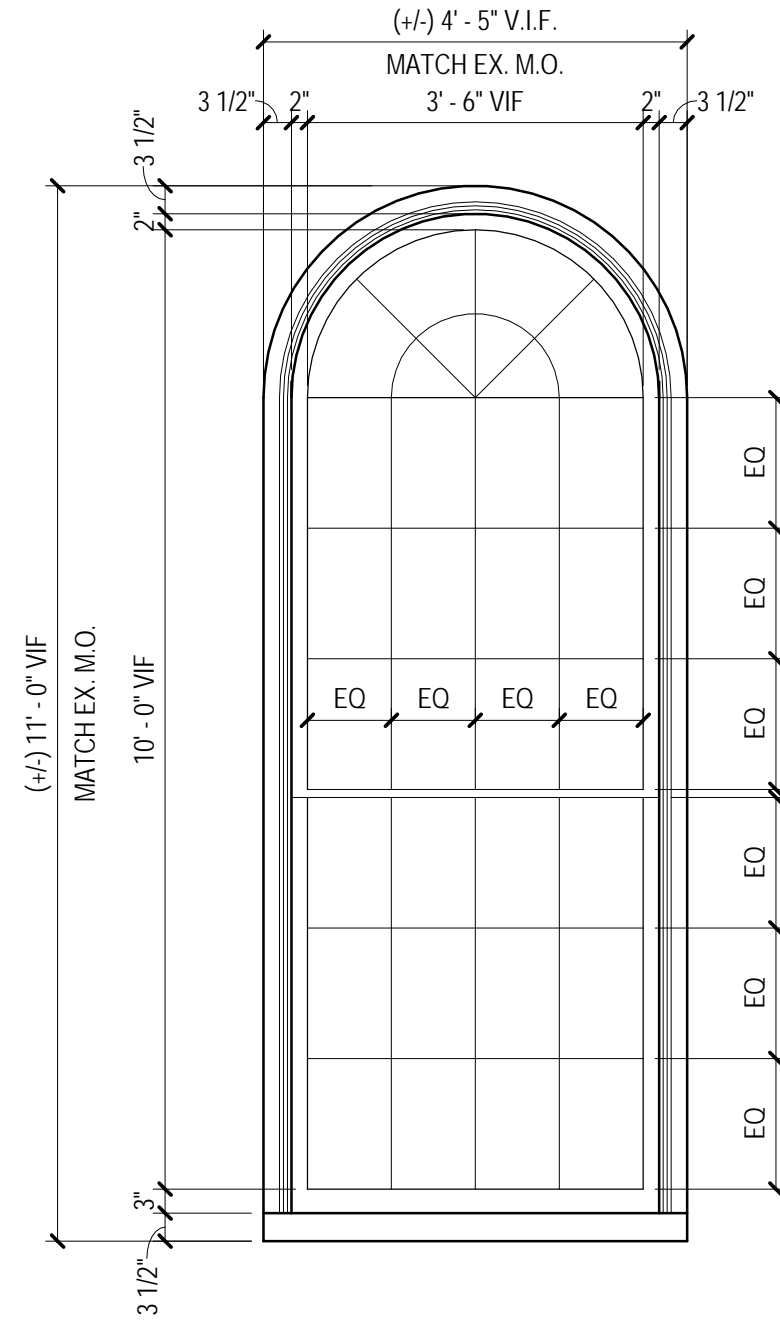
WINDOW TYPE D2 AND D2R
(TYPE D2R IS 45 MIN RATED)



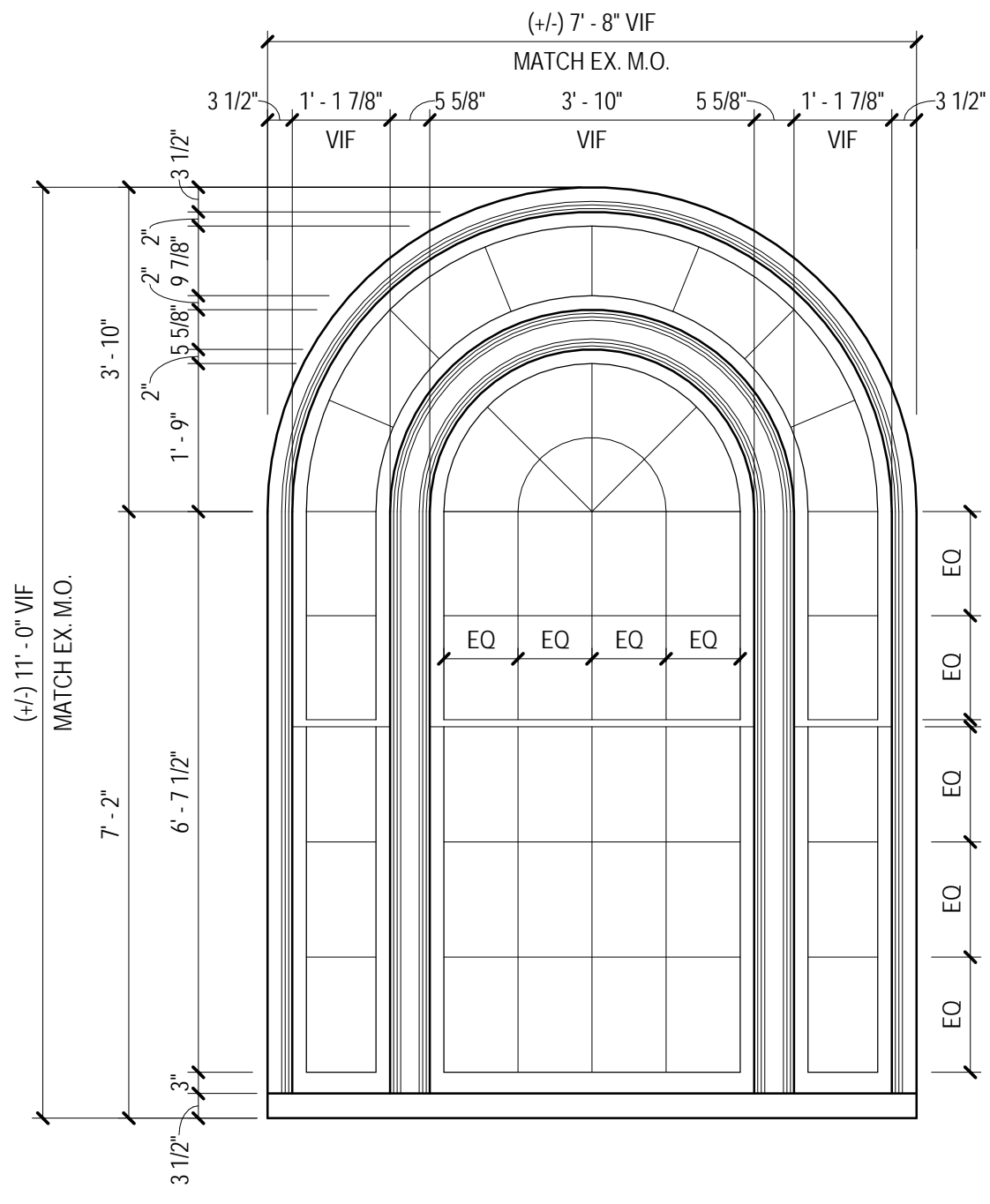
WINDOW TYPE D3 AND D3R
(TYPE D3R IS 45 MIN RATED)



