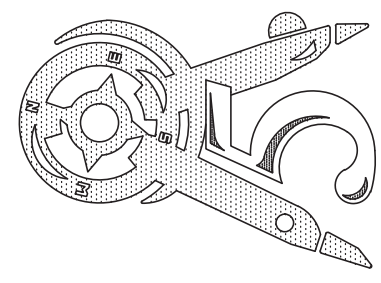




University of South Carolina

William Brice Building - College of Nursing 2nd Floor Lobby Renovation USC Project # H27-Z315

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University of South Carolina
William Brice Building - College of Nursing
2nd Floor Lobby Renovation
Columbia, SC

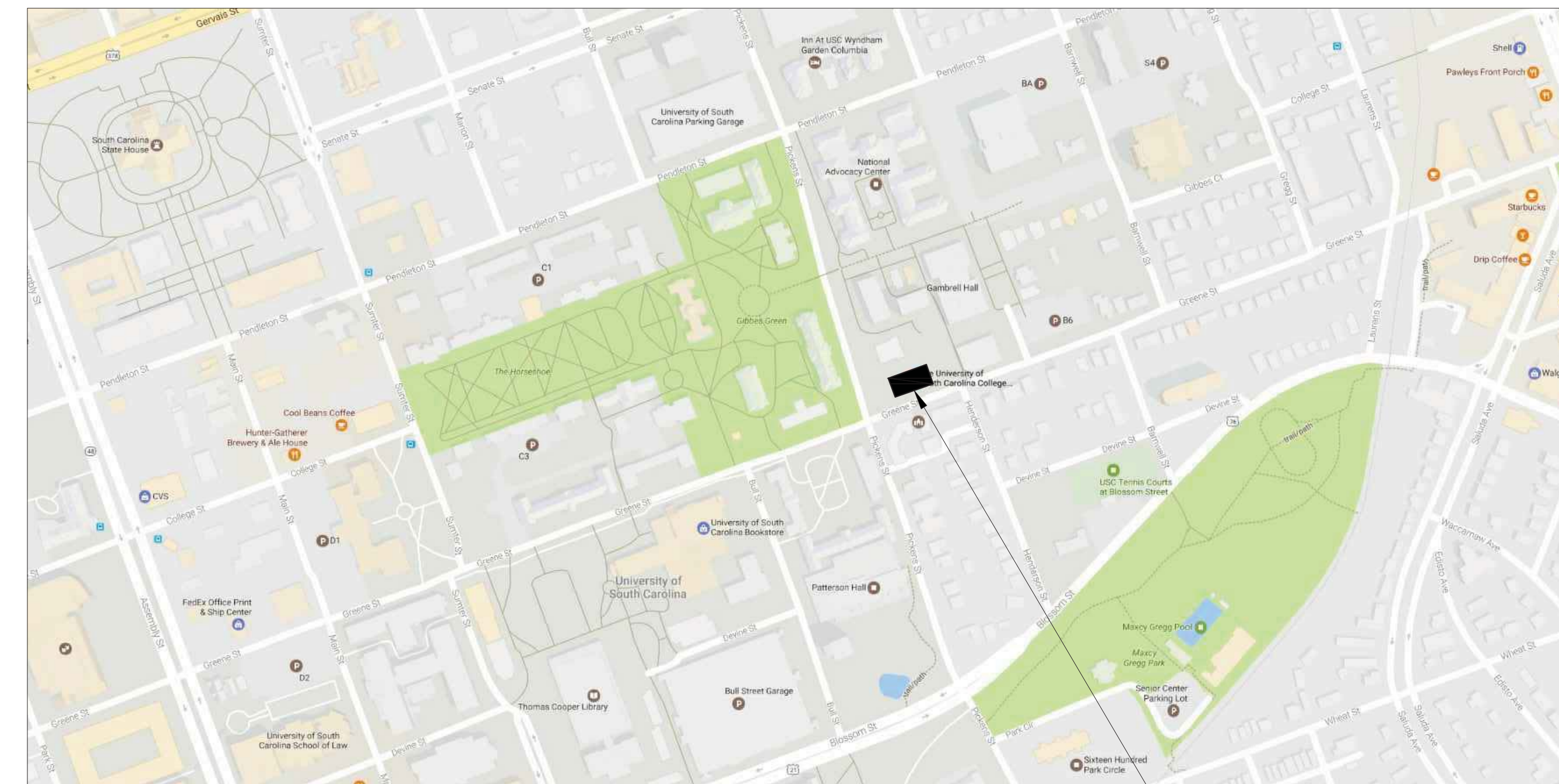


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Project Number: 17USC22

BIDDING SET 02.28.17

COVER SHEET
AND INDEX

Date: 02.28.17
Drawn: JGB
Checked: MEC
G001



SITE LOCATION

A1 LOCATION MAP - William Brice Building, 1601 Greene St Columbia, SC 29208
SITE INDICATED BY BOX NOT TO SCALE

ARCHITECT	
Compass 5 Partners, LLC 1329 State Street Cayce, South Carolina 29033 803-765-0838 p compass5partners.com	
SHEET No.	DESCRIPTION
G001	COVER SHEET AND INDEX
G002	LIFE SAFETY PLAN, CODE, GENERAL NOTES AND LEGEND
AD101	2ND FLOOR DEMOLITION PLAN AND ALTERNATE #1 1ST FLOOR DEMOLITION PLAN
A101	2ND FLOOR RENOVATION PLAN AND ALTERNATE #1 & #2 1ST FLOOR RENOVATION PLAN
A121	2ND FLOOR RENOVATION REFLECTED CEILING PLAN
A201	INTERIOR ELEVATIONS AND DETAILS
A500	SEISMIC AND CEILING DETAILS
A700	2ND FLOOR FINISH PLAN AND LEGEND AND ALTERNATE #1 & #2 1ST FLOOR FINISH PLAN

MECHANICAL ENGINEER	
Swygert & Associates 1315 State Street Cayce, South Carolina 29033 803-791-9300 office	
SHEET No.	DESCRIPTION
M100	FLOOR PLANS AND NOTES

ELECTRICAL ENGINEER	
Belka Engineering 7 Clusters Court # 201 Columbia, South Carolina 29210 803-731-0650 office	
SHEET No.	DESCRIPTION
E101	ELECTRICAL DEMOLITION PLAN
E102	ELECTRICAL RENOVATION PLAN

FIRE AND LIFE SAFETY LEGEND

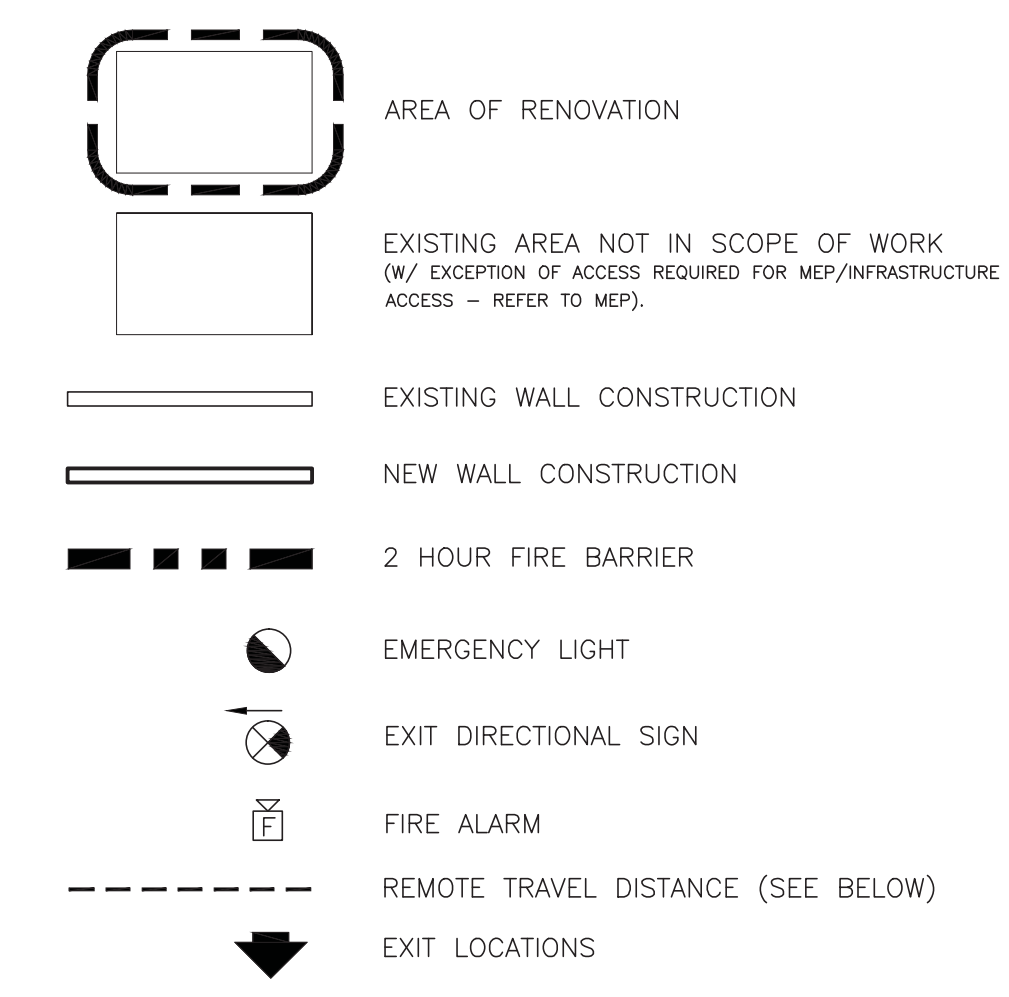


TABLE 5.6-1. DESIGN CODES AND STANDARDS

- PROJECT DESIGNED IN ACCORDANCE WITH:
- International Building Code, 2015 Edition.
 - International Existing Building Code, 2015 Edition.
 - International Energy Conservation Code, 2009 Edition.
 - International Fire Code, 2015 Edition.
 - International Fuel Gas Code, 2015 Edition.
 - International Mechanical Code, 2015 Edition.
 - International Plumbing Code, 2015 Edition.
 - National Electrical Code, NFPA 70, 2014 Edition.
 - National Electrical Safety Code, IEEE-C2-2012 Edition.
 - State Fire Marshal Regulations, latest revision.
 - State of SC Telephone Equipment Room Policies as formulated by CIO Telecommunications
 - ICC/ANSI-A117.1-Latest Addition, Accessible and Usable Buildings and Facilities.
 - State of SC Telephone Equipment Room and Communications/Data System Policies as formulated by the Division of State Information Technology (DSIT)
 - ASHRAE/IESNA 90.1, Energy Standard for Buildings except Low-Rise Residential Buildings 2001 Edition.
 - NFPA 101-2000, Life Safety Code

EXISTING TO REMAIN FIRE RATED ASSEMBLIES

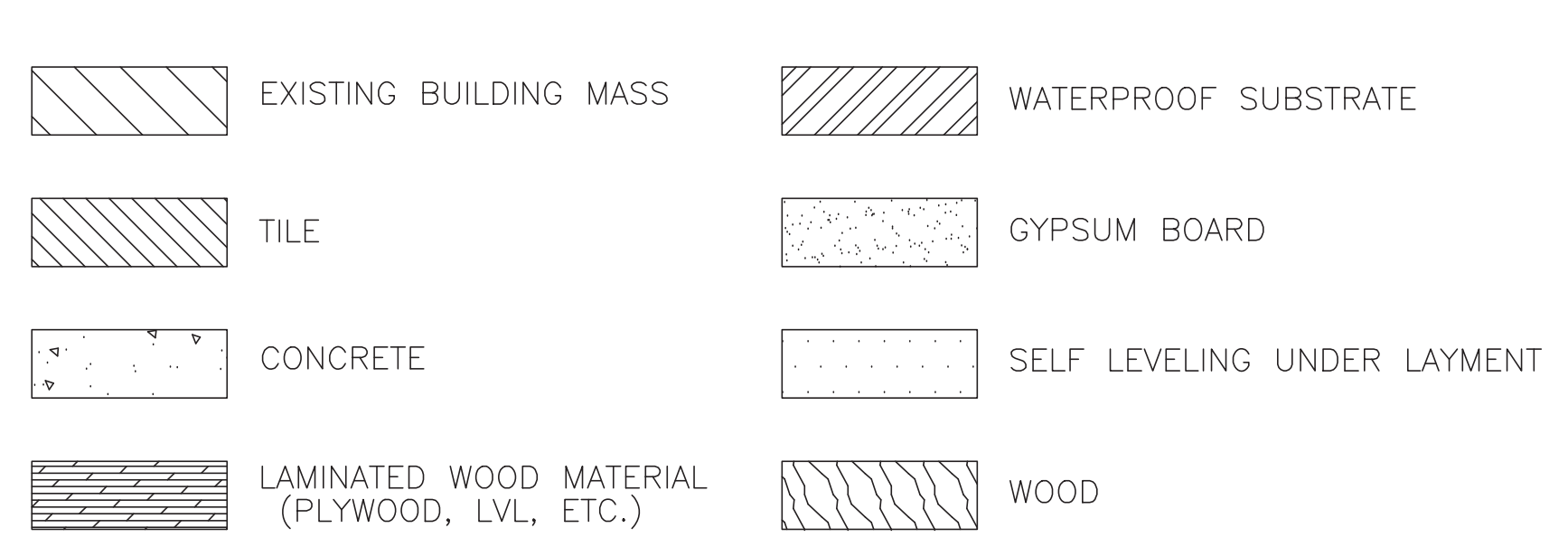
THE INTEGRITY OF REMAINING FIRE RATED ASSEMBLIES SHALL BE MAINTAINED/REPAIRED DURING DEMOLITION AND THROUGHOUT CONSTRUCTION. ANY HOLES OR OTHER OPENINGS EXISTING OR CREATED BY THE REMOVAL OF DOORS, FRAMES, PIPING, DUCT, CONDUIT OR ANY OTHER MATERIAL SHALL BE FILLED, PATCHED OR INFILLED WITH A UL TESTED SYSTEM OR WITH APPROPRIATELY RATED MATERIALS TO PREVENT THE PASSAGE OF FIRE AND SMOKE AS REQUIRED.

CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING FIRE PROTECTION AT COLUMNS, BEAMS AND OTHER EXISTING STEEL OR CONCRETE. PATCH/REPLACE ALL DAMAGED SPRAYED FIRE-PROOFING IN AREA OF WORK TO MEET REQUIRED RATINGS.

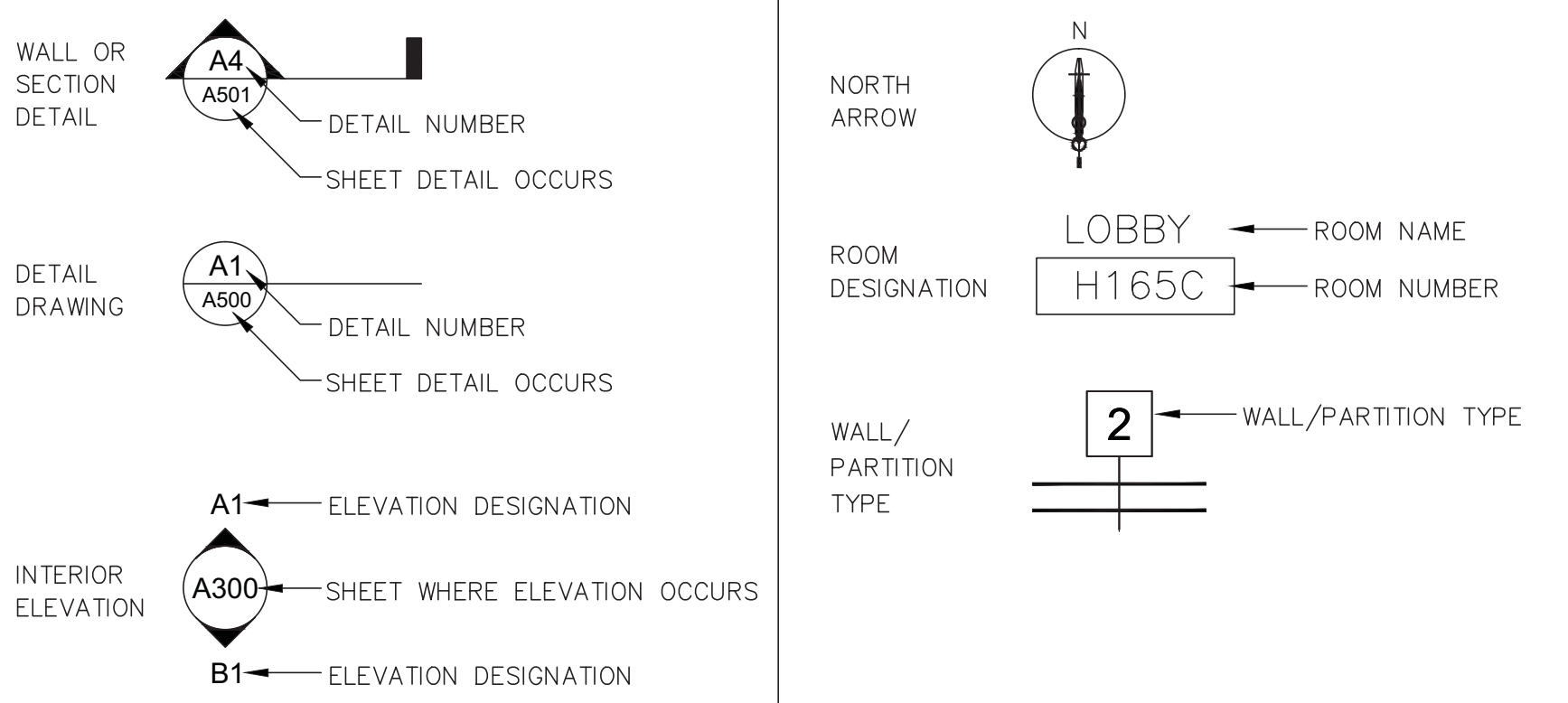
GENERAL LIFE SAFETY NOTES

- CONTRACTOR SHALL COORDINATE ACCESS ROUTES, DELIVERY, AND DEBRIS REMOVAL SCHEDULE WITH OWNER. AFTER HOUR ACCESS SHALL ALSO BE COORDINATED WITH OWNER. CONTRACTOR SHALL MAINTAIN SAFE, UNOBSTRUCTED EGRESS AT ALL TIMES AND PROTECT OCCUPANTS FROM CONSTRUCTION ACTIVITIES. REFER TO LIFE SAFETY AND INFECTION CONTROL & EGRESS PLANS.
- USC CAMPUS AND ALL FACILITIES ARE TOBACCO-FREE.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING FIRE AND LIFE SAFETY DEVICES DURING CONSTRUCTION - INCLUDES SMOKE DETECTORS, EMERGENCY LIGHTS, FIRE EXTINGUISHERS AND ALL OTHER LIFE SAFETY DEVICES IN CONSTRUCTION AREA. MAINTAIN RECORD OF EXISTING CONSTRUCTION INCLUDING LOCATION PLAN AND PHOTOGRAPHS FOR REVIEW AT COMPLETION OF CONSTRUCTION.
- FIRE EXTINGUISHERS ARE TO BE PROVIDED THROUGHOUT CONSTRUCTION AREA.
- ILLUMINATED EXIT SIGNS ARE TO BE PROVIDED THROUGHOUT CONSTRUCTION AREA-RELOCATE THROUGHOUT CONSTRUCTION PROCESS AS REQUIRED.
- EMERGENCY LIGHTING TO BE PROVIDED IN CONSTRUCTION AREA TO ALLOW EGRESS DURING A POWER OUTAGE.
- CONTRACTOR SHALL SECURE CONSTRUCTION SITE WHEN WORK COMPLETES EACH DAY.
- CONTRACTOR SHALL LIMIT COMBUSTIBLE LOAD.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY EXISTING CONSTRUCTION OR FINISHES AFFECTED BY TEMPORARY BARRIER CONSTRUCTION. LIMIT DAMAGE TO EXISTING FLOOR.