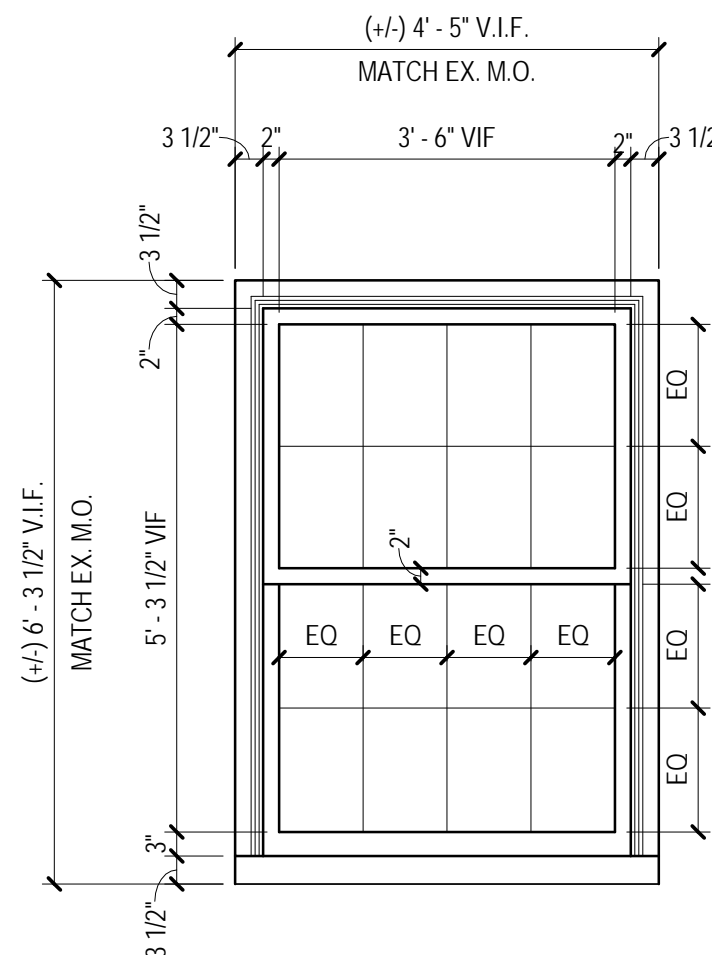
WINDOW TYPE D4



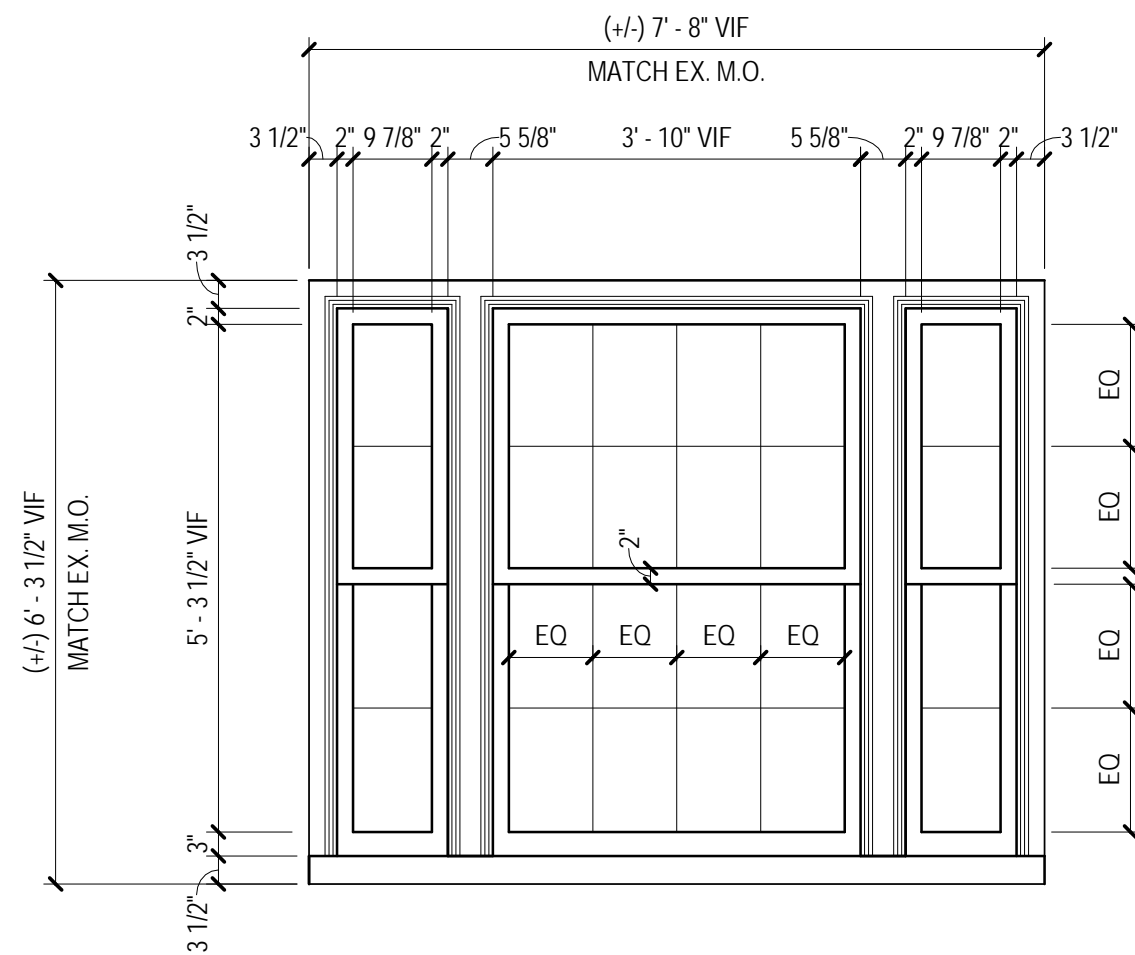
WINDOW TYPE D5



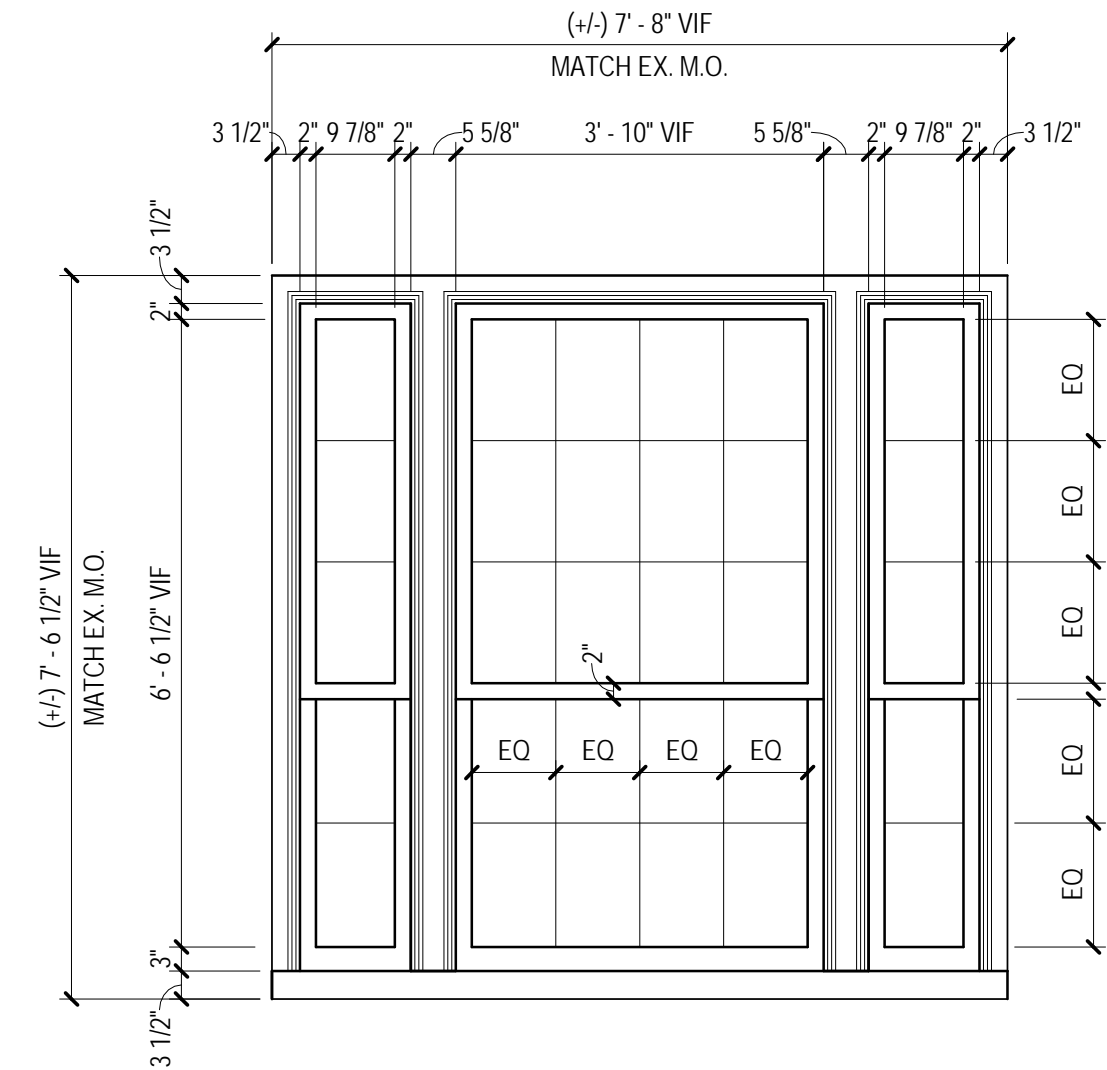
WINDOW TYPE D6