MATERIAL SYMBOLS

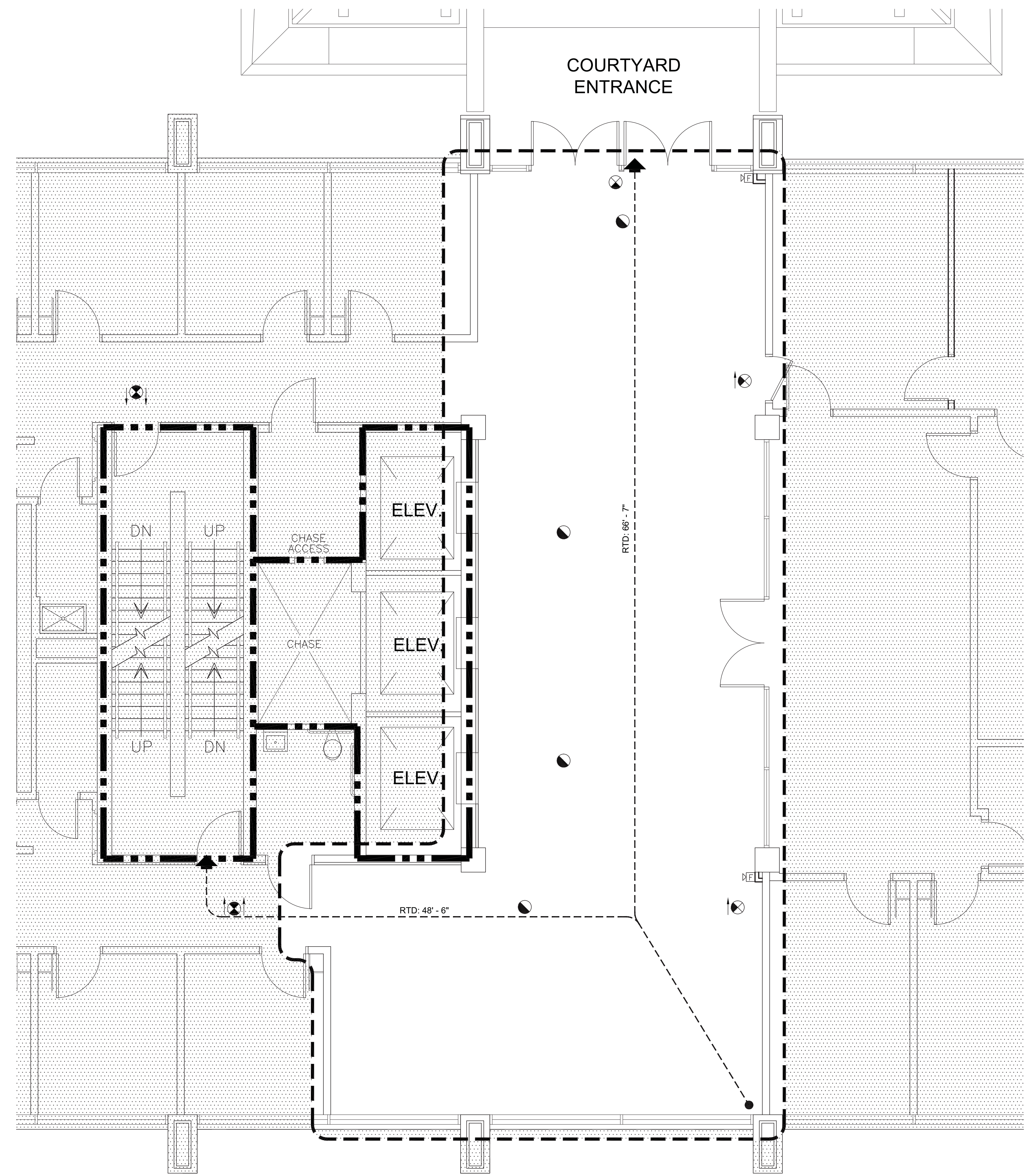


REFERENCE SYMBOLS



GENERAL NOTES

- EXISTING CONDITIONS SHOWN ON DRAWINGS BASED ON INFORMATION PROVIDED BY THE OWNER. THIS INFORMATION IS FOR REFERENCE ONLY AND MUST BE VERIFIED BY THE CONTRACTORS.
- ALL WORK PERFORMED ON EXISTING WARRANTED SYSTEMS OR ASSEMBLIES SHOULD BE PERFORMED BY APPROVED CONTRACTORS FOR SUCH ASSEMBLIES AND IN SUCH A MANNER THAT EXISTING WARRANTIES ARE NOT VOIDED OR JEOPARDIZED IN ANY MANNER.
- WALL DIMENSIONS SHOWN ON PLANS ARE TO FACE OF GWB UNO. DIMENSIONS FROM EXISTING CONSTRUCTION ARE FROM FACE OF EXISTING FINISH SUBSTRATE UNO.
- CONSTRUCTION MATERIALS OR CONSTRUCTION PROCESSES WHICH ARE HAZARDOUS TO WORKERS OR FUTURE OCCUPANTS ARE NOT PERMITTED.
- THE CONSTRUCTION SUBSYSTEMS AND PARTITION TYPES SHOWN INDICATE THE GENERAL CONSTRUCTION FEATURES OF THE WORK TO BE COMPLETED. THEY ARE NOT INTENDED TO REPRESENT THE ENTIRE CONSTRUCTION PROCESS AND ACCESSORIES USED. THE CONTRACTORS ARE RESPONSIBLE FOR COMPLETED SYSTEMS AND TO BE IN COMPLIANCE WITH GOVERNING CODES AND THE INTENT OF THE CONSTRUCTION DRAWINGS.
- TESTING AND CODE REFERENCES USED IN THESE DRAWINGS BY ABBREVIATION. OTHER TESTING AGENCIES ARE ACCEPTABLE IF IN COMPLIANCE WITH TESTING STANDARDS.
- SEE STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS BY OTHER FOR ADDITIONAL NOTES AND REFERENCES.
- DETAILS ARE SHOWN TO DESCRIBE DESIGN INTENT, COORDINATE COMPLETE SHOP DRAWINGS, SHOWING ALL CONSTRUCTION DETAILS AND LAYOUTS AS REQUIRED FOR A COMPLETE JOB, ADHERING TO THE MANUFACTURER'S WARRANTIES AND LOCAL AND STATE CODES.
- CEMENTITIOUS SPRAY FIRE-RESISTIVE MATERIAL IS REQUIRED ON ALL NEW AND EXISTING STEEL SURFACES WHERE SHOWN AND AS SPECIFIED. EXISTING SPRAY FIRE-RESISTIVE MATERIAL TO BE PATCHED AS REQUIRED DUE TO WORK OF OTHER TRADES.
- PROVIDE ACCESS PANELS WHERE NEEDED TO ACCESS VALVES, EQUIPMENT, FILTERS, ETC. EVEN IF NOT NOTED IN DRAWINGS.
- THE CONTRACTOR IS TO PROVIDE DUST PARTITIONS AND TACKY MATS AS NECESSARY AROUND DEMOLITION OR NEW CONSTRUCTION TO PROTECT THE OWNER'S OPERATIONS. DUST PARTITIONS SHALL BE OF NON-COMBUSTIBLE MATERIALS (INCLUDING DOORS AND FRAMES) AND MAINTAINED IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION. REFER TO THE INTERIM LIFE SAFETY PLANS AND CONTRACTOR ACCESS PLAN FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL SCHEDULE ALL WORK INCLUDING ANY INTERRUPTION OF UTILITIES PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AN UPDATED SCHEDULE AND COORDINATING CHANGES WITH OWNER AND ARCHITECT.
- BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY EXISTING CONDITIONS AND COMPARE RESULTS WITH INFORMATION GIVEN IN THE CONTRACT DOCUMENTS. REPORT ANY INCONSISTENCIES TO THE ARCHITECT AT ONCE.
- "ALIGN" AS INDICATED ON THE DRAWINGS SHALL BE UNDERSTOOD TO MEAN THE WALLS OR COLUMNS INDICATED.
- WORK OF THE ENGINEERING DISCIPLINES IS SHOWN ON THE ARCHITECTURAL DRAWINGS FOR COORDINATION PURPOSES ONLY. REFER TO APPROPRIATE DISCIPLINE DRAWINGS FOR COMPLETE AND GOVERNING INFORMATION REGARDING THEIR WORK. INCOMPLETE, INCONSISTENT, OR MISSING ENGINEERING INFORMATION ON ARCHITECTURAL DRAWINGS SHALL NOT BE CONSTRUED AS BINDING FOR THAT WORK.
- DO NOT SCALE DRAWINGS, USE DIMENSIONS ONLY.
- REFER TO PROJECT MANUAL FOR SUPPLEMENTARY GENERAL CONDITIONS, DEBRIS REMOVAL AND SAFETY PRECAUTIONS
- CASEWORK DIMENSIONS SHALL BE FIELD-VERIFIED PRIOR TO FABRICATION AND INSTALLATION.
- DIMENSIONS SHOWN AS EXISTING ARE FOR REFERENCE ONLY. CONTRACTOR TO VERIFY IN FIELD DIMENSIONS, CONDITIONS, AND CLEARANCES PRIOR TO THE SUBMISSION OF SHOP DRAWINGS.
- "PROVIDE" AS INDICATED ON THE DRAWINGS AND IN THE SPECIFICATIONS SHALL BE UNDERSTOOD TO MEAN TO INCLUDE FURNISH, INSTALL, AND FINISH COMPLETE AND READY FOR USE.



A1 FIRE & LIFE SAFETY PLAN

SCALE: 1/4" = 1'-0"

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LIFE SAFETY PLAN, CODE, GENERAL NOTES AND LEGEND

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 Checked: MEC

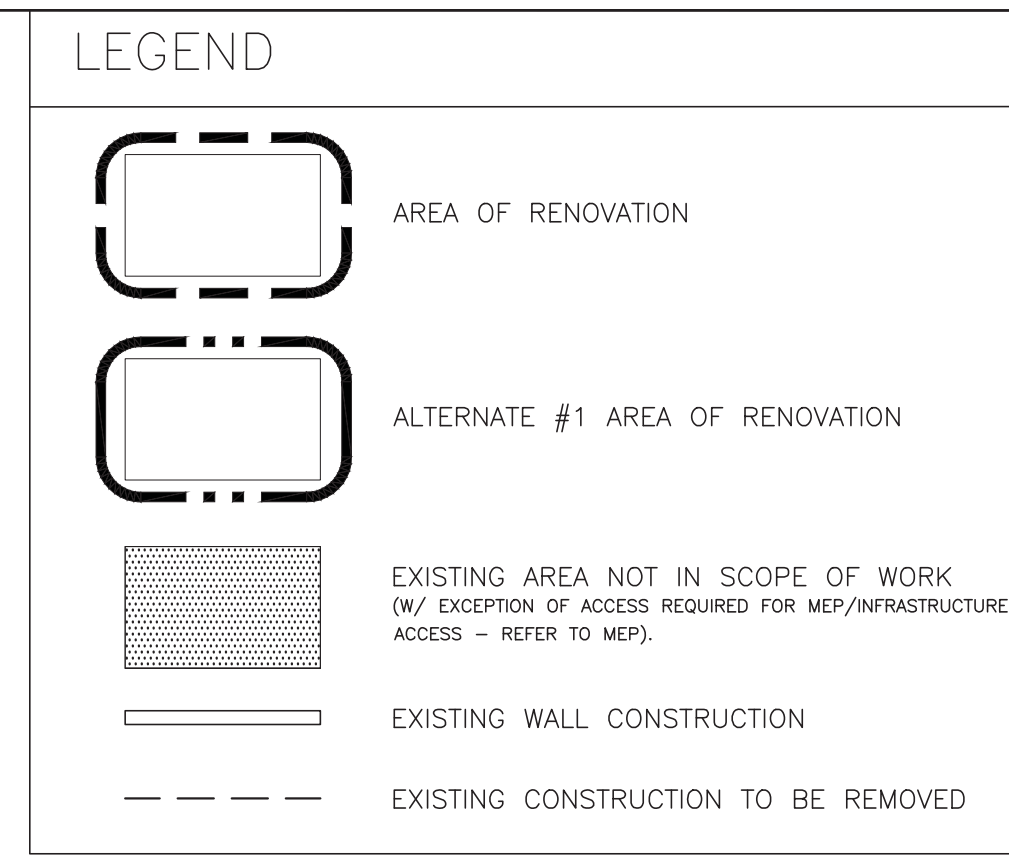
G002

ALTERNATE #1

ALTERNATE #1 PERTAINS ONLY TO THE FINISH FLOORING AND WALL BASE ON THE 1ST FLOOR LOBBY IN THE AREA OF WORK.

ALTERNATE #1 KEYED DEMOLITION NOTES -

- A1 REMOVE FINISH TILE FLOOR, SUBSTRATES, AND WALL BASE COMPLETE TO SUBFLOOR BELOW. PROTECT CARPET THROUGHOUT CONSTRUCTION. COORDINATE EXTENT WITH FINISH PLAN.
- A2 CAREFULLY REMOVE ALUMINUM TRANSITION STRIP AT THRESHOLDS. SALVAGE FOR REINSTALLATION.
- A3 REMOVE TRANSITION/REDUCER STRIPS AT DOOR THRESHOLDS.
- A4 REMOVE TRANSITION STRIP AND RUBBER BASE, AND CAREFULLY TRIM CARPET BACK TO FINISH CORNER OF COLUMN. COORDINATE EXTENT WITH TILE LAYOUT AND FINISH PLAN.



DEMOLITION COORDINATION & EXTENT

IMPACT FOR OTHER FLOORS

A. THE REQUIRED DEMOLITION SHALL NOT BE LIMITED TO THAT PORTION OF WORK SHOWN ON THE PLANS ALONE. WORK CONCURRENT THEREOF WHICH IS NECESSARY TO ACCOMPLISH THE INTENT OF THE CONTRACT DOCUMENTS IS ALSO PART OF THE WORK.

B. ANY DEMOLITION WORK NECESSARY ON FLOOR ABOVE AND BELOW SHALL BE SCHEDULED WITH THE OWNER. ANY FINISHES DISTURBED OR DAMAGED AS A RESULT OF DEMOLITION OR INSTALLATION SHALL BE PATCHED OR REPLACED TO MATCH EXISTING FINISHES MANNER THAT ELIMINATES THE APPEARANCE OF PATCHING OR REPAIR.

GENERAL DEMOLITION NOTES

A. BEFORE BEGINNING CONSTRUCTION OR DEMOLITION ACTIVITIES THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY EXISTING CONDITIONS, COMPARE RESULTS WITH INFORMATION GIVEN IN THE CONTRACT DOCUMENTS AND REPORT INCONSISTENCIES TO THE OWNER & ARCHITECT AT ONCE.

B. REFER TO FIRE PROTECTION, PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR DEMOLITION AND COORDINATION.

C. DEMOLITION WORK WHICH REQUIRES ACCESS TO OCCUPIED SPACES OUTSIDE OF THE PROJECT AREA IS TO BE SCHEDULED WITH THE OWNER.

D. THE EXTENT OF DEMOLITION INDICATED IS BASED ON RECORD DRAWINGS PROVIDED BY THE OWNER AND FIELD OBSERVATIONS. ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE INDICATED ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT AS SOON AS DISCREPANCIES ARE DISCOVERED.

E. IF THE CONTRACTOR ENCOUNTERS MATERIAL BELIEVED TO BE ASBESTOS OR LEAD, HE SHALL IMMEDIATELY STOP WORK IN THE AFFECTED AREA AND REPORT THE CONDITION TO THE OWNER AND ARCHITECT IN WRITING. WORK IN THE AFFECTED AREA SHALL NOT BE RESUMED UNTIL AN AUTHORIZED AND LICENSED TESTING AGENCY AND/OR ABATEMENT CONTRACTOR HAS REMOVED OR DEEMED HARMLESS THE MATERIAL IN QUESTION AND PROVIDED DOCUMENTATION TO THAT EFFECT.

F. THE CONTRACTOR SHALL INSPECT BOTH SIDES OF EXISTING WALLS, CEILINGS AND FLOOR ASSEMBLIES AND REPAIR/REPLACE AS REQUIRED TO MAINTAIN EXISTING RATINGS. REFER TO GOOD LIFE SAFETY PLAN FOR LOCATIONS OF RATED WALLS AND SMOKE RESISTIVE CONSTRUCTION.

G. THE CONTRACTOR SHALL COORDINATE NEW OPENINGS IN EXISTING WALLS OR FLOORS WITH APPLICABLE ELECTRICAL, MECHANICAL, FIRE PROTECTION, PLUMBING, EQUIPMENT AND OR PIPING DRAWINGS.

H. THE CONTRACTOR SHALL SEAL ALL HOLES LEFT AFTER REMOVAL OF PIPES, CONDUITS AND DUCTS ETC. WITH MATERIALS TO MATCH EXISTING CONSTRUCTION AND SEALANTS. ANY EQUIPMENT TO BE DECOMMISSIONED IS TO BE REMOVED IN ITS ENTIRETY, AND IS NOT TO BE LEFT INOPERABLE ABOVE THE CEILING OR INSIDE THE WALL CAVITIES.

I. THE CONTRACTOR IS TO PROVIDE DUST PARTITIONS AND TACKY MATS AS NECESSARY AROUND DEMOLITION OR NEW CONSTRUCTION TO PROTECT THE OWNER'S OPERATIONS. DUST PARTITIONS SHALL BE OF 1-HOUR RATED NON-COMBUSTIBLE MATERIALS (INCLUDING DOORS AND FRAMES) AND MAINTAINED IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION.

J. ALL REMAINING MATERIALS ADJACENT TO AREAS OF DEMOLITION ARE TO BE LEFT NEATLY PATCHED, PAINTED AND REPAIRED TO MATCH EXISTING FINISHES.
NOTE: FINISHES NEED TO EXTEND TO A LOGICAL STOPPING POINT I.E. CORNER, EDGE OF WALL, FLOOR, CEILING ETC.

K. ITEMS TO BE REMOVED OF SALVAGEABLE VALUE ARE TO REMAIN THE PROPERTY OF THE OWNER AT HIS DISCRETION. ANY SALVAGEABLE ITEMS GIVEN TO THE CONTRACTOR MUST BE REMOVED FROM THE SITE. ITEMS TO REMAIN THE PROPERTY OF THE OWNER SHALL BE STORED ON-SITE BY THE CONTRACTOR AT THE OWNER'S DIRECTION.

L. INTERIM FIRE-STOPPING IS TO BE PROVIDED FOR ALL ABANDONED OR NEWLY CREATED PENETRATIONS THROUGH THE EXISTING FLOOR SLAB OR STRUCTURAL DECK ABOVE AND SHALL BE MAINTAINED UNTIL PERMANENT FIRE-STOPPING IS IN PLACE. REFER TO PROJECT MANUAL FOR ADDITIONAL INTERIM REQUIREMENTS. THE LOCATION AND QUANTITY ADDRESSED IN THESE NOTES SHALL BE GENERALLY INFERRED BASED ON THE CONTENT AND EXTENT OF WORK DEPICTED IN THE DRAWINGS AND SPECIFICATIONS. EXTRAORDINARY CONDITIONS MAY BE IDENTIFIED DURING DEMOLITION AND WILL BE ADDRESSED AT THAT TIME.

M. EXISTING FIRE-RATED ASSEMBLIES SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THIS PROJECT. REPAIR OF EXISTING HOLES, CRACKS OR OTHER BREACHES WITHIN WORK AREAS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. REPAIRS SHALL CONFORM TO THE APPROPRIATE UL RATED ASSEMBLY CONSISTENT WITH THE REQUIRED RATING IN THE AREA OF CONSTRUCTION AND/OR ADJACENT AREAS.

N. THIS DRAWING SHOWS THE GENERAL EXTENT OF DEMOLITION TO BE PERFORMED. ALL ITEMS DASHED ARE TO BE REMOVED COMPLETE, EVEN IF REMOVAL EXTENDS BEYOND THE DESIGNATED SPACE AND/OR PROJECT BOUNDARY. CONTRACTOR SHALL INCLUDE ALL DEMOLITION, CUTTING AND PATCHING REQUIRED FOR NEW CONSTRUCTION. REFER TO OTHER DISCIPLINES (FIRE PROTECTION, PLUMBING, MECHANICAL, ELECTRICAL, AND EQUIPMENT) DEMOLITION PLANS FOR ADDITIONAL ITEMS TO BE REMOVED OR RELOCATED.

O. ALL EXISTING ITEMS SCHEDULED TO REMAIN (ANY DISCIPLINE) WHICH ARE EXPOSED TO DEMOLITION WORK SHALL BE PROTECTED OR TEMPORARILY REMOVED, STORED, AND PROTECTED.

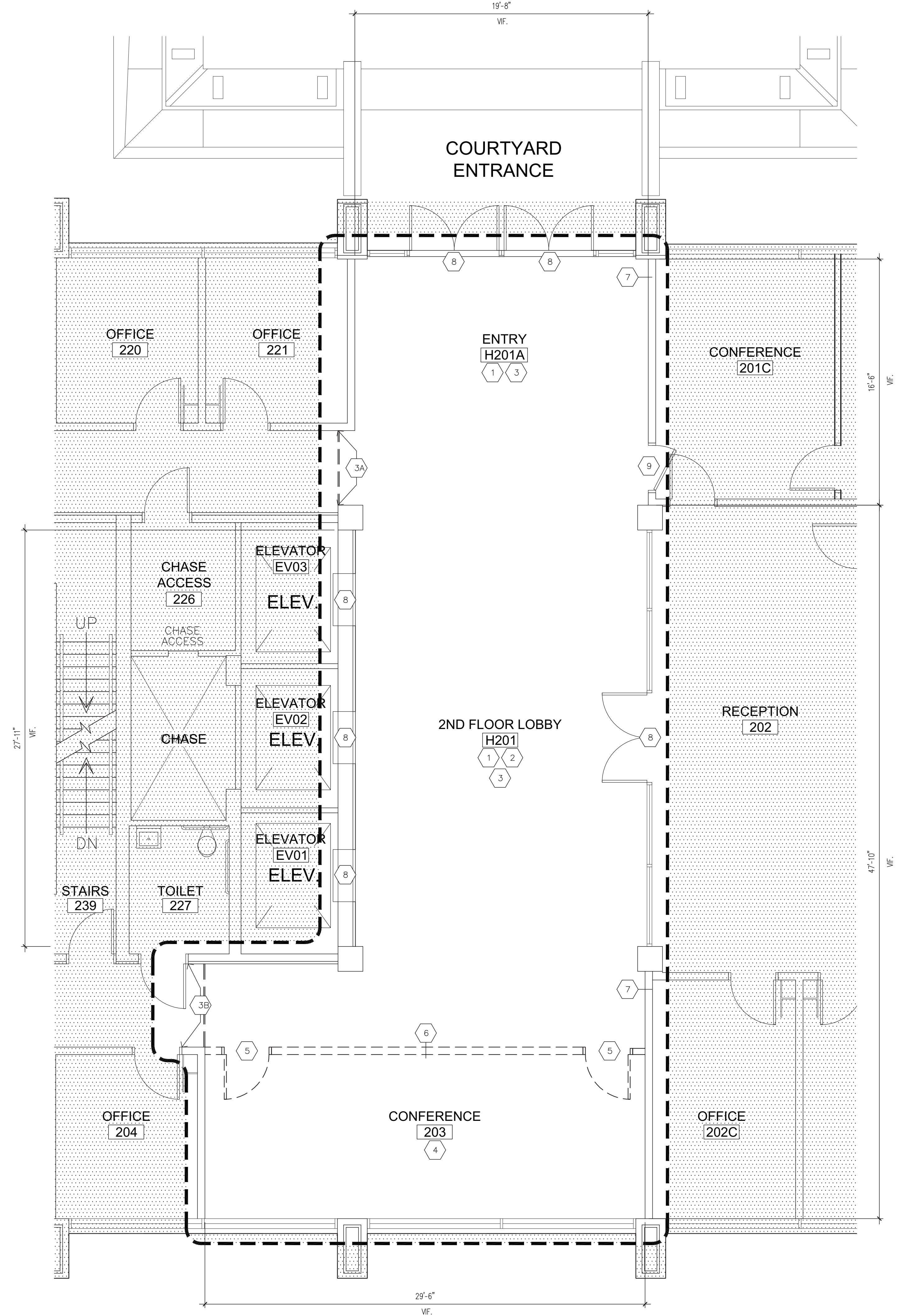
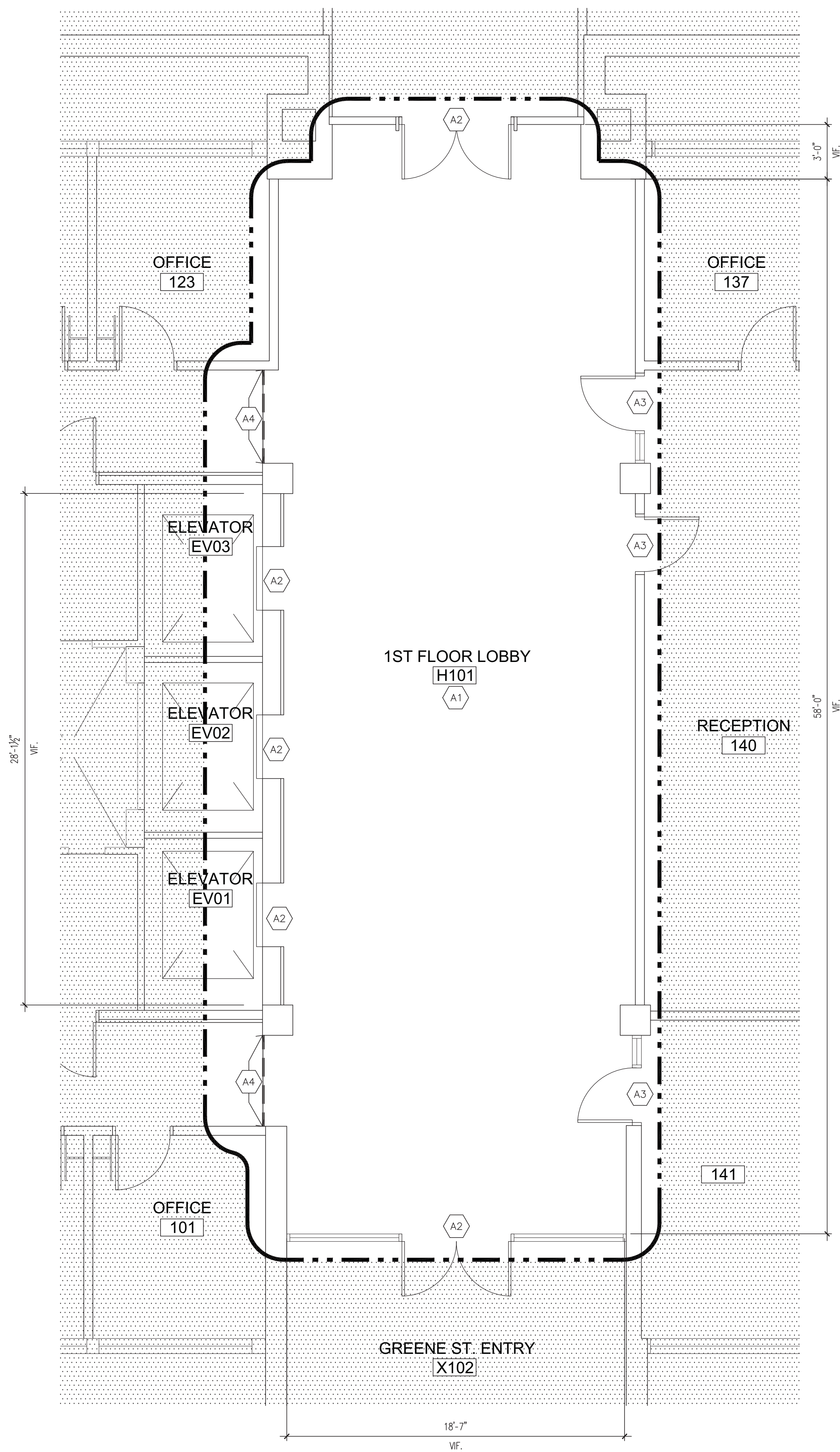
P. THE CONTRACTOR SHALL SCHEDULE ALL WORK INCLUDING ANY INTERRUPTION OF UTILITIES PRIOR TO THE START OF THE WORK, WITH THE OWNER. THE BUILDING SHALL REMAIN OCCUPIED AND IN USE DURING THE TIME THE WORK IS BEING PERFORMED.

Q. CONTRACTOR TO REMOVE ALL UNNECESSARY PIPING, DUCT, WIRING AND/OR CONDUIT COMPLETE, EVEN IF REMOVAL EXTENDS BEYOND THE DESIGNATED SPACE AND/OR PROJECT BOUNDARIES. THE LOCATION AND QUANTITY ADDRESSED IN THESE NOTES SHALL BE GENERALLY INFERRED BASED ON THE CONTENT AND EXTENT OF WORK DEPICTED IN THE DRAWINGS AND SPECIFICATIONS. THE INTENT IS TO COVER COMMON, TYPICAL AND GENERALLY ANTICIPATED ITEMS. EXTRAORDINARY CONDITIONS MAY BE IDENTIFIED DURING DEMOLITION AND WILL BE ADDRESSED AT THAT TIME.

R. AREAS SHOWING THE REMOVAL OF WALLS TO BE PROPERLY SHORED UP IF NECESSARY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING WHICH AREAS ARE TO BE SHORED.

S. REMOVE ALL WALL-MOUNTED ACCESSORIES AND APPURTENANCES IN AREA OF RENOVATION, INCLUDING BUT NOT LIMITED TO CLOCKS, DISPLAY BOARDS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, ALCOHOL DISPENSERS, ROOM SIGNAGE, TELEPHONES, ARTWORK, PLACARDS, ETC. SALVAGE FOR REINSTALLATION.

T. PROTECT ALL FINISHES TO REMAIN. REPLACE/REPAIR ANY FINISHES DISTURBED BY DEMOLITION OR RENOVATION 'CORNER TO CORNER' IN A MANNER THAT ELIMINATES THE APPEARANCE OF PATCHING OR REPAIR.



KEYED DEMOLITION NOTES

- 1 REMOVE DAMAGED FINISHES AT BULKHEADS AS REQUIRED AFTER ABATEMENT IS COMPLETE. FRAMING TO REMAIN.
- 2 REMOVE REMAINING FINISH ACT AND GRID COMPLETE (APPROXIMATELY +/- 30SF).
- 3 REMOVE FINISH TILE FLOOR, SUBSTRATES, AND WALL BASE COMPLETE TO SUBFLOOR BELOW. COORDINATE EXTENT WITH FINISH PLAN.
- 3A REMOVE TRANSITION STRIP AND RUBBER BASE, AND CAREFULLY TRIM CARPET BACK TO FINISH CORNER. COORDINATE EXTENT WITH TILE LAYOUT AND FINISH PLAN.
- 3B REMOVE RUBBER BASE TO DOOR FRAME COMPLETE. REMOVE TRANSITION STRIP AND CAREFULLY TRIM CARPET BACK TO FINISH CORNER OF CONFERENCE 203. COORDINATE EXTENT WITH TILE LAYOUT AND FINISH PLAN.
- 4 REMOVE FINISH CARPET FLOOR, SUBSTRATES, AND WALL BASE COMPLETE.
- 5 REMOVE DOOR, FRAME, AND HARDWARE COMPLETE.
- 6 REMOVE WALL COMPLETE TO APPROXIMATELY 4" BELOW EXISTING FINISH CEILING HEIGHT. BRACE SOFFIT AS REQUIRED TO ATTACH TO DECK. APPROXIMATELY 4" OF FRAMING TO REMAIN TO REFINISH SOFFIT. REFER TO RENOVATION AND REFLECTED CEILING PLAN.
- 7 REMOVE WALL MOUNTED CONDUIT AND ELECTRICAL DEVICES TO BE REINSTALLED. REFER TO RENOVATION PLAN. REFER TO ELECTRICAL DRAWINGS.
- 8 CAREFULLY REMOVE ALUMINUM TRANSITION STRIP AT THRESHOLDS. SALVAGE FOR REINSTALLATION.
- 9 REMOVE TRANSITION/REDUCER STRIPS AT DOOR THRESHOLDS.

KEY PLAN NTS

AREA OF WORK

A1 1ST FLOOR DEMOLITION PLAN ALTERNATE #1
SCALE: 1/4" = 1'-0"

A2 2ND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

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BIDDING SET 02.28.17
2ND FLOOR DEMOLITION PLAN AND ALTERNATE #1 - 1ST FLOOR DEMOLITION PLAN

Date: 02.28.17
Drawn: JGB
Checked: MEC
AD101

ALTERNATE #1

ALTERNATE #1 PERTAINS ONLY TO THE FINISH FLOORING AND WALL BASE ON THE 1ST FLOOR LOBBY IN THE AREA OF WORK.

ALTERNATE #1 KEYED RENOVATION NOTES -

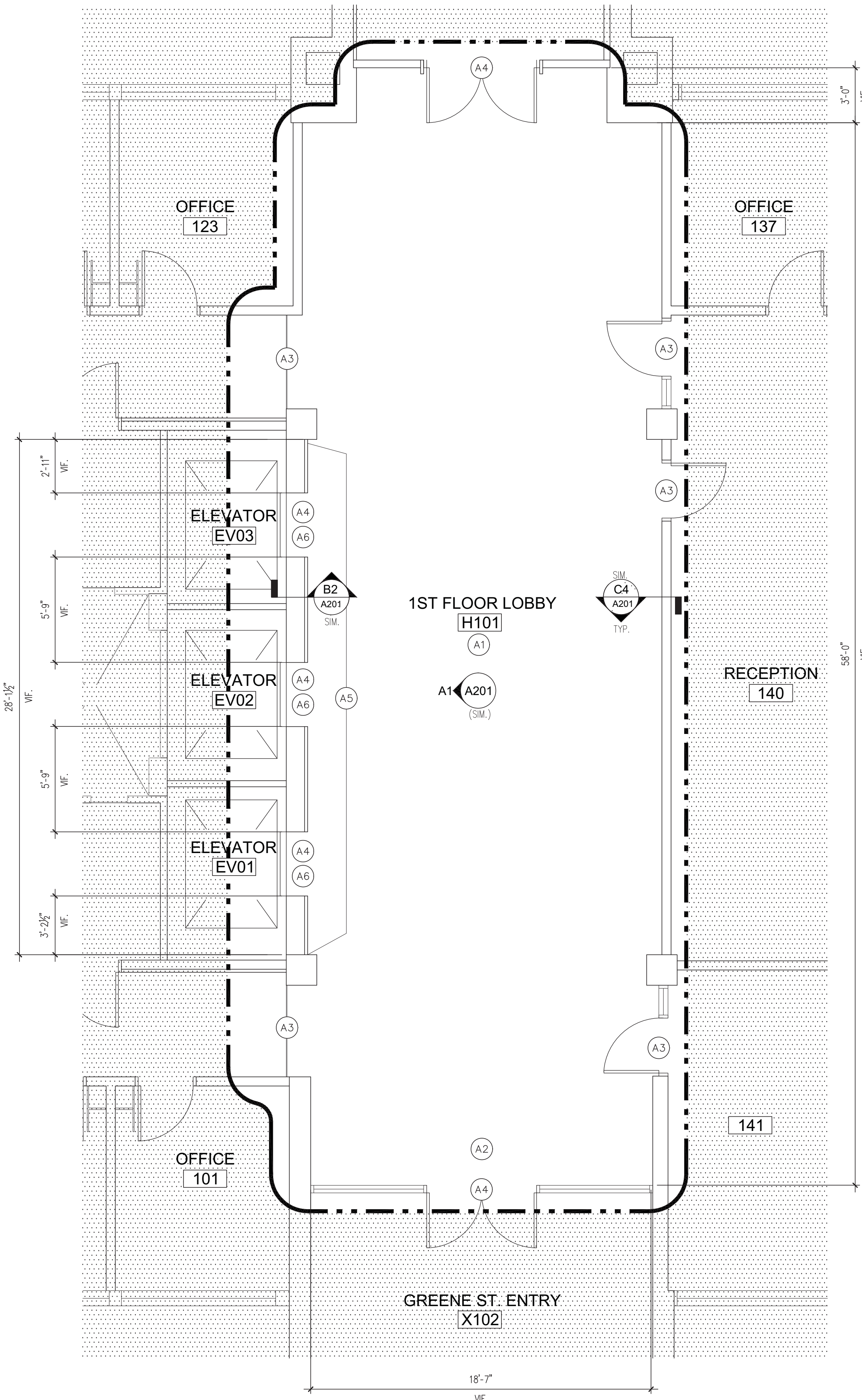
- A1 LEVEL, PATCH, AND PRIME SUBFLOOR AS REQUIRED FOR LEVEL TILE INSTALLATION. PREP FLOOR TO RECEIVE NEW FINISH FLOORING PER MANUFACTURER'S WRITTEN SPECIFICATIONS. PROVIDE NEW FINISH TILE FLOORING AND WALL BASE COMPLETE. DETAILS AND TRANSITIONS TO BE SIMILAR TO 2ND FLOOR TILE INSTALLATION. COORDINATE WITH DETAILS AND FINISH PLAN.
- A2 PROVIDE WALK-OFF MAT TO MATCH 2ND FLOOR LOBBY OVER TILE INSTALLATION AT ENTRY DOORS. REFER TO FINISH PLAN AND SPECIFICATIONS.
- A3 PROVIDE NEW CONTINUOUS TRANSITION STRIP FROM TILE TO CARPET TRANSITIONS. REFER TO DETAIL C1/A201 AND FINISH PLAN.
- A4 REINSTALL ALUMINUM TRANSITION STRIPS AT DOOR THRESHOLD. INSTALLATION TO BE COORDINATED WITH NEW FINISH TILE FOR FLUSH FINISH. REFER FLOOR DETAILS.

ALTERNATE #2

ALTERNATE #2 PERTAINS ONLY TO THE WALL PROTECTION AT THE ELEVATOR WALL IN THE 1ST FLOOR LOBBY IN THE AREA OF WORK.

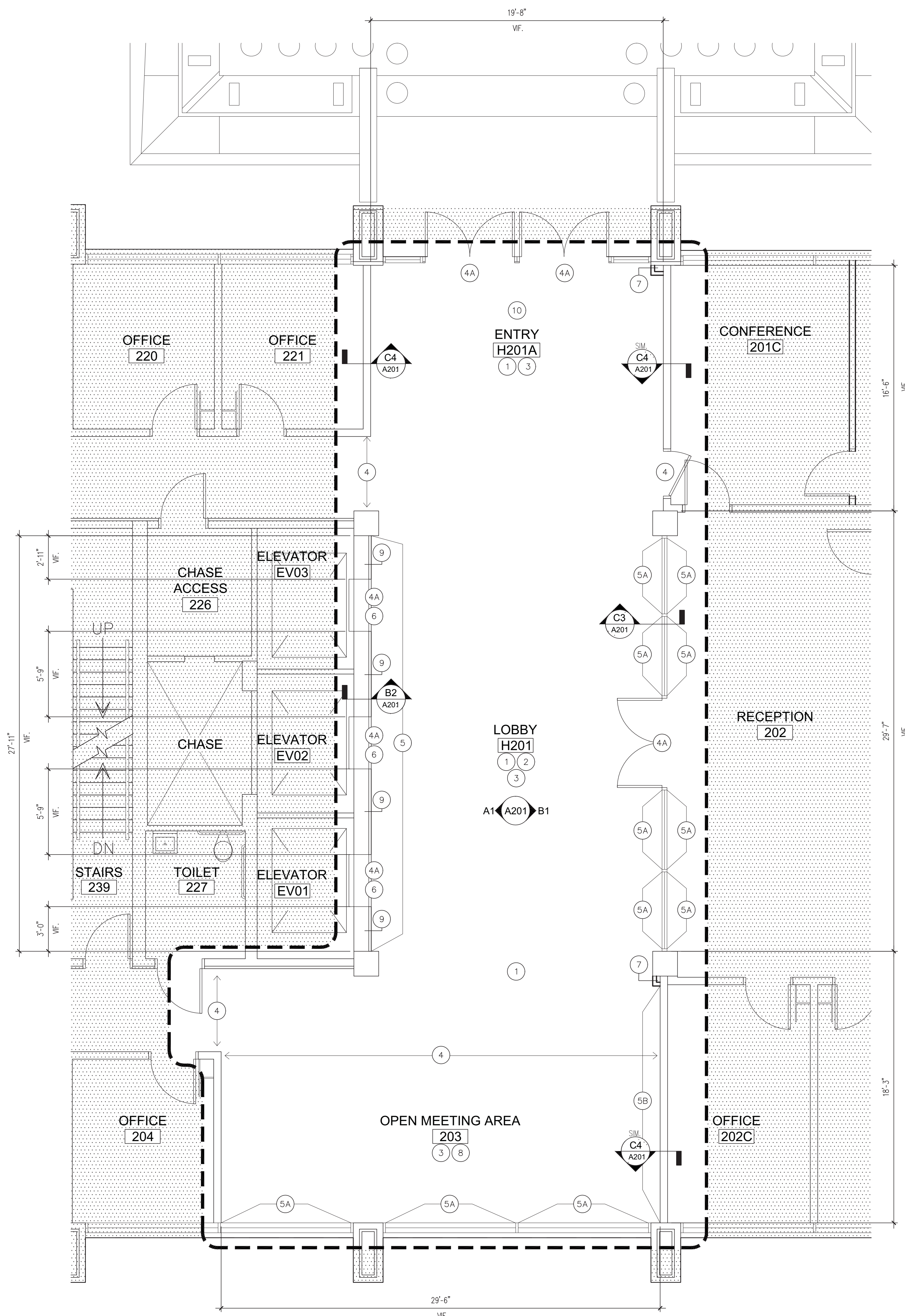
ALTERNATE #2 KEYED RENOVATION NOTES -

- A5 PROVIDE NEW WALL PROTECTION (WP-1) AND SATIN ANODIZED ALUMINUM INSTALLATION ACCESSORIES. PROVIDE FULL PANELS, NO VERTICAL SEAMS. INSTALL PER MANUFACTURER'S WRITTEN SPECIFICATIONS ADHERED OVER EXISTING WALL TILE. INSTALL SIMILAR AND IN SAME ORIENTATION TO 2ND FLOOR LOBBY. REFER TO A1/201 AND FINISH PLAN.
- A6 PROVIDE NEW FINISH AT ELEVATOR DOORS AND FRAME COMPLETE. PROVIDE NEW WALL PROTECTION (WP-1) AT ELEVATOR TRANSOM COMPLETE. REFER TO ELEVATIONS AND MATERIAL LEGEND.