WINDOW TYPE D7



WINDOW TYPE D8



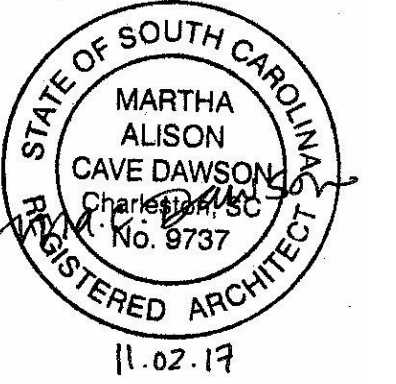
WINDOW TYPE D9

WINDOW TYPES



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Revision Date Description

Revision Date	Description

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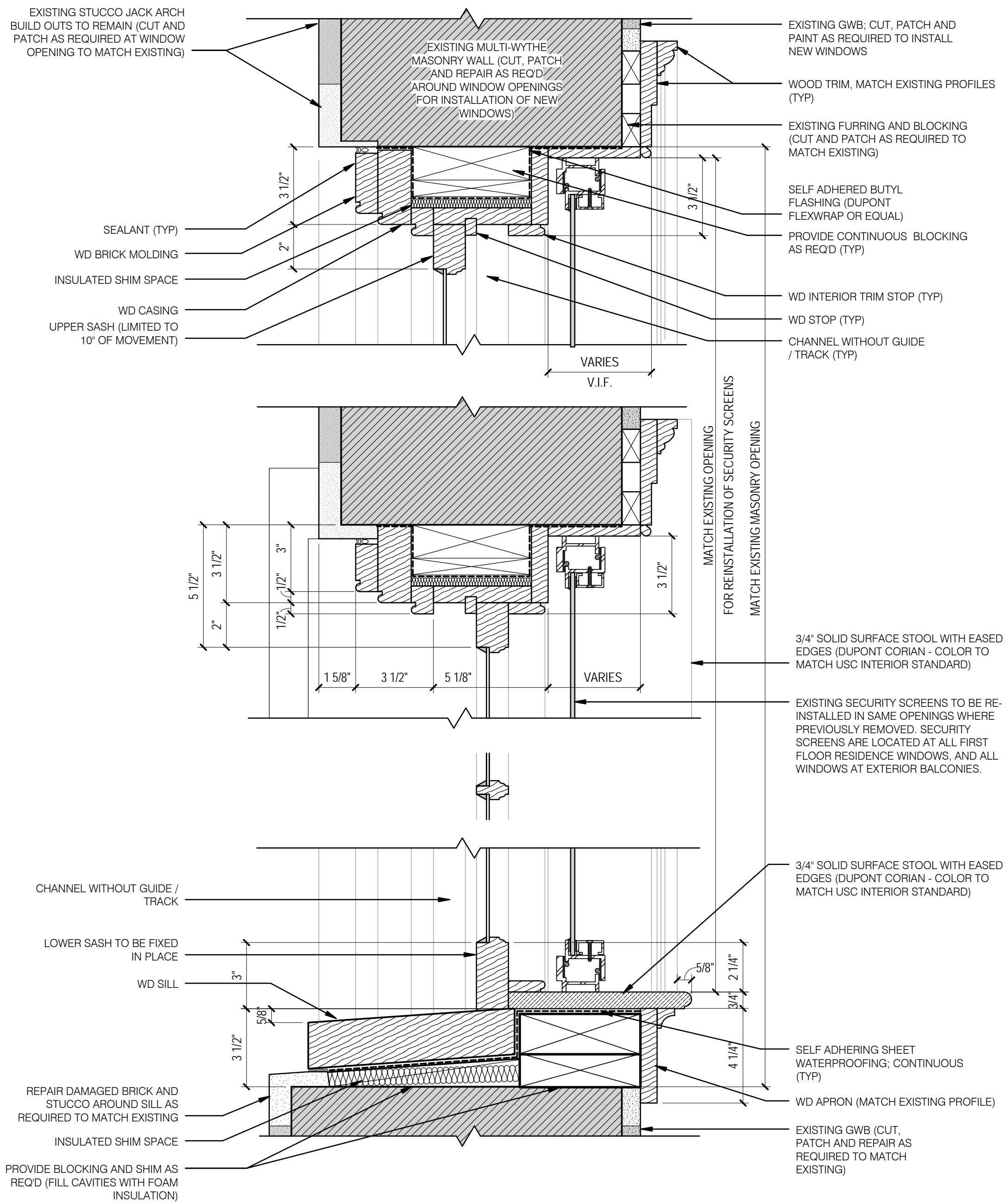
DeSaussure Window Replacement and Access Control Project

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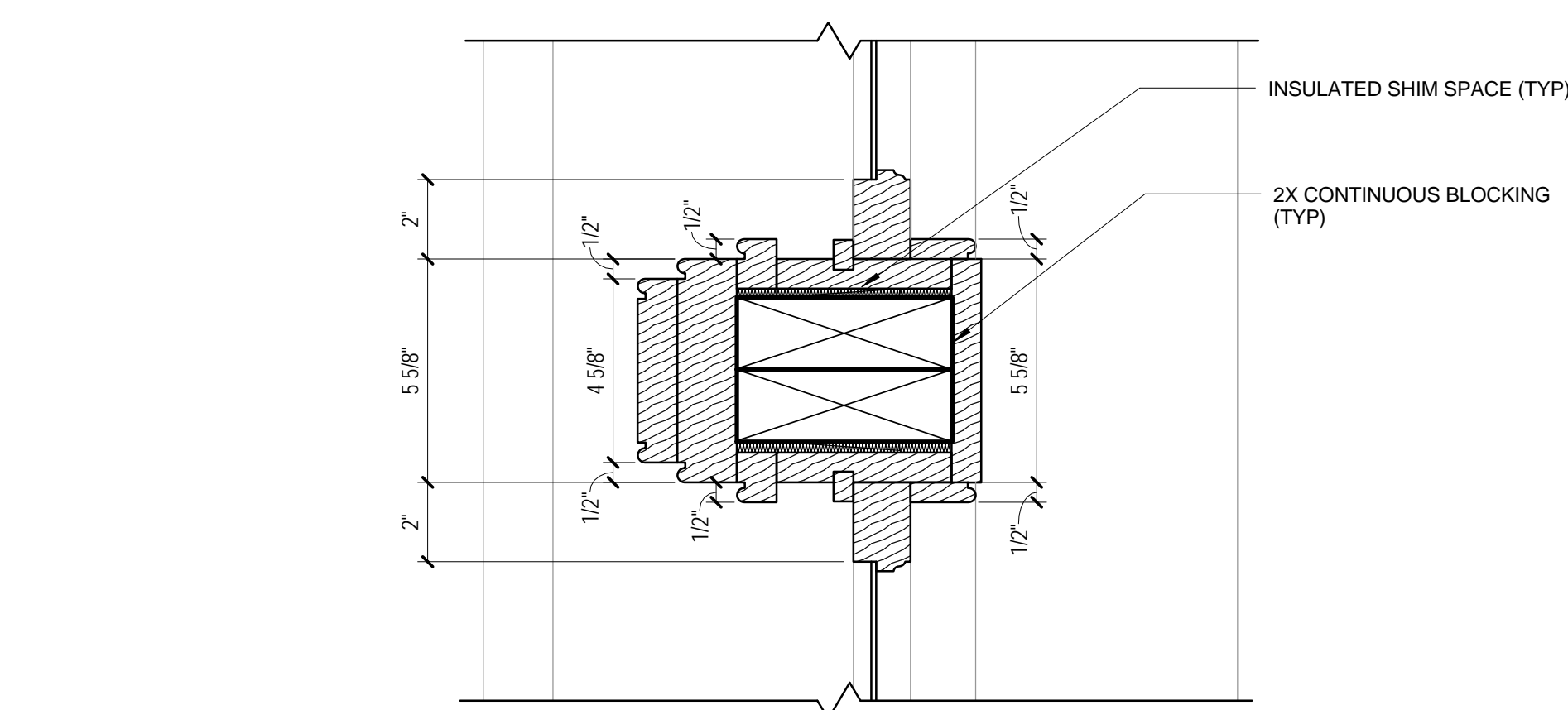
State Project Number:	H27-Z323
Project Number:	17402
Checked By:	JMW
Drawn By:	ACD
Date:	11/02/2017
Scale:	1/2" = 1'-0"