A1 1ST FLOOR RENOVATION PLAN
ALTERNATE #1 AND #2

SCALE: 1/4" = 1'-0"



A2 2ND FLOOR RENOVATION PLAN

SCALE: 1/4" = 1'-0"

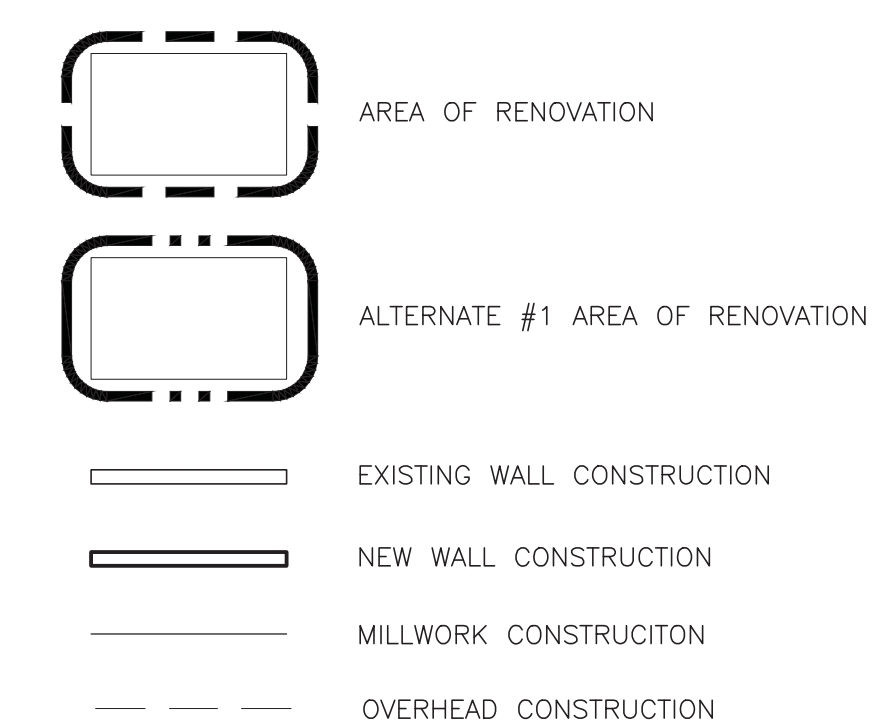
GENERAL RENOVATION NOTES

- A. WHERE EXISTING RATED WALL ASSEMBLIES ARE MODIFIED TO ALLOW FOR NEW WORK THEY SHALL BE RECREATED TO MATCH RATED ASSEMBLY COMPONENTS. ANY REMOVAL, DAMAGE, OR EXISTING BREACHES TO RATED WALL ASSEMBLIES SHALL BE REPAIRED OR REPLACED TO MAINTAIN EXISTING OR NEWLY PRESCRIBED RATINGS. REFER TO PARTITION NOTES AND SPECIFICATIONS.
- B. CONTRACTOR TO COORDINATE WITH ALL EQUIPMENT VENDORS, FOR ALL LOCATIONS OF BOXES, PIPES, CONDUITS, ETC. PRIOR TO COMMENCING WORK.
- C. COMPLETELY PATCH, TRIM, BUSH, REPAIR, AND REFINISH ANY DAMAGED OR IMPERFECT COLUMNS, SURFACES, OR SIMILAR CONDITIONS AFFECTED PRIOR TO, DURING, OR AS A RESULT OF CONSTRUCTION OR DEMOLITION.
- D. DO NOT SCALE DRAWINGS, USE DIMENSIONS ONLY.
- E. DIMENSIONS ARE TYPICALLY SHOWN TO:
E.A. COLUMN CENTERLINES
E.B. FACE OF UNIT MASONRY
E.C. FACE OF FINISHED WALLS
- F. DOOR FRAMES MOUNTED IN STUD FRAMED GYPSUM WALLS ARE LOCATED 4" FROM THE ROOM CORNER TO OUTSIDE FACE OF FRAME UNLESS NOTED OTHERWISE.
- G. DIMENSIONS SHOWN AS EXISTING ARE FOR REFERENCE ONLY. CONTRACTOR TO VERIFY IN FIELD DIMENSIONS, CONDITIONS, AND CLEARANCES PRIOR TO THE SUBMISSION OF SHOP DRAWINGS.
- H. "PROVIDE" AS INDICATED ON THE DRAWINGS AND IN THE SPECIFICATIONS SHALL BE UNDERSTOOD TO MEAN TO INCLUDE FURNISH, INSTALL, AND FINISH COMPLETE AND READY FOR USE.
- I. REFER TO FLOOR FINISH PLAN AND FINISH SCHEDULE SHEET FOR ADDITIONAL DETAILS AND NOTES.
- J. COORDINATE RENOVATION WITH FIRE PROTECTION, PLUMBING, MECHANICAL, ELECTRICAL, AND STRUCTURAL DOCUMENTS.
- K. EXISTING STRUCTURAL COLUMNS, BEAMS, FLOORS, AND FRAMING TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION U.N.O.
- L. REFER TO SHEET G002 FOR PARTITION TYPES, PARTITION DIMENSIONS, NOTES AND DETAILS.
- M. REPAIR, PATCH, PRIME, AND PAINT 'CORNER TO CORNER' EXISTING WALLS WHERE ARCHITECTURAL, PLUMBING, MECHANICAL, AND/OR ELECTRICAL ITEMS HAVE BEEN REMOVED.

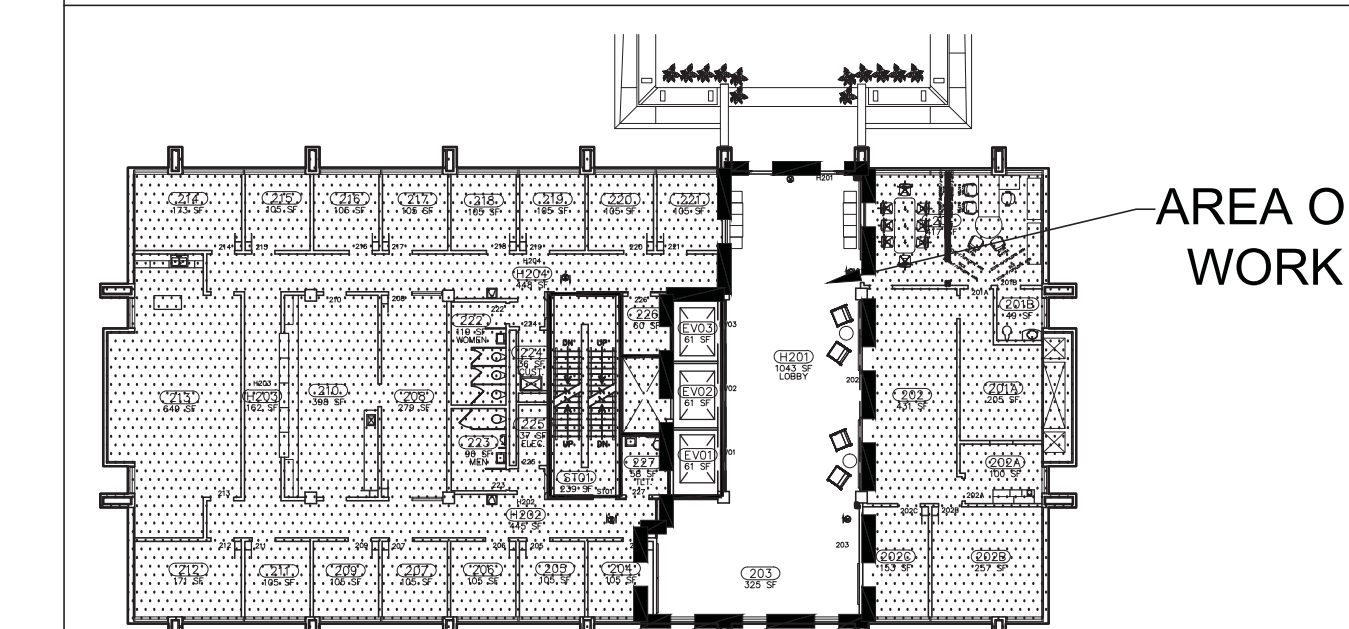
KEYED RENOVATION NOTES

- 1 REPAIR/ALIGNMENT FRAMING AS REQUIRED TO REBUILD BULKHEADS TO EXISTING DIMENSIONS. PROVIDE NEW GWB COMPLETE. REFER TO C2/A500 AND C3/A500 FOR TYPICAL EDGE DETAILS. PATCH, PRIME, AND PAINT PT-3 COMPLETE. REFER TO R.C.P. AND MATERIAL LEGEND.
- 2 PROVIDE NEW CEILING GRID AND ACT. REFER TO RENOVATION R.C.P.
- 3 LEVEL, PATCH, AND PRIME SUBFLOOR AS REQUIRED FOR LEVEL INSTALLATION. PREP FLOOR TO RECEIVE NEW FINISH FLOORING PER MANUFACTURER'S WRITTEN SPECIFICATIONS. PROVIDE NEW FINISH FLOORING AND WALL BASE COMPLETE. COORDINATE WITH FINISH PLAN.
- 4 PROVIDE NEW CONTINUOUS TRANSITION STRIP FROM TILE TO CARPET TRANSITIONS. FLOAT TRANSITION BETWEEN TILE AND NEW CARPET FOR FLUSH TRANSITION. REFER TO DETAIL C1/A201 AND FINISH PLAN.
- 4A REINSTALL ALUMINUM TRANSITION STRIPS AT DOOR THRESHOLD. INSTALLATION TO BE COORDINATED WITH NEW FINISH TILE FOR FLUSH FINISH.
- 5 PROVIDE NEW WALL PROTECTION (WP-1) AND SATIN ANODIZED ALUMINUM INSTALLATION ACCESSORIES. PRIOR TO INSTALLATION, PROVIDE FULL SKIM COAT OVER EXISTING TILE. ELIMINATE ALL VOIDS, CRACKS, AND IMPERFECTIONS. INSTALL FULL PANELS (NO VERTICAL SEAMS) PER MANUFACTURER'S WRITTEN SPECIFICATIONS FULLY ADHERED OVER EXISTING WALL TILE COMPLETE. REFER TO ELEVATIONS AND SPECIFICATIONS.
- 5A PROVIDE NEW WALL PROTECTION (WP-1) AT BOTTOM ROW OF STOREFRONT COMPLETE TO FRAME. PROVIDE FULL PANELS, NO VERTICAL SEAMS. INSTALL PER MANUFACTURER'S WRITTEN SPECIFICATIONS ADHERED OVER EXISTING GLAZING. REFER TO ELEVATIONS AND SPECIFICATIONS.
- 5B PROVIDE NEW WALL PROTECTION (WP-1) AND SATIN ANODIZED ALUMINUM INSTALLATION ACCESSORIES. WALL PANEL TO MATCH FINISH HEIGHT OF ADJACENT INSTALLATION AT STOREFRONT AND THEN CAPPED WITH J-MOLDING. PROVIDE FULL PANELS, NO VERTICAL SEAMS. INSTALL PER MANUFACTURER'S WRITTEN SPECIFICATIONS. REFER TO ELEVATIONS AND SPECIFICATIONS.
- 6 PROVIDE NEW FINISH AT ELEVATOR DOORS AND FRAME COMPLETE. PROVIDE NEW WALL PROTECTION (WP-1) AT ELEVATOR TRANSOM COMPLETE. REFER TO ELEVATIONS AND MATERIAL LEGEND.
- 7 PROVIDE NEW BUILD-OUT FLUSH WITH EXISTING FINISH COLUMN TO ENCLOSE ALL CONDUIT. BUILD-OUT FINISH HEIGHT TO BE A MINIMUM OF 6" ABOVE FINISH CEILING. RELOCATE EXISTING CONDUIT WITHIN NEW BUILD OUT FOR RELOCATED DEVICES. REFER TO ELECTRICAL DRAWINGS.
- 8 EXISTING CEILING TO REMAIN. REPLACE DAMAGED/STAINED FINISH ACT TO MATCH EXISTING (APPROXIMATELY 10 TILES).
- 9 CONTRACTOR TO PROVIDE WIRING AND CONDUIT TO ACCOMMODATE OWNER FURNISHED AND INSTALLED WALL SCONCES. COORDINATE WITH OWNER AND FACILITIES DEPARTMENT PRIOR TO ANY ALTERATIONS OR INSTALLATION AT WALL TILE FINISH. REFER TO ELECTRICAL DRAWINGS.
- 10 PROVIDE WALK-OFF MAT AND RUBBER TRANSITION STRIP OVER TILE AT ENTRY DOORS. REFER TO FINISH PLAN AND SPECIFICATIONS.

LEGEND



KEY PLAN NTS



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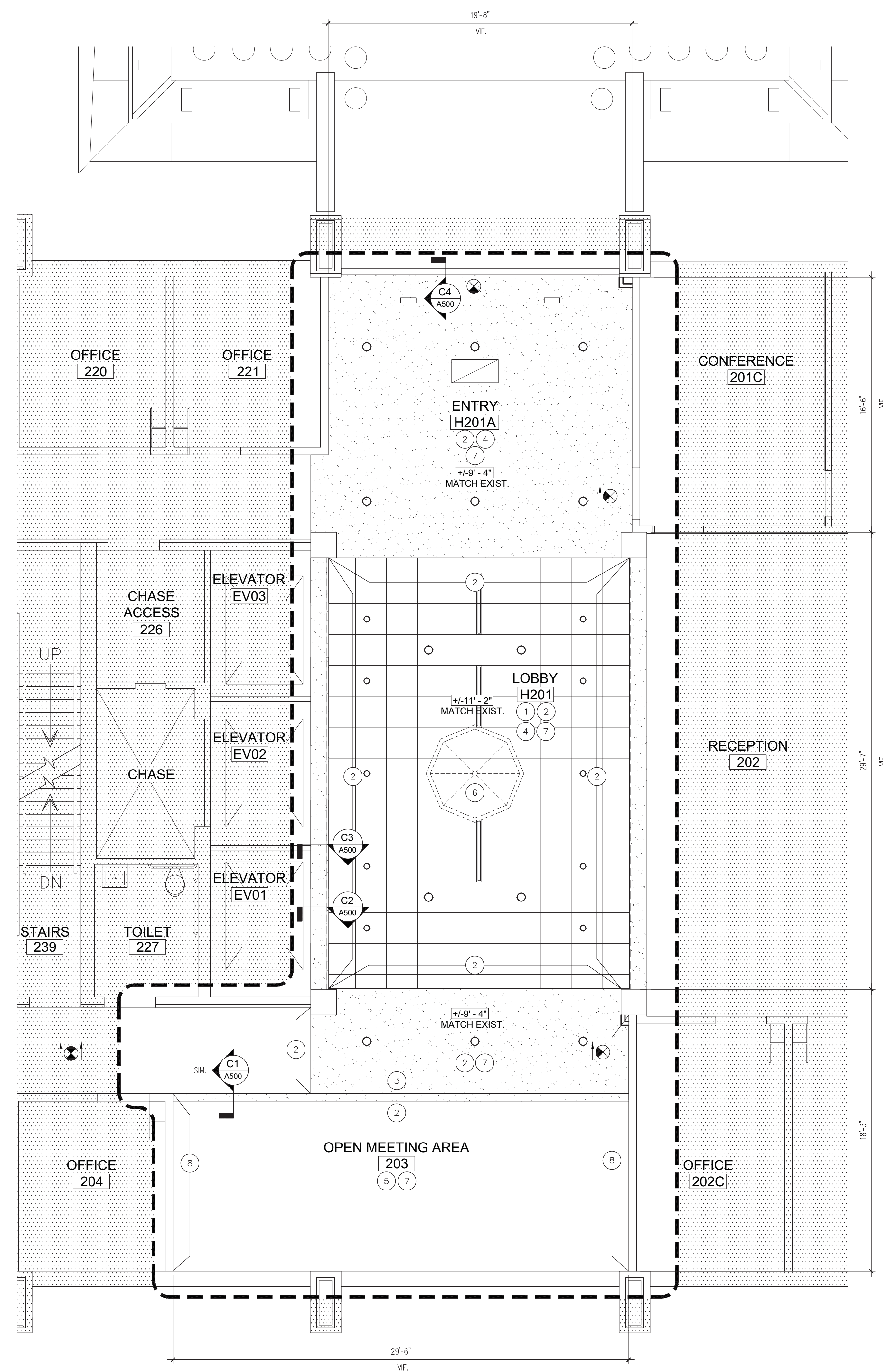
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2ND FLOOR RENOVATION PLAN AND ALTERNATE #1 & #2 - 1ST FLOOR RENOVATION PLAN