A601 WINDOW SCHEDULE AND TYPES

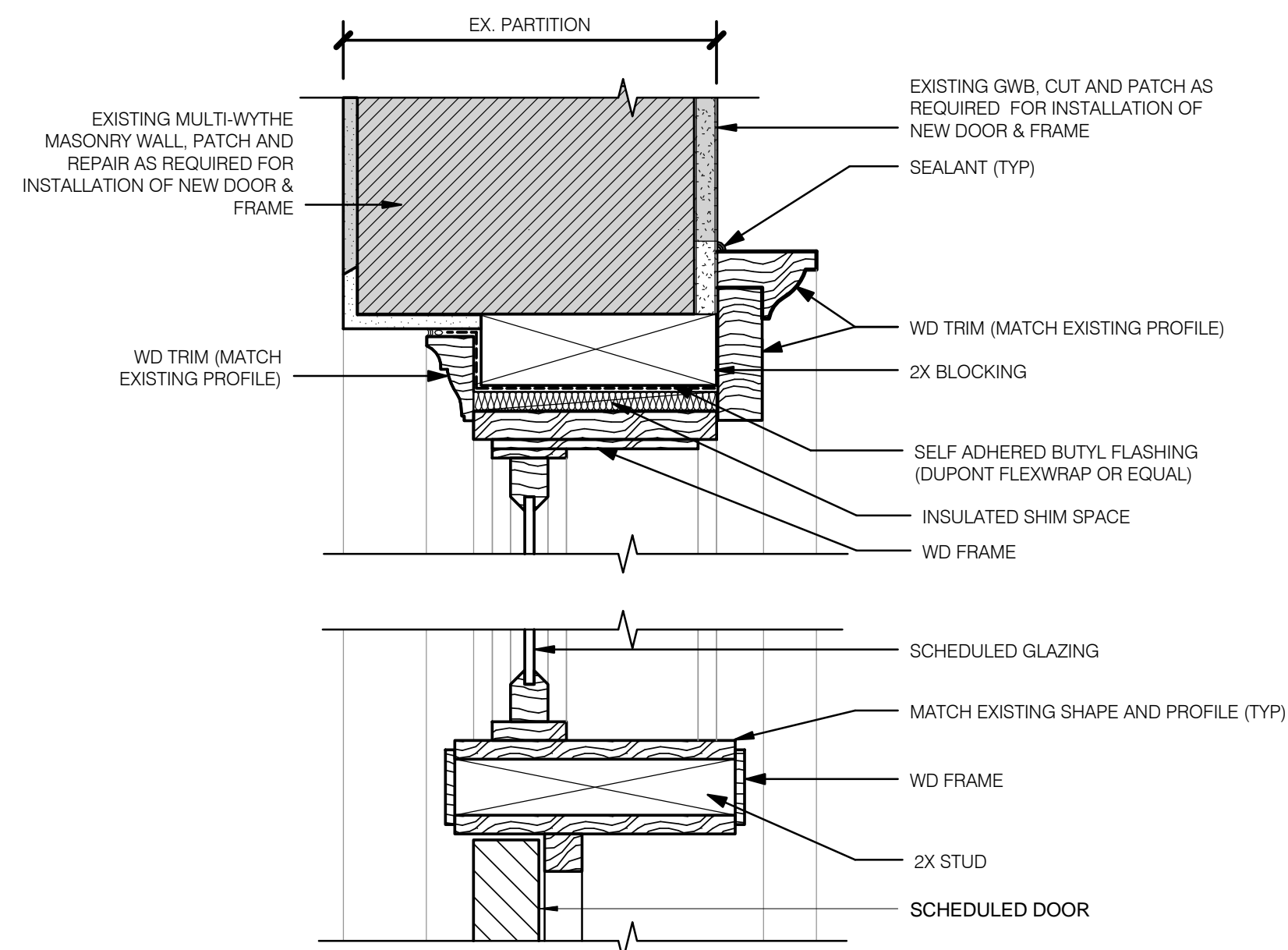
SCALE: 1/2" = 1'-0"



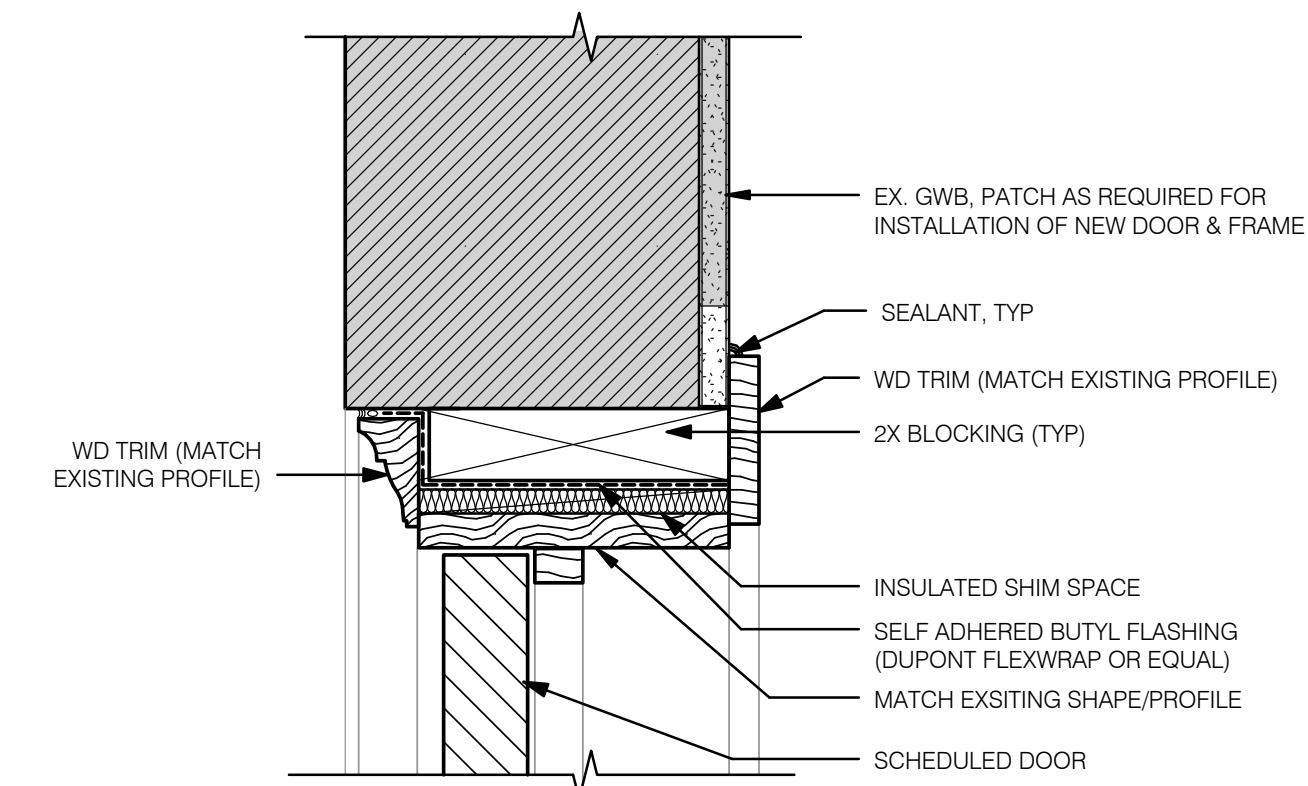
1 TYPICAL WINDOW DETAILS
A602 SCALE: 3" = 1'-0"