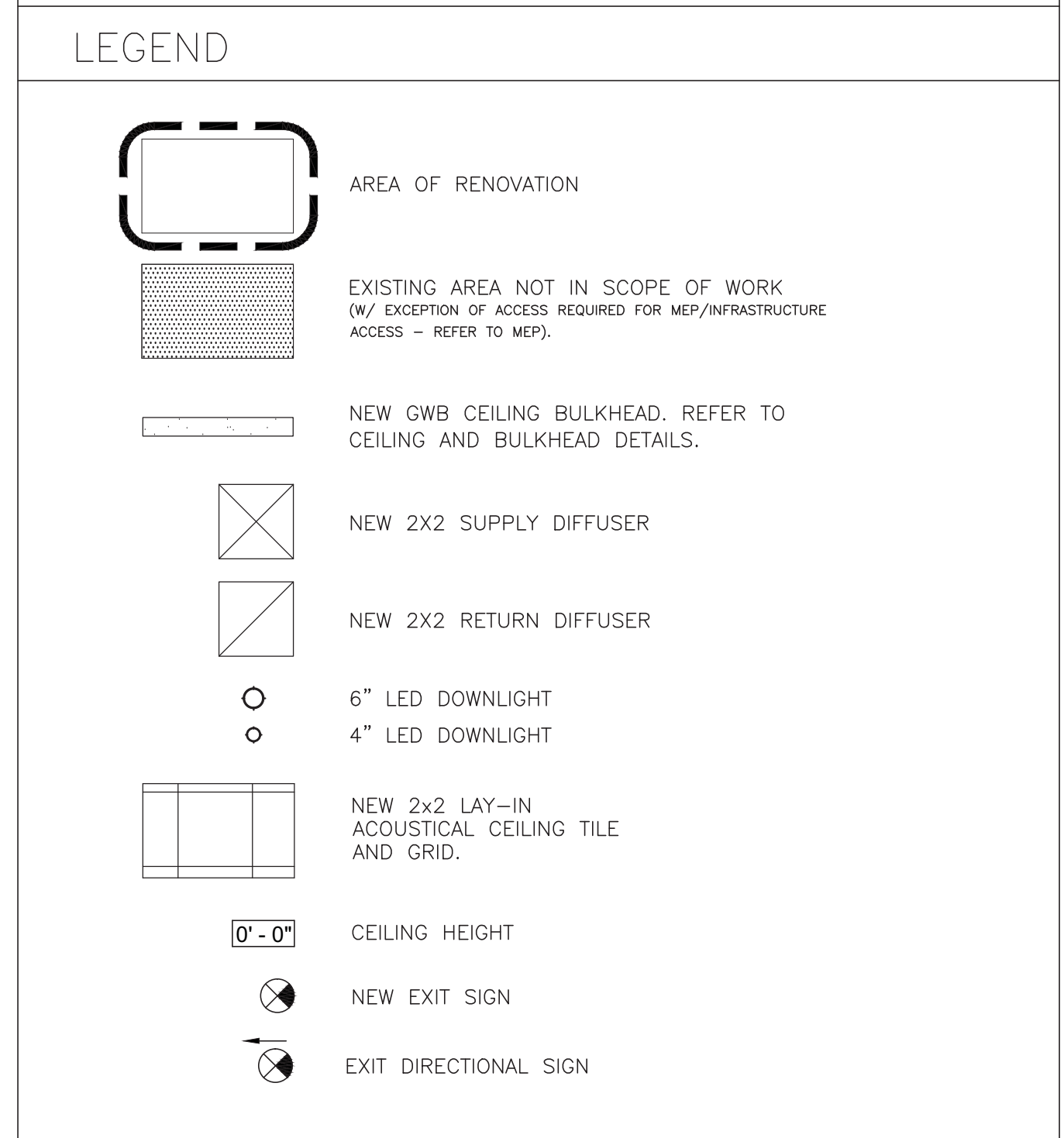
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2ND FLOOR RENOVATION REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

- ### CEILING RENOVATION NOTES
- A. SEE A700 FINISH LEGEND AND FINISH SCHEDULE FOR CEILING TYPES AND MATERIALS.
 - B. CEILING GRIDS OR TILES TO BE CENTERED IN ALL ROOMS IN BOTH DIRECTIONS UNLESS NOTED OTHERWISE. PARTIAL TILES SHALL NOT BE LESS THAN 6" IN EITHER DIMENSION. PARTIAL TILES SHALL BE CUT FROM TILES OF THE SAME TYPE.
 - C. COORDINATE REFLECTED CEILING PLANS WITH ELECTRICAL, MECHANICAL, FIRE PROTECTION AND ROOM FINISH INFORMATION.
 - D. IN THE CASE OF MINOR DISCREPANCIES IN LOCATION OF CEILING MOUNTED COMPONENTS, THE REFLECTED CEILING PLAN SHALL GOVERN. IN THE CASE OF MAJOR DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED BEFORE PROCEEDING WITH THE WORK.
 - E. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR MOUNTING LOCATIONS OF ITEMS WHERE NO CEILING IS REQUIRED OR INDICATED.
 - F. ALL CEILING HEIGHTS TO MATCH EXISTING UNO.
 - G. CONTRACTOR TO VERIFY ALL PREVIOUSLY INSTALLED CONSTRUCTION CONDITIONS PRIOR TO FABRICATION OR STARTING OF CEILING CONSTRUCTION.
 - H. LIGHTS, DIFFUSERS, EXIT SIGNS, SMOKE DETECTORS, SPEAKERS, GENERAL ALARM/SPEAKERS/STROBES, AND MISC. DEVICES SHALL BE CENTERED IN THE CEILING TILES IN WHICH THEY OCCUR. UNO. REFER TO MECHANICAL AND ELECTRICAL FOR LOCATION.
 - I. PROVIDE ACCESS PANELS IN ROOMS WITH GYPSUM BOARD WALLS AND CEILINGS AT DUCT DAMPER CONTROLS, DUCT MOUNTED SMOKE DETECTORS, MANUAL DUCT CONTROLS, VALVES, JUNCTION BOXES, FCU'S AND ANY RELATED DEVICES AS REQUIRED.
 - J. CEILING SEISMIC DETAILS ARE PROVIDED TO ILLUSTRATE THE GENERAL REQUIREMENTS OF CISCA GUIDELINES FOR SEISMIC RESTRAINT AND IBC CHAPTER 16. CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE PROVISIONS OF THESE STANDARDS. IN CASE OF CONFLICT, THE MORE STRINGENT STANDARD WILL PREVAIL. REFER TO A500.
 - K. REFER TO LIFE SAFETY PLAN G003 FOR WALL FIRE RATINGS, SMOKE RESTRICTIVE WALLS AND FIRE RATED WALLS EXTEND ABOVE CEILING TO BOTTOM OF DECK.
 - L. ALL SOFFIT DIMENSIONS TO BE VERIFIED WITH EQUIPMENT.

- ### KEYED CEILING NOTES
- 1 PROVIDE NEW FINISH ACOUSTICAL CEILING TILE AND GRID COMPLETE.
 - 2 PROVIDE NEW GWB FINISH COMPLETE AT EXISTING BULKHEADS TO BE AUGMENTED AND REFINISHED TO MATCH EXISTING DIMENSIONS. PATCH, PRIME, AND PAINT PT-3 ALL SIDES COMPLETE. REFER TO MATERIAL LEGEND AND SPECIFICATIONS.
 - 3 REPAIR/AUGMENT FRAMING AS REQUIRED TO COORDINATE WITH NEW BRACING TO CEILING. PROVIDE NEW GWB AS REQUIRED TO FINISH SOFFIT AT A LEVEL FINISH HEIGHT OF +/- 4" BELOW FINISH CEILING HEIGHT AT. PATCH, PRIME, AND PAINT PT-3. REFER TO MATERIAL LEGEND AND SPECIFICATIONS.
 - 4 COORDINATE REINSTALLATION OF DIFFUSERS WITH NEW FINISH GRID AND ACT. REFER TO MECHANICAL DRAWINGS.
 - 5 EXISTING CEILING TO REMAIN. REPLACE DAMAGED/STAINED FINISH ACT TO MATCH EXISTING (APPROXIMATELY 10 TILES)
 - 6 CONTRACTOR TO PROVIDE WIRING AND CONDUIT TO ACCOMMODATE OWNER FURNISHED AND INSTALLED CEILING MOUNTED CHANDELIER. BRACE JUNCTION BOX AS REQUIRED TO SUPPORT NEW FIXTURE. COORDINATE WITH OWNER PRIOR TO INSTALLATION. REFER TO ELECTRICAL DRAWINGS.
 - 7 REINSTALL EXISTING CEILING MOUNTED FIRE AND LIFE SAFETY DEVICES.
 - 8 TAPE AND MUD ALL EXISTING GWB SEAMS ABOVE CEILING TO DECK ABOVE COMPLETE. FIRE CAULK ALL PENETRATIONS (APPROXIMATELY +/- 10 LINEAR FT.)



KEY PLAN NTS

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2ND FLOOR RENOVATION REFLECTED CEILING PLAN

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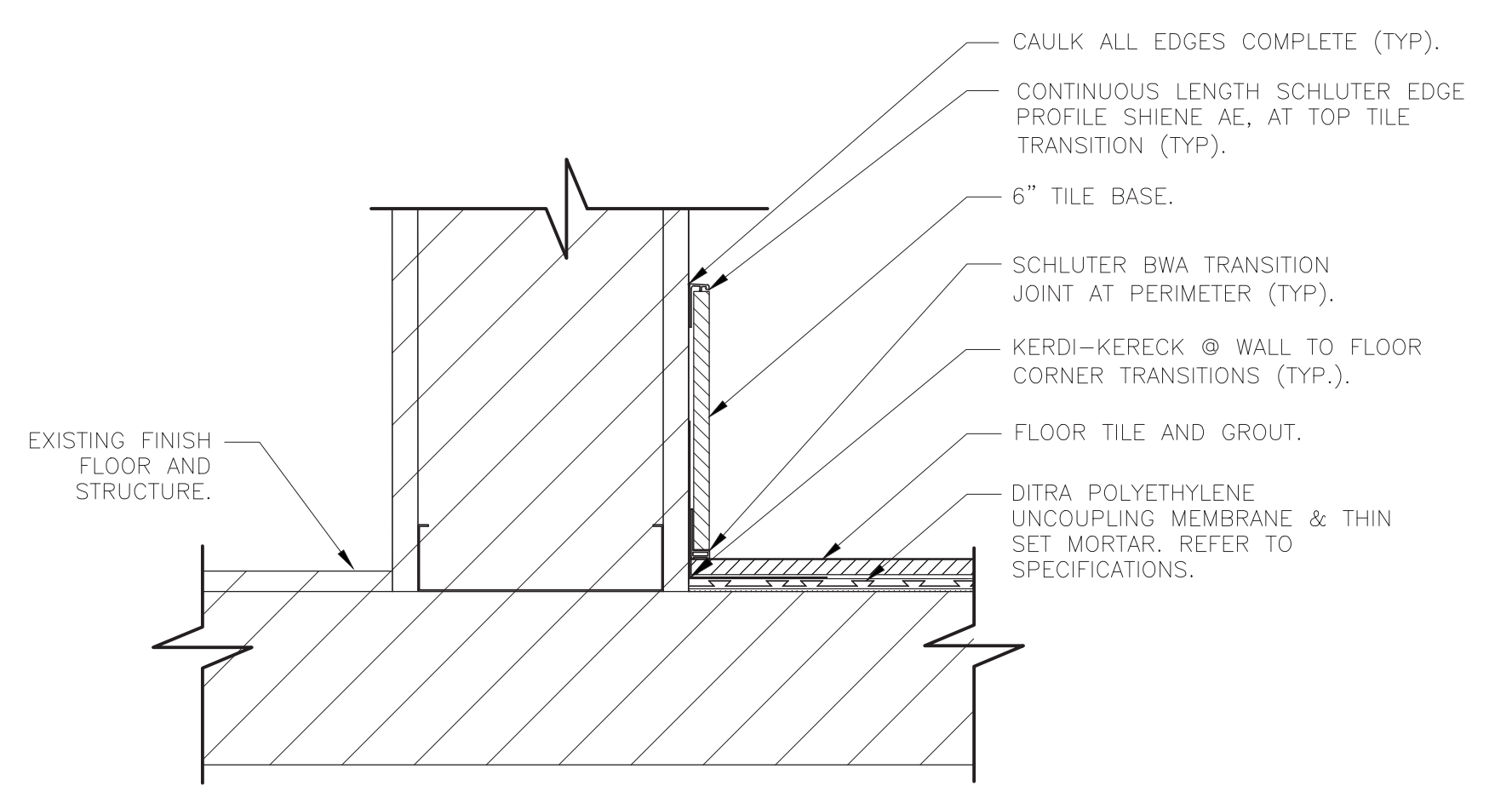
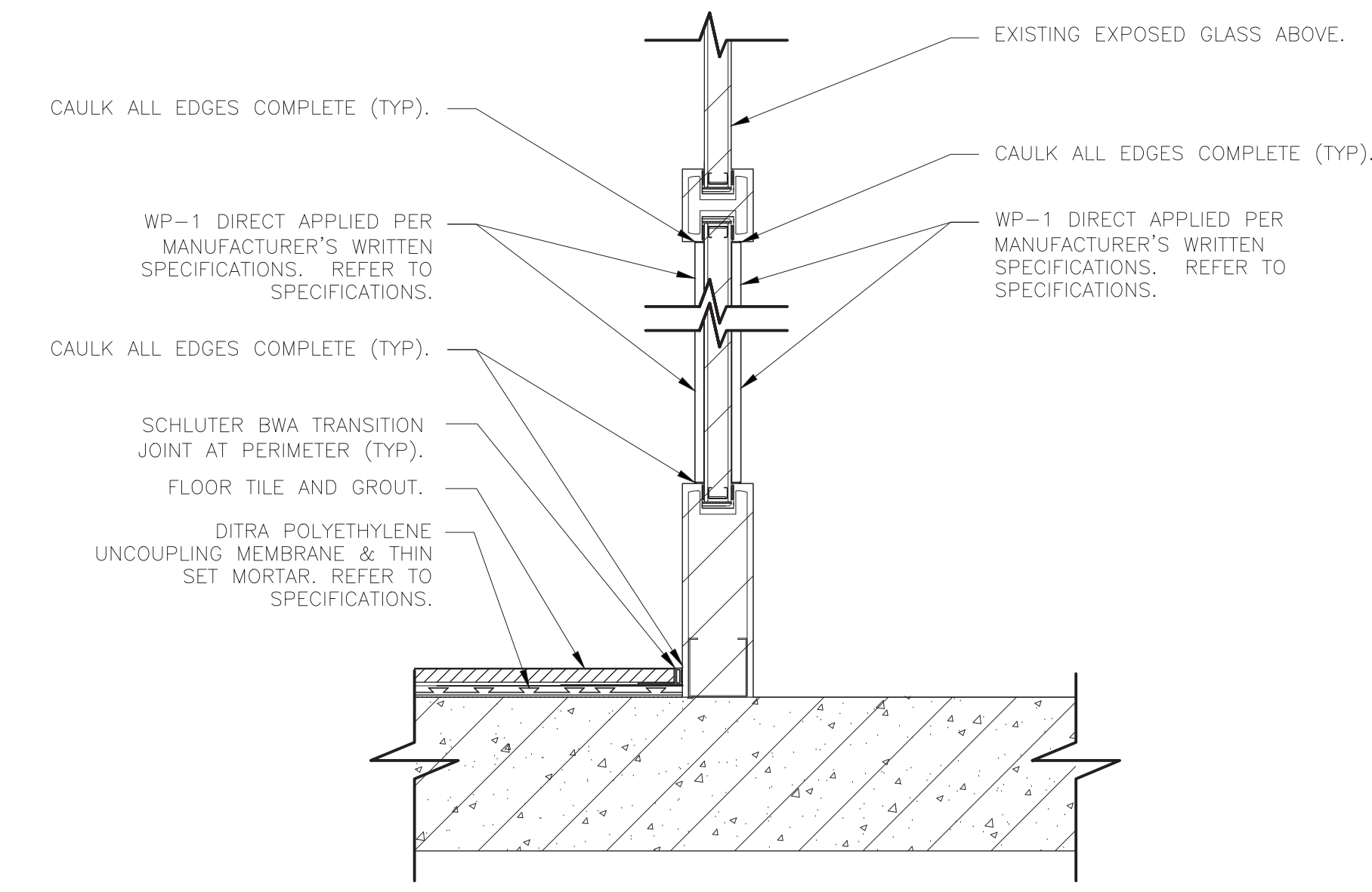
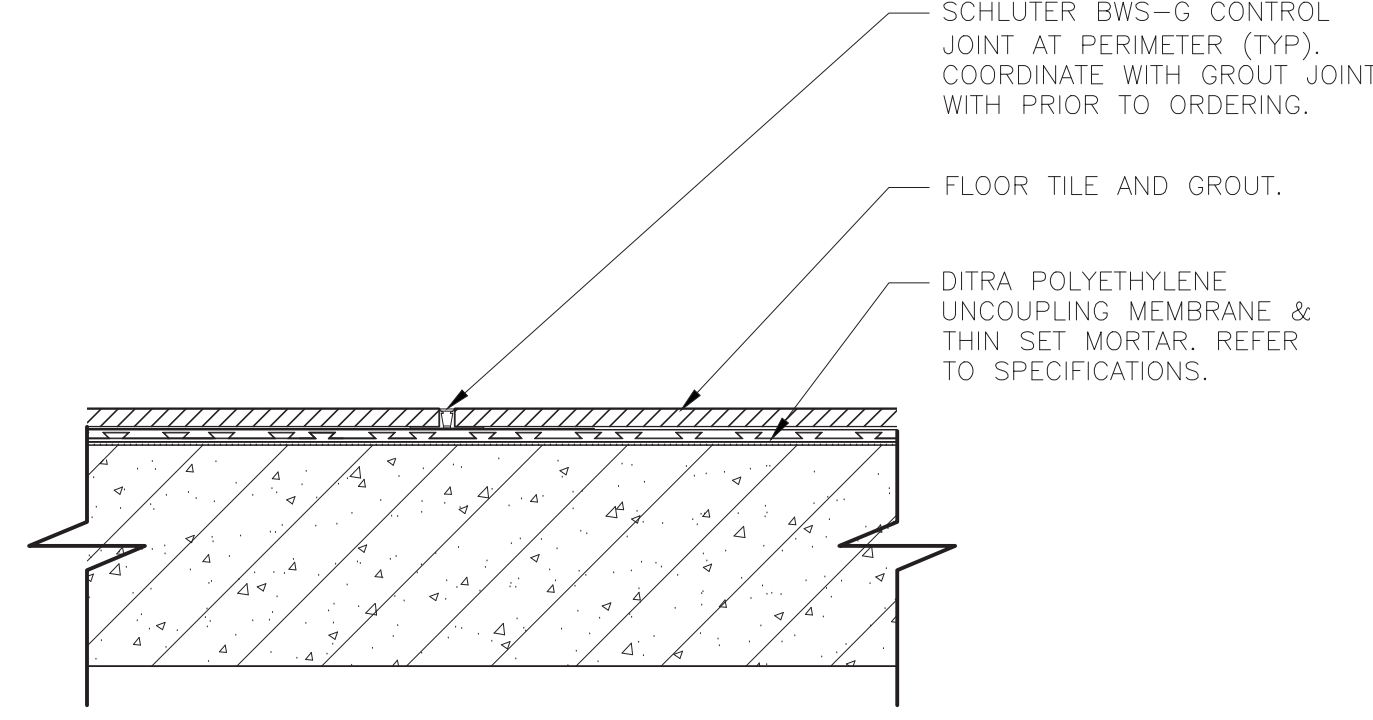
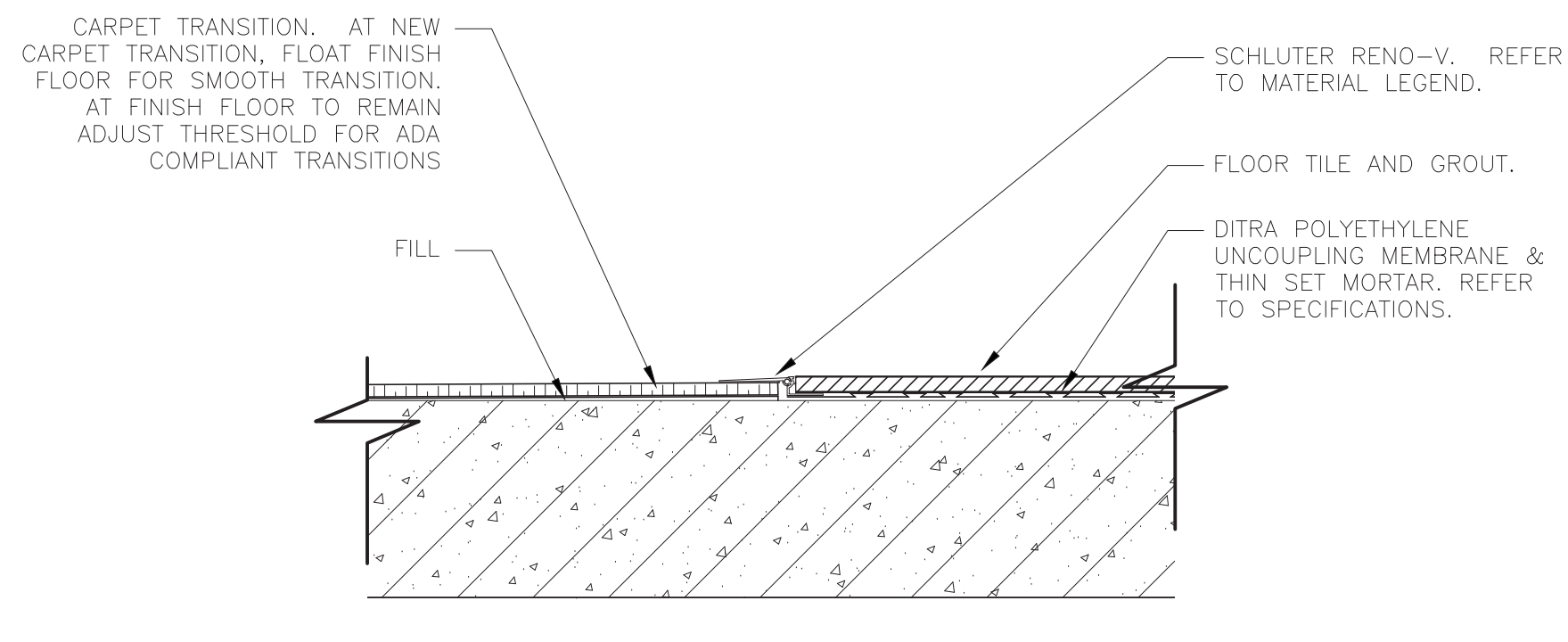
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NOTE:
1. VERIFY DEPTH OF AFTER DEMOLITION FOR LEVEL TRANSITION. ENSURE THRESHOLD IS ADA COMPLIANT.