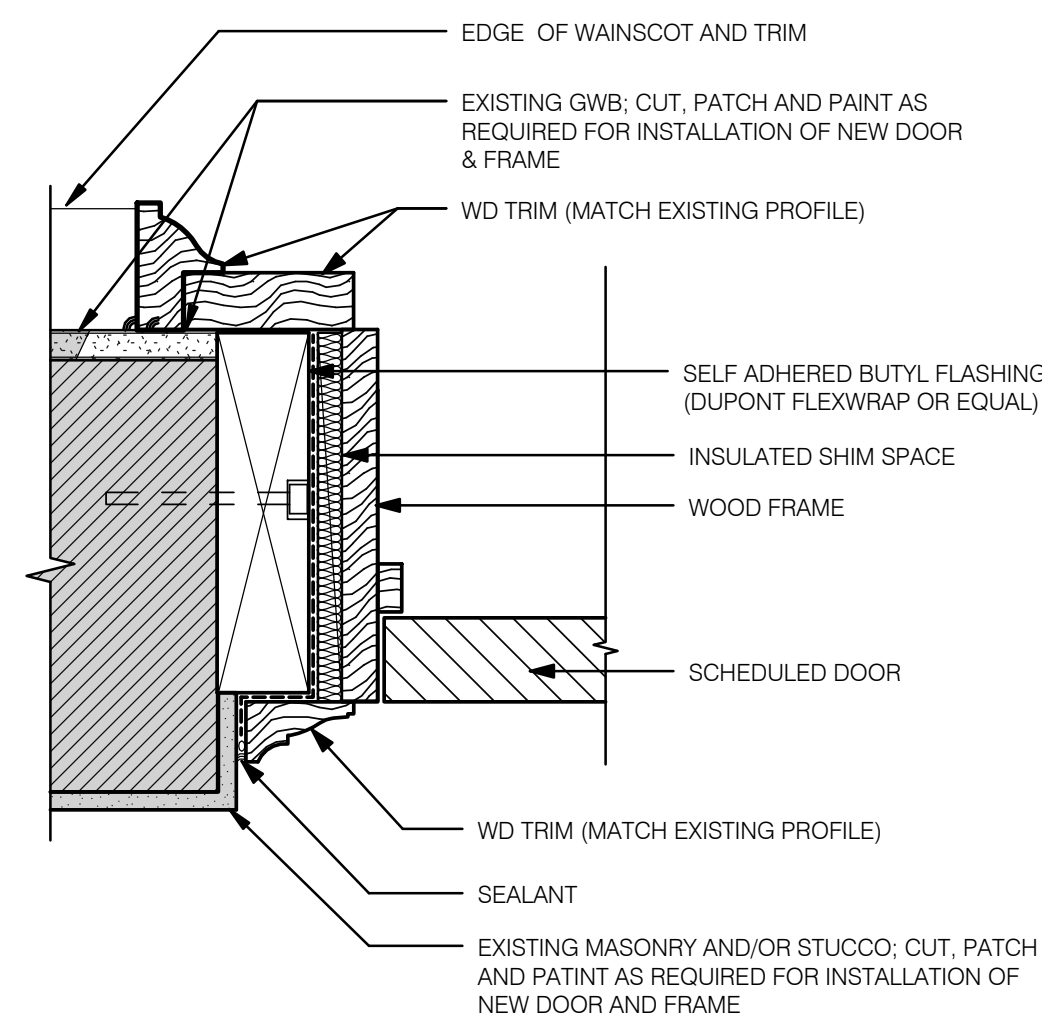
2 TYPICAL WINDOW DETAIL - CENTER JAMB
A602 SCALE: 3" = 1'-0"