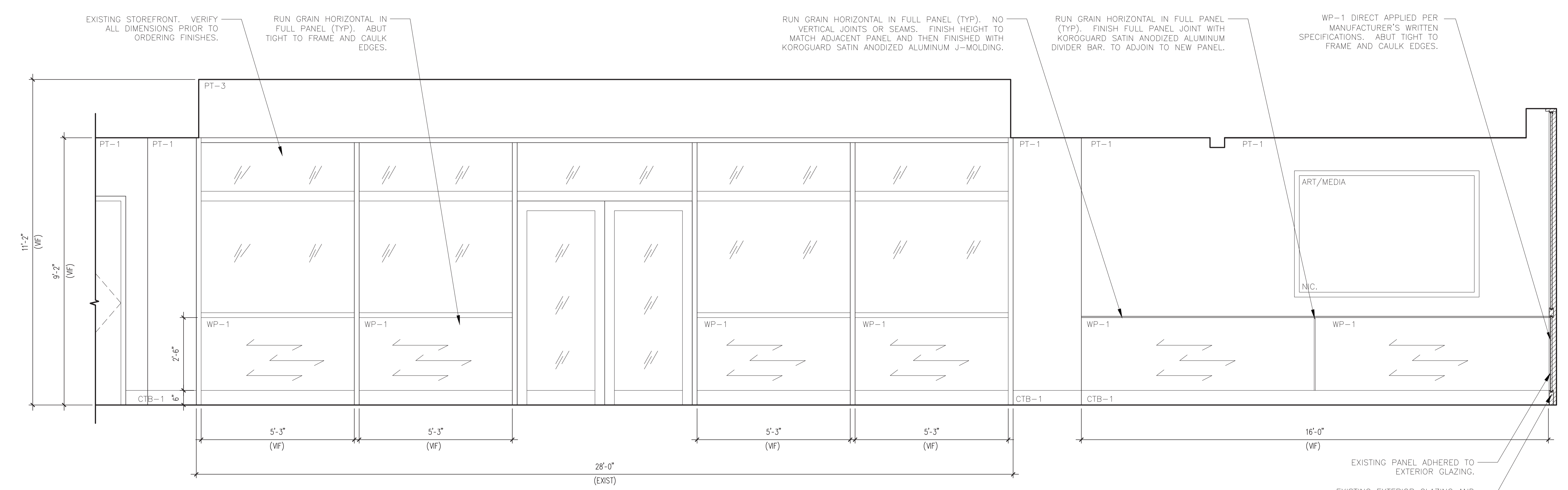


C1 FLOOR TRANSITION AT TILE TO CARPET
SCALE: 3" = 1'-0"

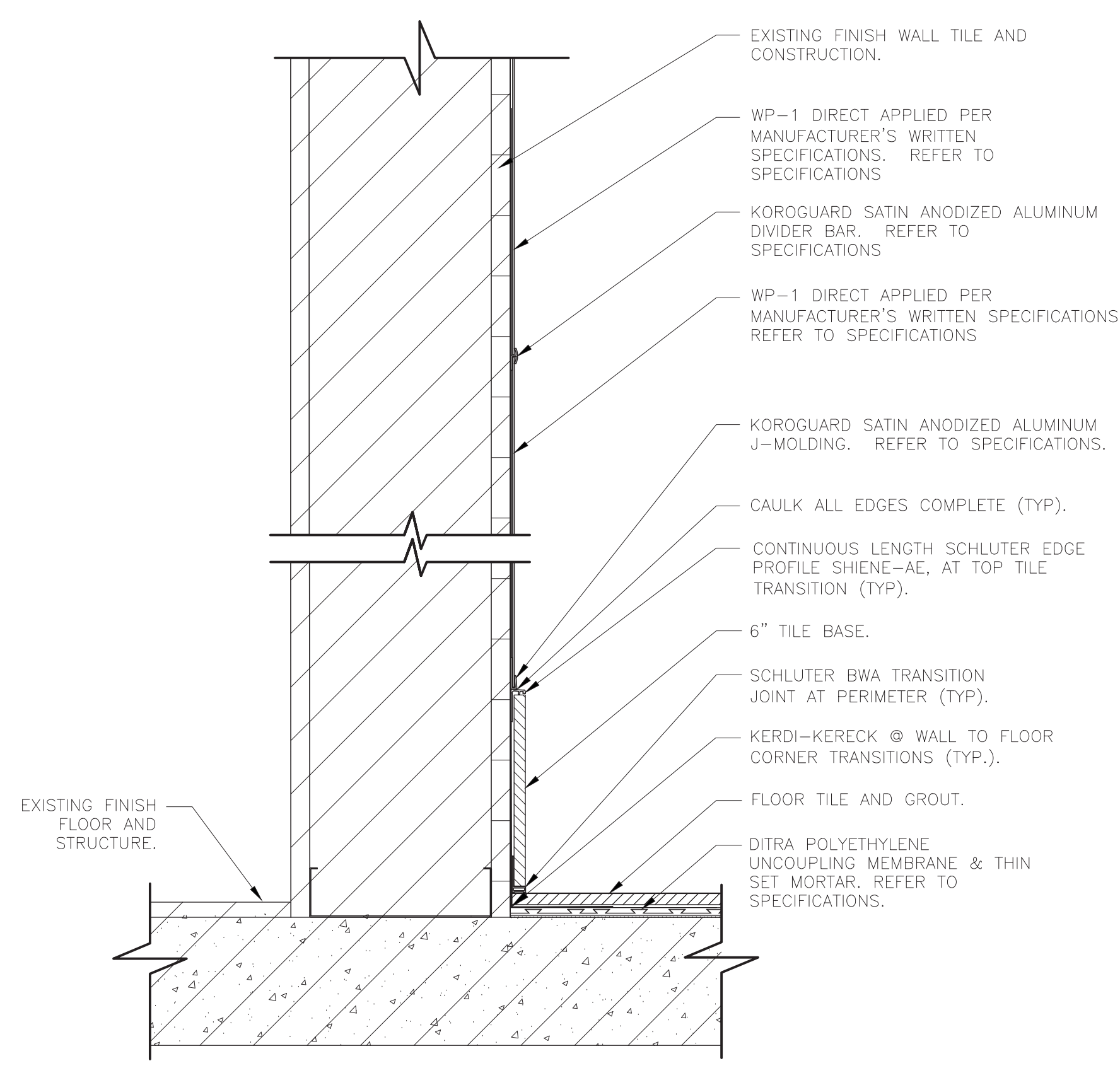
C2 FIELD CONTROL JOINT DETAIL
SCALE: 3" = 1'-0"

C3 TILE DETAIL AT STOREFRONT
SCALE: 3" = 1'-0"

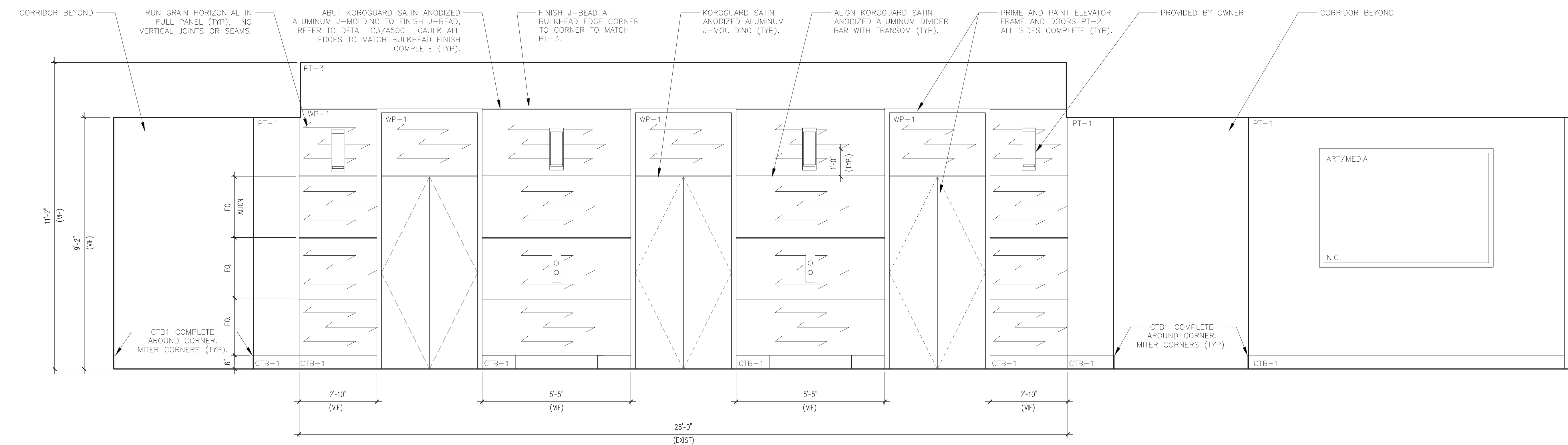
C4 TILE DETAIL AT BASE
(CTB1 BASE TO INSTALL SIMILARLY AT CARPET TRANSITIONS)
SCALE: 3" = 1'-0"



B1 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



B2 TILE DETAIL AT EXISTING WALL TILE TO BE REFINISHED
SCALE: 3" = 1'-0"



A1 INTERIOR ELEVATION
(INSTALL ALTERNATE #2 FIRST FLOOR WP-1 IN SAME ORIENTATION AND ALIGNMENT. COORDINATE WITH DETAILS AND EXISTING DIMENSIONS. VERIFY IN FIELD PRIOR TO ORDERING.)
SCALE: 1/2" = 1'-0"

DETAIL NOTES.

- A. INSTALL WP-1 PANEL WITH THE GRAIN PATTERN IN A HORIZONTAL ORIENTATION. INSTALL FULL PANELS. NO VERTICAL JOINTS OR SEAMS WITHIN PANEL LENGTH. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO ORDERING FINISHES.
- B. NO CUT TILE SHALL BE LESS THAN 5" IN WIDTH OR 3" IN HEIGHT.
- C. CEILING HEIGHTS DIMENSIONED ON INT. ELEVATIONS ARE BASED ON THE LOBBY ROOM SHOWN. CEILING HEIGHTS VARY. REFER TO REFLECTED CEILING PLANS FOR FINISHED HEIGHT OF NEW AND EXISTING CEILINGS. VERIFY IN FIELD.
- D. AT AREAS WHERE WALL TILE SURROUNDS EXHAUST GRILLE, TILE SHALL BE INSTALLED AROUND ROUGH OPENING FOR NEW GRILLE VENT. INSTALL GRILLE VENT USING EPOXY ADHESIVE. REFER TO MECHANICAL.
- E. REFER TO ELECTRICAL FOR NEW WALL MOUNTED LIGHTS ABOVE SINKS. REFER TO ARCHITECTURAL FOR MOUNTING HEIGHTS AND LOCATIONS. SEE INTERIOR ELEVATIONS AND REFLECTED CEILING PLANS.
- F. PROVIDE CUT OUTS IN FLOOR TILE AT FLOOR BOXES (ROUND) IN A SINGLE TILE. COORDINATE PATTERN AND ADJUSTMENT TO BOXES AS REQUIRED.
- G. INTERSECTIONS OF EDGE AND TRANSITION PROFILES SHALL BE MITERED AT 45 DEGREES U.N.O.
- H. REFER TO DETAILS FOR TYPICAL AND SIMILAR CONDITIONS AT INTERIOR AND EXTERIOR CORNER TRANSITIONS.
- I. CAULK ALL EDGES OF FLOOR AND WALL TILE ABUTS NEW MATERIALS.
- J. REFER TO INTERIOR ELEVATIONS AND FINISH PLANS FOR TILE LAYOUT.
- K. GO TO COORDINATE ALL SCHLUTER PIECES WITH ARCHITECT AND TILE DISTRIBUTOR. TILE SUBCONTRACTOR TO COORDINATE PROFILE SIZES WITH FINISH TILE SIZES. SUBMIT SIZING OF ALL PIECES TO ARCHITECT.

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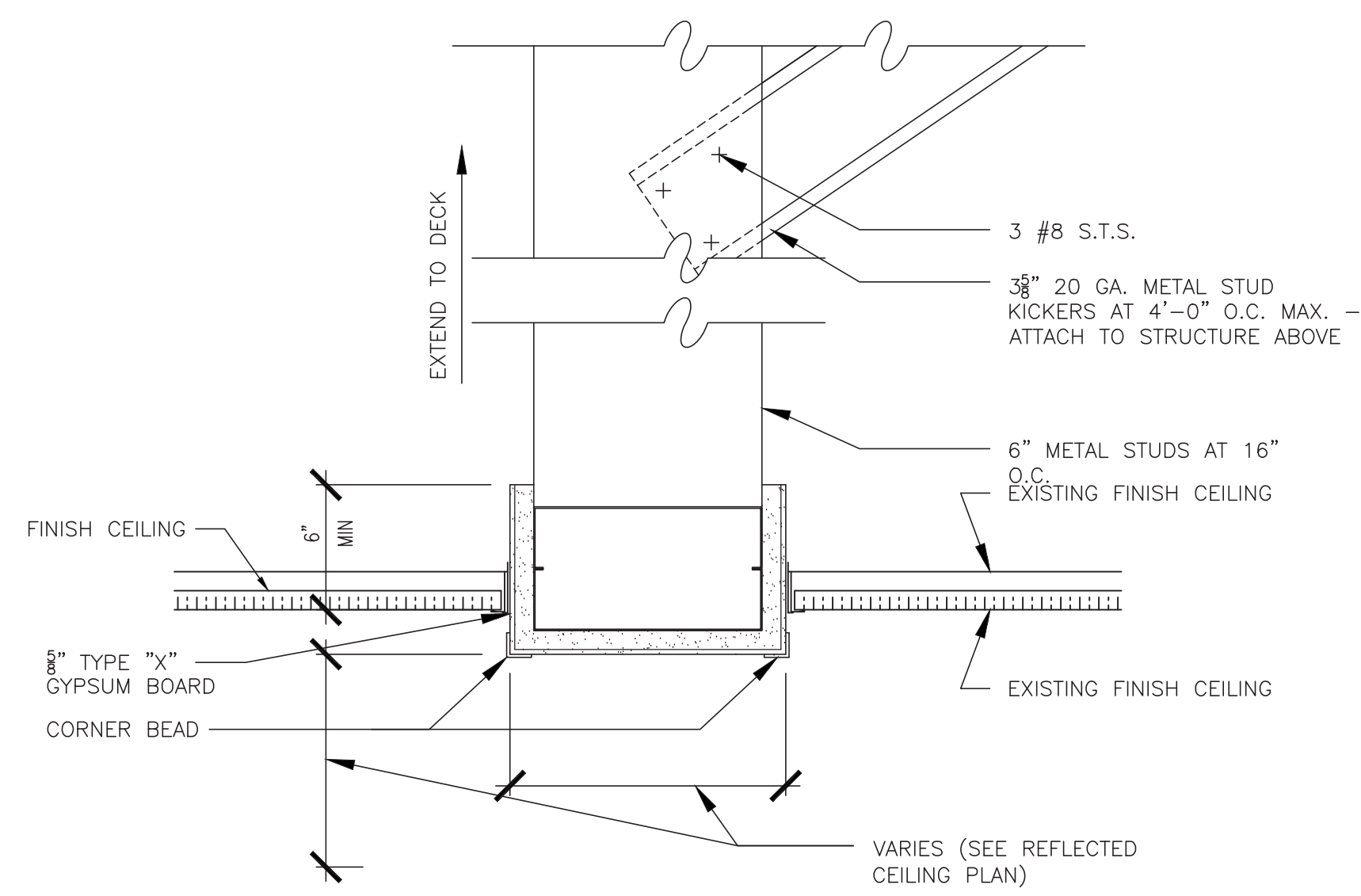
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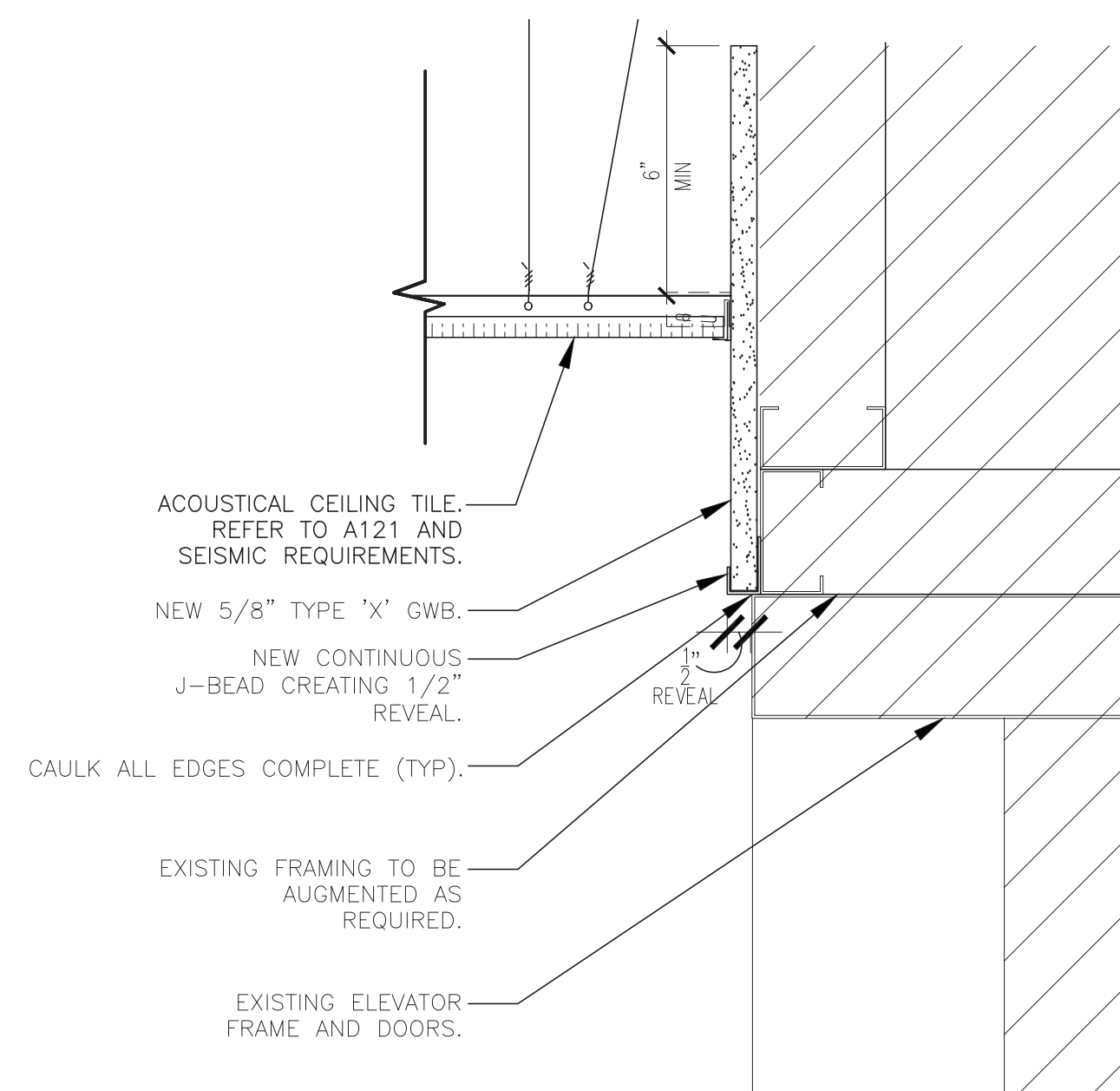
INTERIOR ELEVATIONS AND DETAILS

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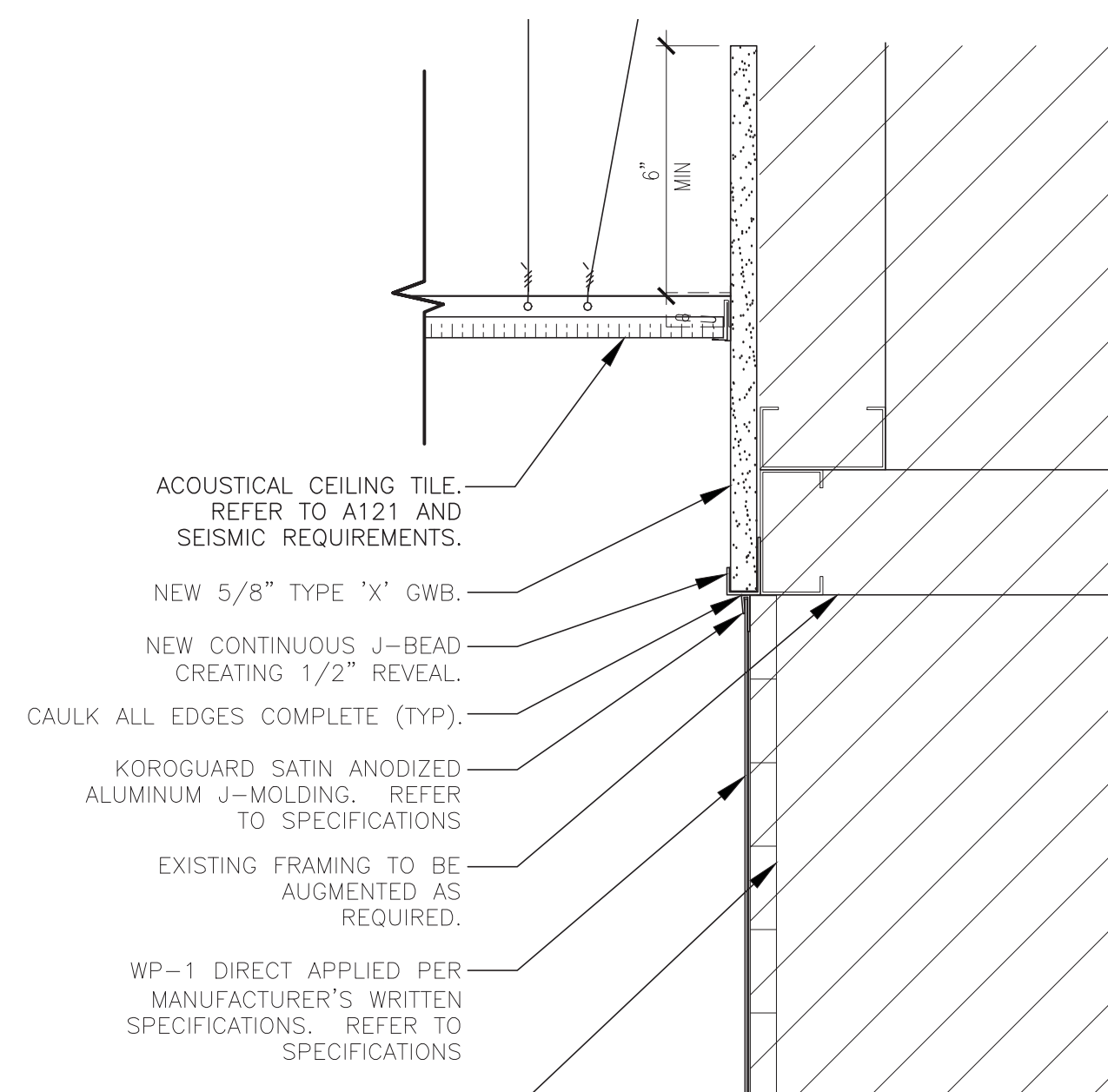
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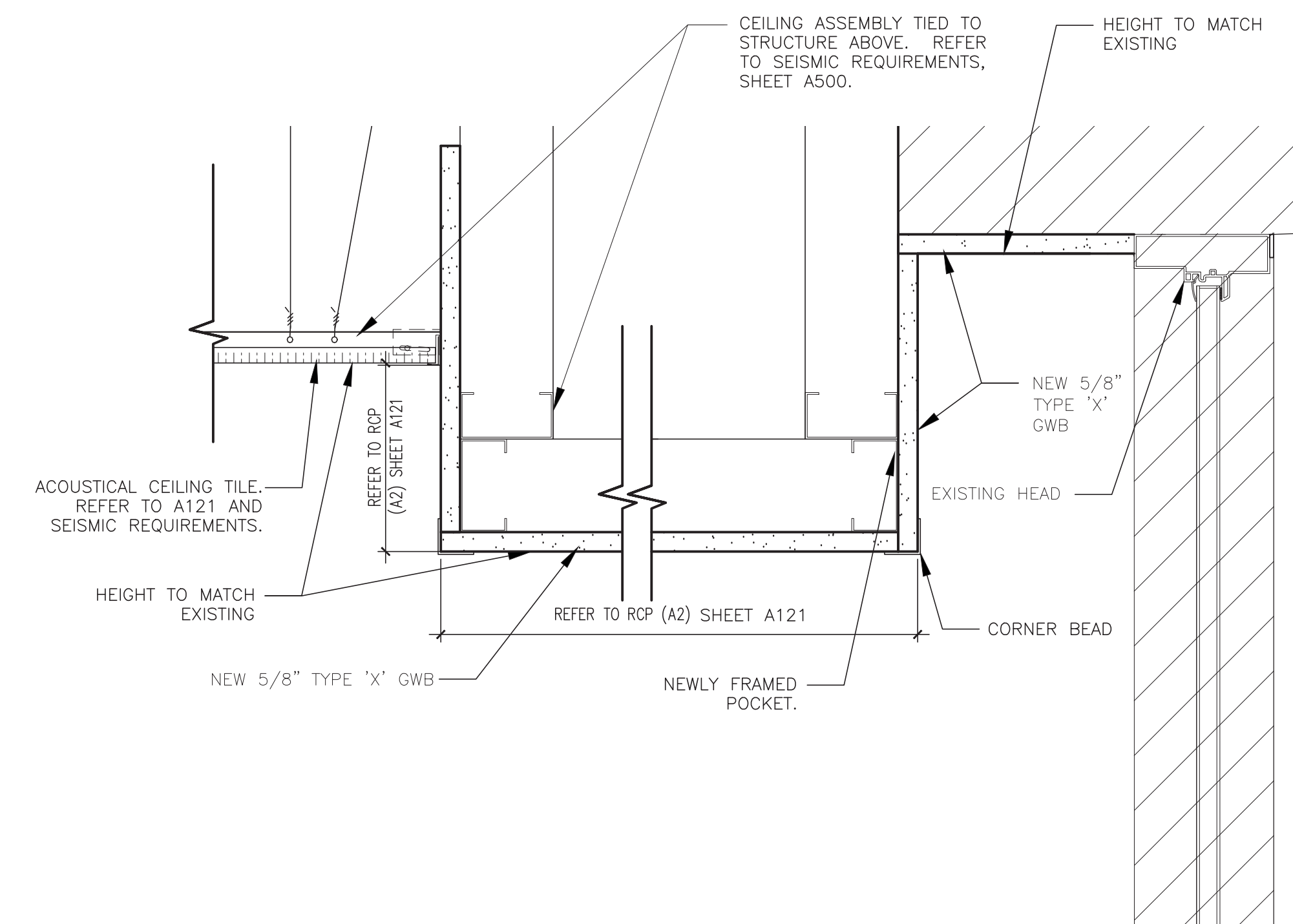
C1 BULKHEAD DETAIL
SCALE: 3" = 1'-0"



C2 BULKHEAD DETAIL
SCALE: 3" = 1'-0"



C3 BULKHEAD DETAIL
SCALE: 3" = 1'-0"



C4 BULKHEAD DETAIL
SCALE: 3" = 1'-0"

SEISMIC "C" REQUIREMENTS FOR CEILINGS 144 GSF OR GREATER CATEGORY

CONNECTIONS/HANGERS	INTERMEDIATE OR HEAVY DUTY GRID
INTERSECTION STRENGTH	60 LBS
HANGERS	#12 @ 4' O.C.
PLUMB	NOT MORE THAN 1 IN. 6 OR 10" FROM VERTICAL
CONNECTION DEVICES	NOT REQUIRED
PERIMETER WIRES - ALL WALLS	NOT REQUIRED IF WALL MOULDING > 7/8"
SPLAY BRACING	NOT REQUIRED
4 WIRE CLUSTERS	N/A
FIRST POINT	N/A
SPACING	N/A
CONNECTION STRENGTH	N/A
COMPRESSION POSTS	N/A
MOLDING/PARTITIONS	INTERMEDIATE OR HEAVY DUTY GRID
MOLDING	MIN. 7/8"
ATTACHMENT (NO MOVEMENT)	N/A
CLEARANCE (FREE TO MOVE)	3/8" @ ALL WALLS
SPACER BARS	NOT REQUIRED W/ CLIPS
PARTITION ATTACHMENT	ALLOWED ONLY IF CEILING IS ABLE TO MOVE VERTICALLY UNDER 2,500 SF
LIGHTING/FIXTURES	INTERMEDIATE OR HEAVY DUTY GRID
LIGHTS LESS THAN 56LBS	2 CONNECTORS/2 SLACK WIRES
LIGHTS GREATER THAN 56LBS	SUSPEND FROM STRUCTURE, NOT GRID
MECHANICAL LESS THAN 20LBS	ATTACHED TO GRID
MECH. GREATER THAN 20LBS, LESS THAN 56LBS	2 SLACK WIRES
MECHANICAL GREATER THAN 56LBS	SUSPEND FROM STRUCTURE, NOT GRID

CEILING AND SEISMIC NOTE

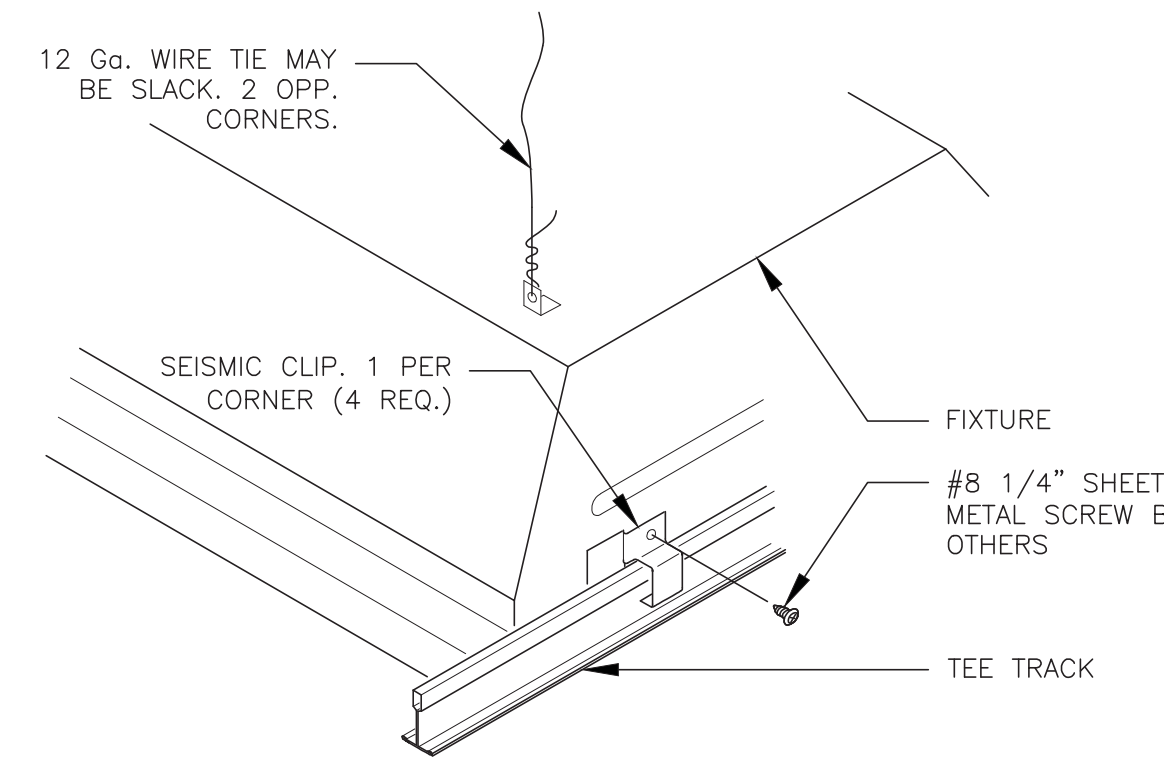
CEILING SEISMIC DETAILS ARE PROVIDED TO ILLUSTRATE THE GENERAL REQUIREMENTS OF CISCA GUIDELINES FOR SEISMIC D RESTRAINT AND IBC CHAPTER 16. CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE PROVISIONS OF THESE STANDARDS. IN CASE OF CONFLICT, THE MORE STRINGENT STANDARD WILL PREVAIL. REFER TO CEILING AND SEISMIC DETAILS.

CEILING INSTALLATION NOTES

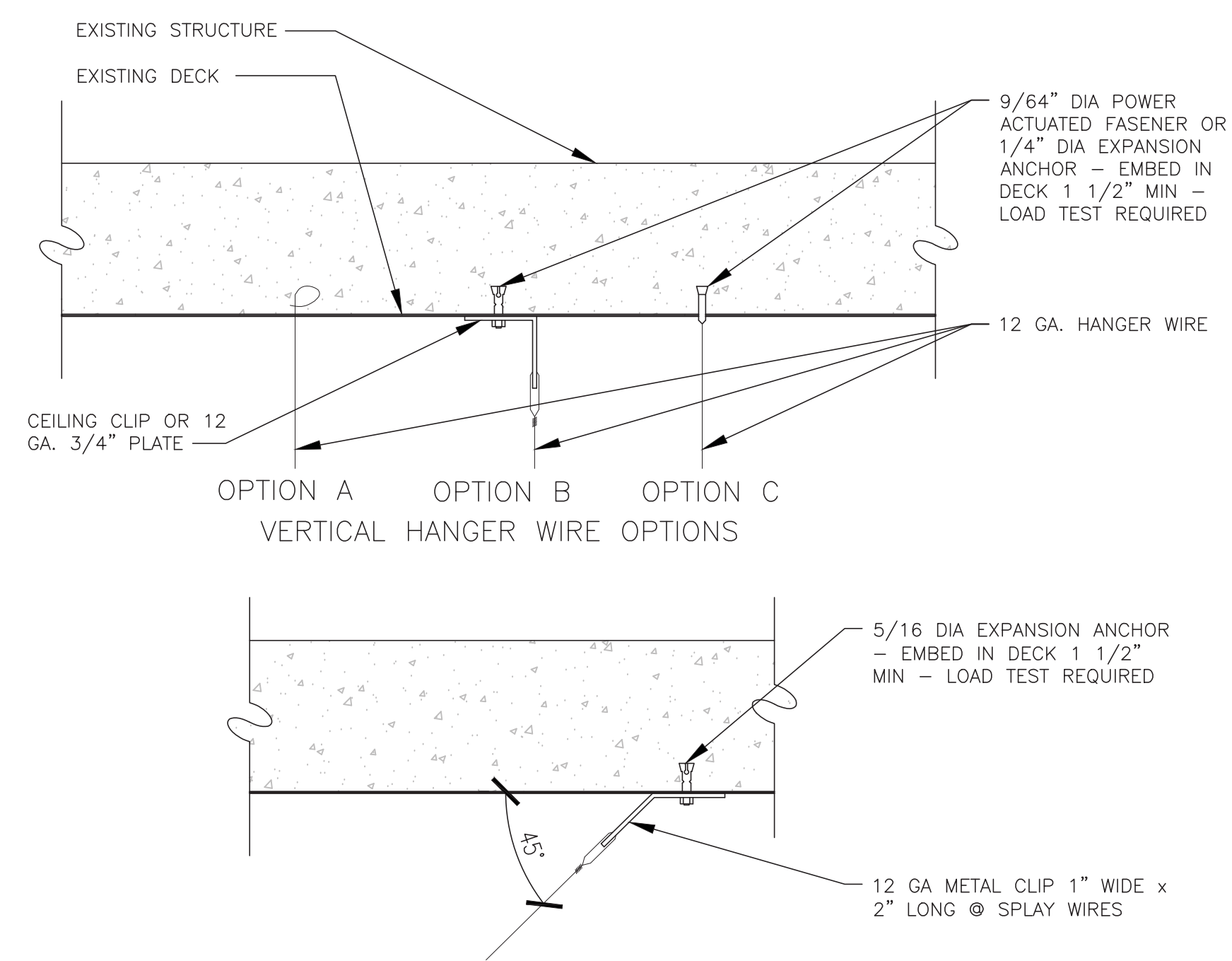
CEILING DETAILS SHOWN ARE DRAWN IN ACCORDANCE WITH PROPRIETARY MANUFACTURER'S SEISMIC RATED ASSEMBLIES BY ARMSTRONG AND USG.

PROPRIETARY MANUFACTURER'S INSTALLATIONS SHALL COMPLY WITH CEILING DETAILS SHOWN ON SHEET A500 AND PER MANUFACTURER'S WRITTEN INSTALLATION REQUIREMENTS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CEILING INSTALLATION.

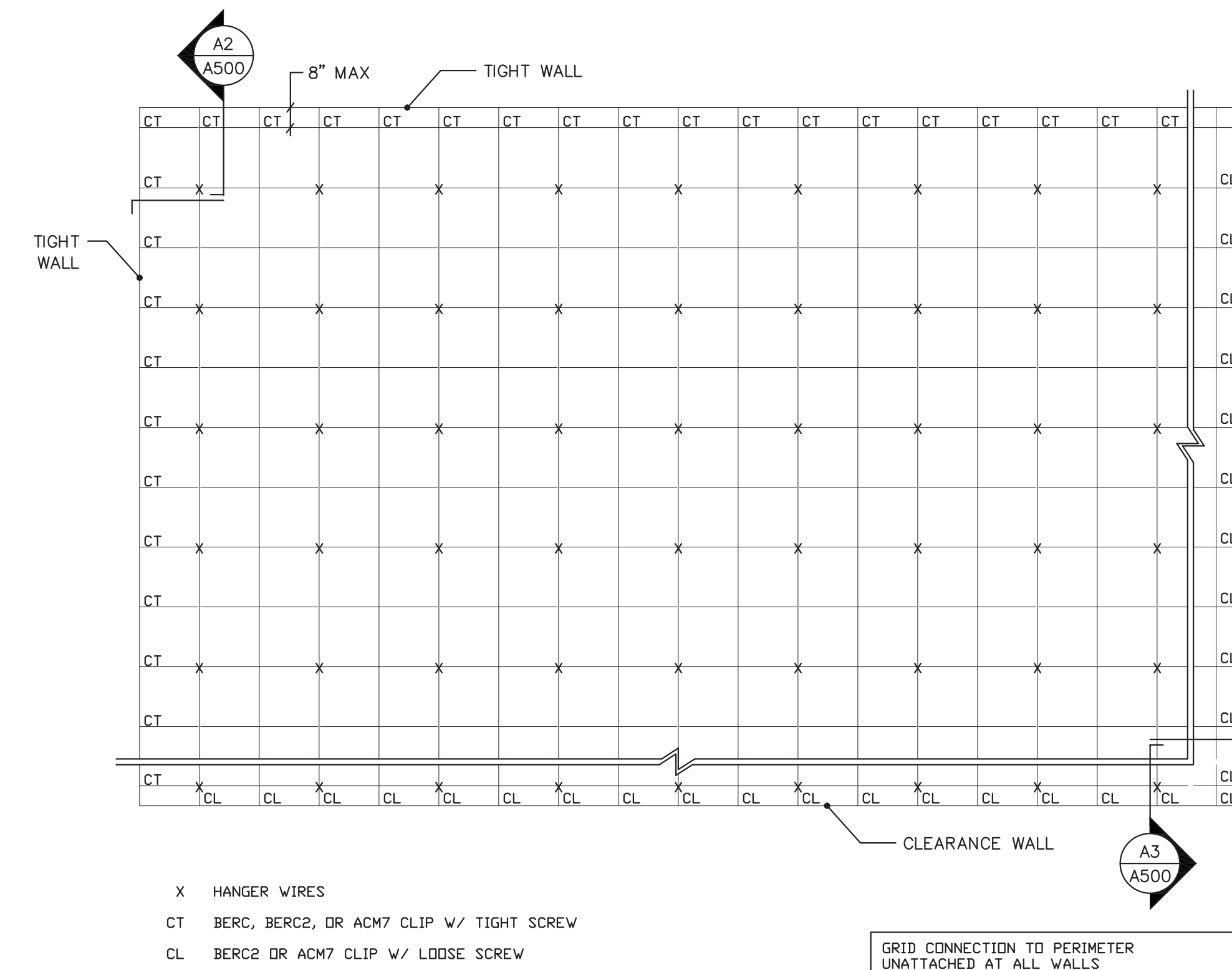
POP RIVETS ARE NOT PERMITTED IN ANY APPLICATION.