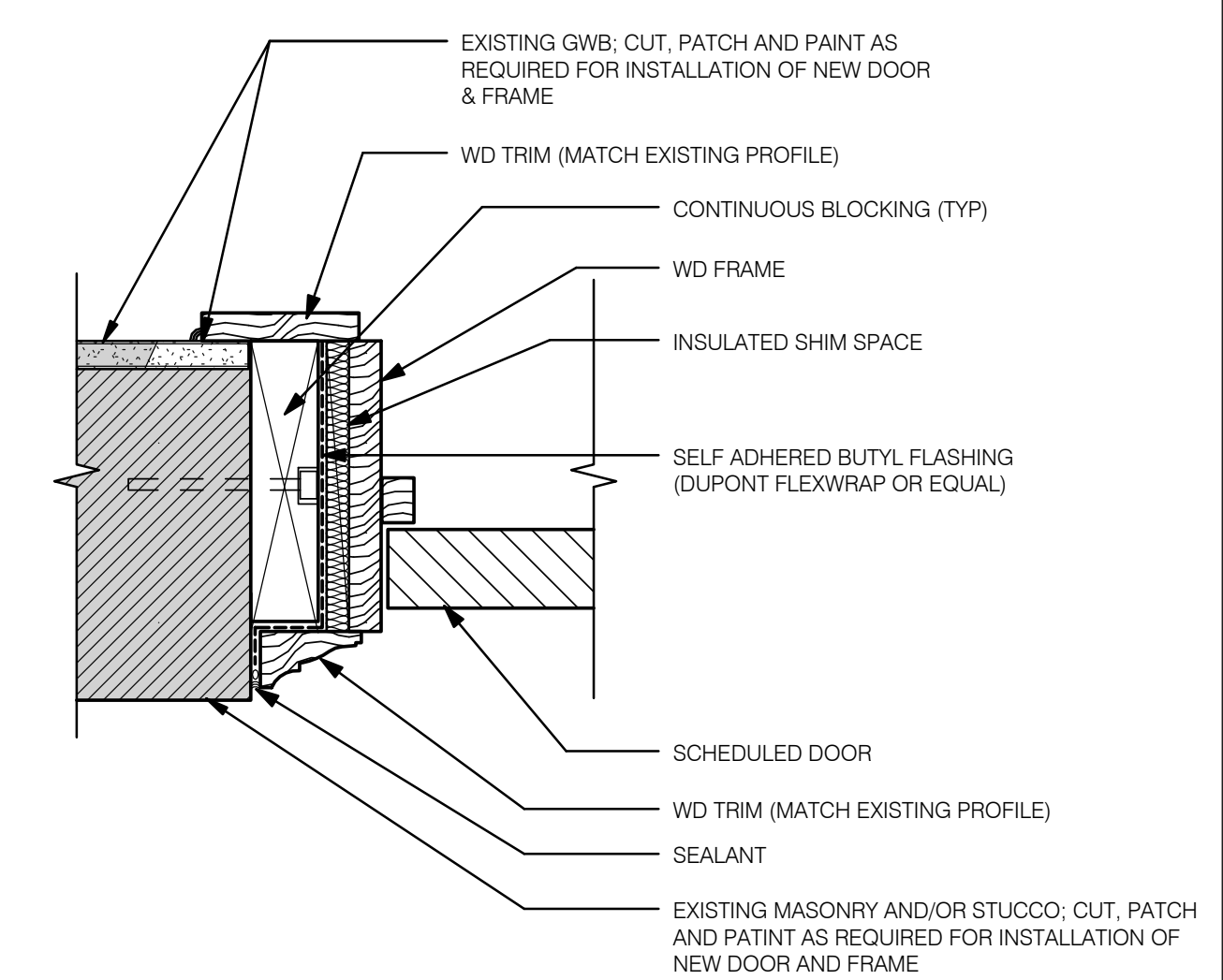
H1



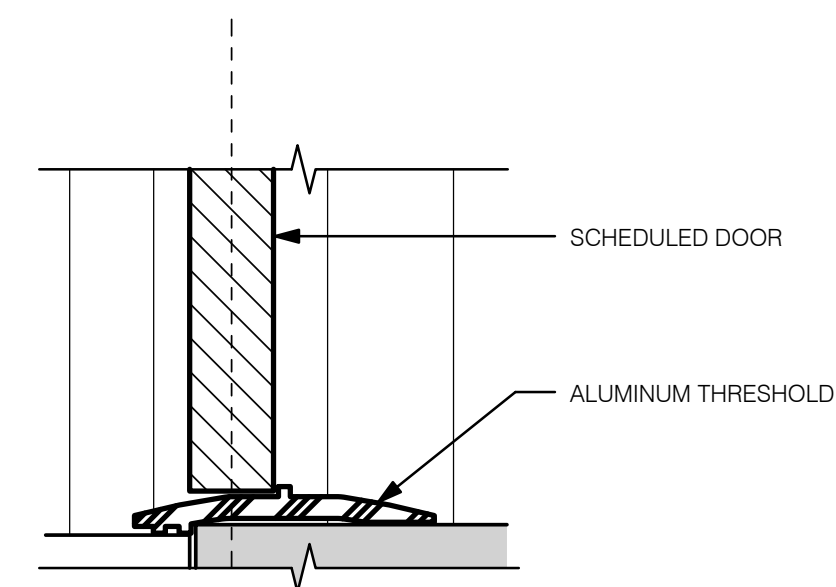
H2



J1



J2



S1

3 TYPICAL DOOR DETAILS
A602 SCALE: 3" = 1'-0"

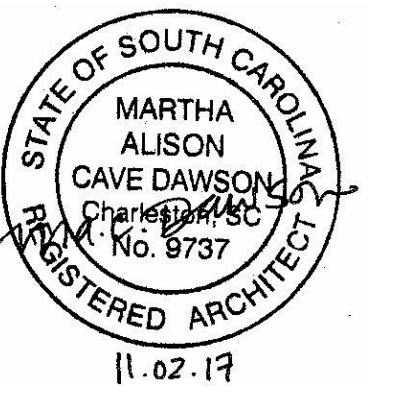
NOTE 1: GC TO VERIFY ALL DIMENSIONS
NOTE 2: SECURITY SCREENS ARE LOCATED AT ALL FIRST FLOOR RESIDENCE WINDOWS, AND ALL WINDOWS AT BALCONIES
NOTE 3: ALL BLOCKING TO BE CONTINUOUS AND PRESSURE TREATED. ANY/ALL FASTNERS THAT PENETRATE PRESSURE TREATED WOOD TO BE COMPATIBLE.
NOTE 4: ALL SHIMS TO BE SYNTHETIC
NOTE 5: SEE ELEVATIONS FOR LOCATIONS OF EXISTING SHUTTERS

SCALE: 3" = 1'-0"



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Revision Date Description

University of South Carolina

DeSaussure Window Replacement and Access Control Project

902 Sumter Street
Columbia, SC 29208

State Project Number: H27-Z323
Project Number: 17402
Checked By: JMW
Drawn By: ACD
Date: 11/02/2017
Scale: 3" = 1'-0"

A602 DOOR AND WINDOW DETAILS