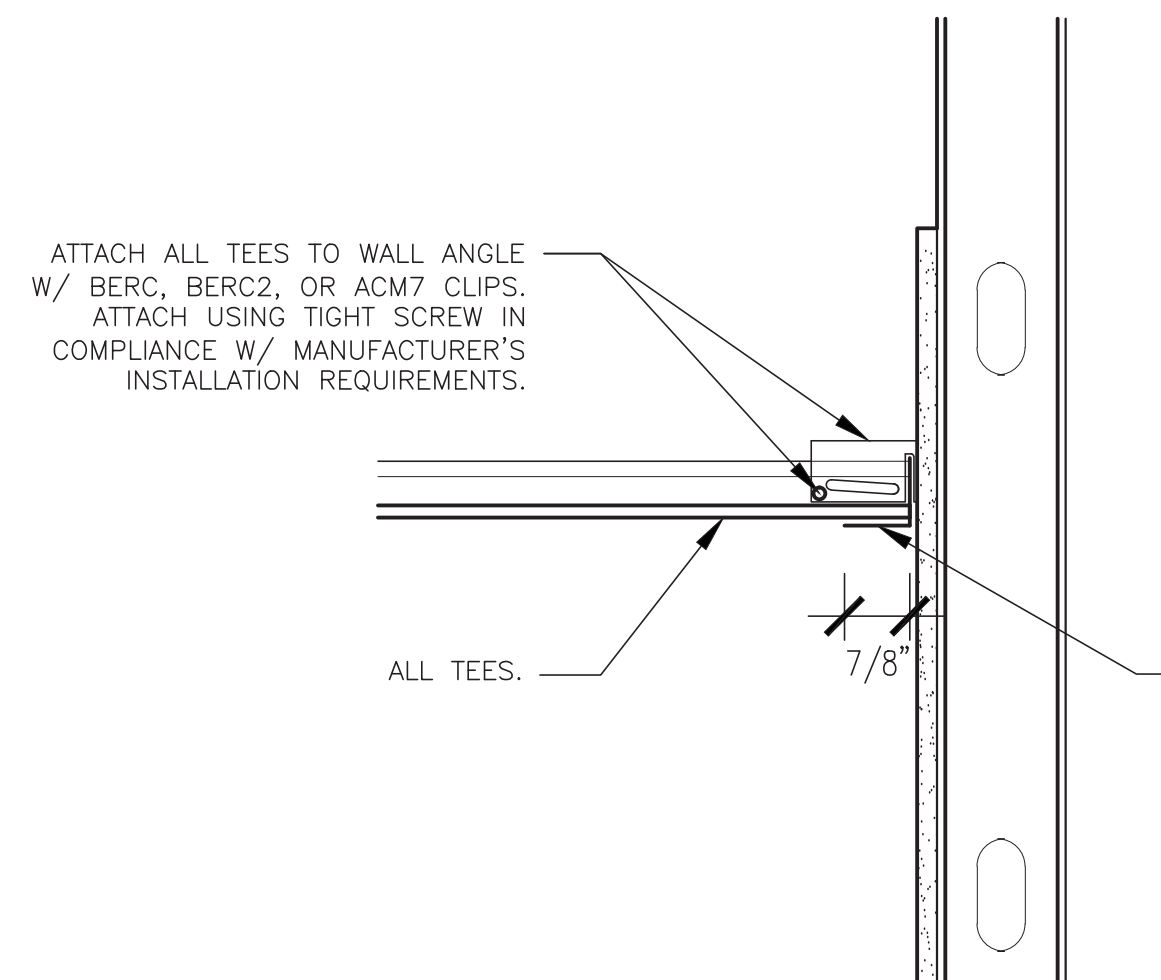
B1 FIXTURE SEISMIC TIE
SCALE: NTS



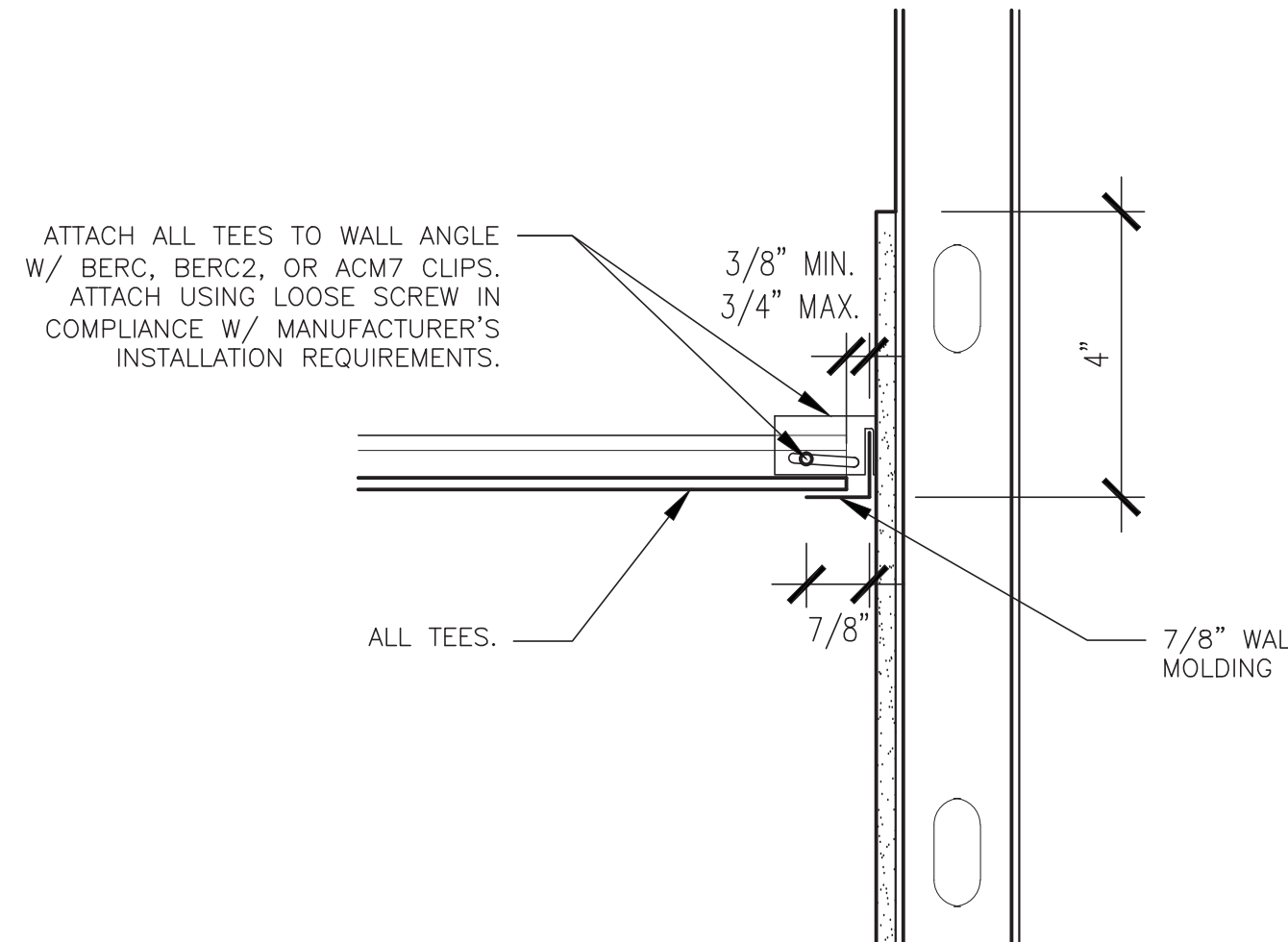
B2 SEISMIC HANGER WIRE DETAILS
SCALE: 3" = 1'-0"



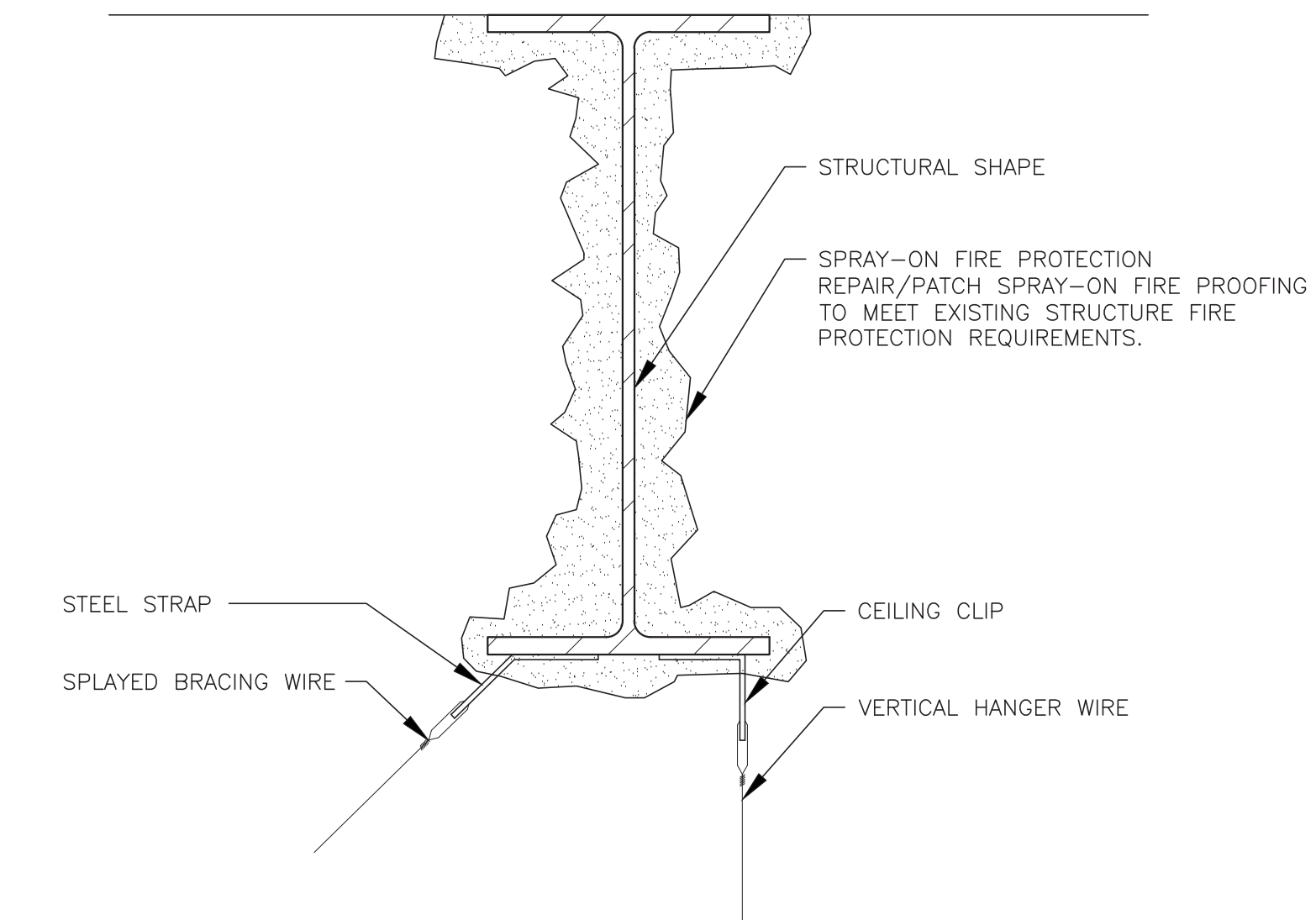
A1 CEILING SEISMIC "C" BRACE PLAN DIAGRAM
SCALE: NTS



A2 SEISMIC "C" CEILING SECTION - TIGHT WALL
(TYPICAL FOR BOTH GASKETED AND NON GASKETED CEILINGS)
SCALE: 3" = 1'-0"



A3 SEISMIC "C" CEILING SECTION - CLEARANCE WALL
(TYPICAL FOR BOTH GASKETED AND NON GASKETED CEILINGS)
SCALE: 3" = 1'-0"



A4 SEISMIC HANGER WIRE DETAILS
SCALE: 3" = 1'-0"

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SEISMIC AND CEILING DETAILS

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ALTERNATE #1

ALTERNATE #1 PERTAINS ONLY TO THE FINISH FLOORING AND WALL BASE ON THE 1ST FLOOR LOBBY IN THE AREA OF WORK.

ALTERNATE #1 KEYED RENOVATION NOTES -

- (A1) CONTINUE CTB-1 BASE AROUND CORNER COMPLETE TO TRANSITION AT FINISH FLOOR CHANGE.
- (A2) LAYOUT TILE PER DESIGN INTENT AS SHOWN IN FINISH PLANS. PROVIDE CUT OUTS IN FLOOR TILE AT FLOOR BOXES (ROUND) IN SINGLE TILE PIECE. COORDINATE LAYOUT WITH FLOOR BOXES.
- (A3) PROVIDE NEW SCHLUTER TRANSITION (TH1) AT FINISH FLOOR TRANSITIONS PER ADA REQUIREMENTS. INSTALL PER MANUFACTURER'S WRITTEN SPECIFICATIONS. REFER TO THRESHOLD DETAIL C1/A201.
- (A4) PROVIDE CPT-2 WALK-OFF CARPET TILE WITH INTEGRATED 2 1/2" RUBBER TRANSITION AT ENTRY DOORS TO BE LAID OVER NEW FINISH TILE. MITER ALL CORNERS. REFER TO MATERIAL LEGEND AND SPECIFICATIONS.

ALTERNATE #2

ALTERNATE #2 PERTAINS ONLY TO THE WALL PROTECTION AT THE ELEVATOR WALL IN THE 1ST FLOOR LOBBY IN THE AREA OF WORK.

ALTERNATE #2 KEYED RENOVATION NOTES -

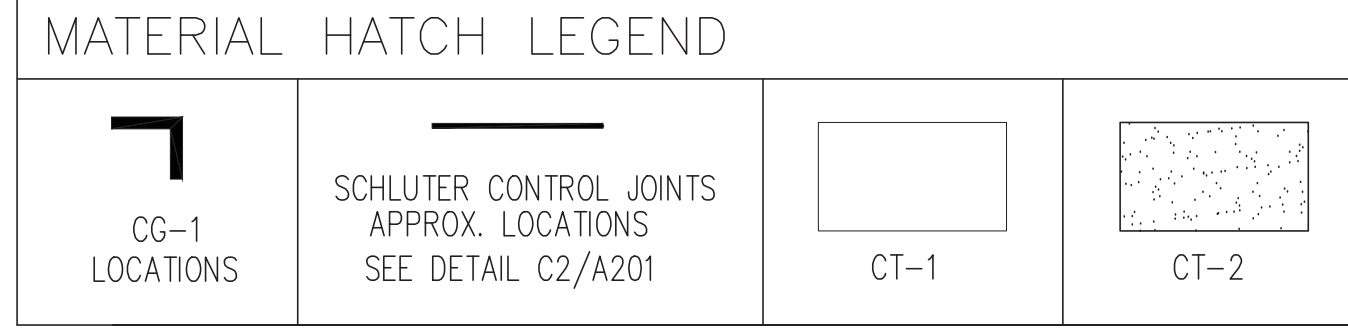
- (A5) NEW WALL PROTECTION (WP-1) AND SATIN ANODIZED ALUMINUM INSTALLATIONS ACCESSORIES TO BE INSTALLED SIMILARLY TO 2ND FLOOR INSTALLATION AND IN SAME ORIENTATION. REFER TO ELEVATION A1/A201. VERIFY ALL EXISTING DIMENSIONS IN FIELD PRIOR TO ORDERING.

1ST FLOOR ROOM FINISH SCHEDULE (ALTERNATE #1 AND #2)										
ROOM NUMBER	ROOM NAME	FLOOR	BASE	PLAN NORTH WALL	PLAN EAST WALL	PLAN SOUTH WALL	PLAN WEST WALL	CEILING	CASEWORK	NOTES:
H201A	1ST FLR LOBBY	CT1	CTB1	EXIST	EXIST	EXIST	WP1	EXIST		A. PAINT ALL BULKHEADS AND SOFFITS PT-3 ALL SIDES COMPLETE. B. PAINT ALL ELEVATOR DOORS, FRAMES, TRIM, ETC. PT-2 ALL SIDES COMPLETE. REFER TO FINISH PLAN AND ELEVATIONS FOR ACCENT/WAINSCOT WALL FINISH.

2ND FLOOR ROOM FINISH SCHEDULE										
ROOM NUMBER	ROOM NAME	FLOOR	BASE	PLAN NORTH WALL	PLAN EAST WALL	PLAN SOUTH WALL	PLAN WEST WALL	CEILING	CASEWORK	NOTES:
H201A	ENTRY	CT1	CTB1	PT1	PT1	PT1	PT1	ACT1/GWB		A. PAINT ALL BULKHEADS AND SOFFITS PT-3 ALL SIDES COMPLETE. B. PAINT ALL ELEVATOR DOORS, FRAMES, TRIM, ETC. PT-2 ALL SIDES COMPLETE. REFER TO FINISH PLAN AND ELEVATIONS FOR ACCENT/WAINSCOT WALL FINISH.
H201	2ND FLR LOBBY	CT1	CTB1	PT1	WP1/PT1	PT1	WP1/PT1	ACT1/GWB		REFER TO FINISH PLAN AND ELEVATIONS FOR ACCENT/WAINSCOT WALL FINISH.
203	OPEN MEETING	CPT1	CTB1	PT1	WP1/PT1	PT1	PT1	EXIST		REFER TO FINISH PLAN AND ELEVATIONS FOR ACCENT/WAINSCOT WALL FINISH.

FINISH NOTES

- A. ANY DAMAGED OR UNSIGHTLY WALL CONDITION SHALL BE PATCHED AND PAINTED FROM 'CORNER TO CORNER' TO INCLUDE THE ENTIRE WALL.
- B. ANY TIE IN TO ADJACENT CORRIDOR FINISHES SHALL TIE IN AT LOGICAL JUNCTURES. COORDINATE FLOOR SEAMING WITH ARCHITECT WHERE NEW SHEET VINYL ABUTS EXISTING CORRIDOR FINISH.
- C. REPLACE WALL BASE IN CORRIDORS ALONG PERIMETER OF WORK AREA.
- D. ALL FINISHES TO BE COORDINATED WITH OWNER AND ARCHITECT IN A 'FINISHES' COORDINATION MEETING' PRIOR TO DEMOLITION.
- E. GC TO PROVIDE 5% ATTIC STOCK. ALL FINISH MATERIALS TO BE DELIVERED TO THE OWNER AT THE END OF CONSTRUCTION.
- F. REMOVE AND REINSTALL ALL ARTWORK, SIGNAGE, WALL MOUNTED ITEMS AND RELATED ITEMS SO PAINTING IS WALL TO WALL COMPLETE.
- G. EXISTING EXTERIORS BRONZE METAL WINDOW FRAMES TO BE CLEANED AND POLISHED.
- H. PATCH AND LEVEL FLOOR WITH SELF LEVELING UNDERLAYMENT TO COVER PREVIOUS INCONSISTENCIES, IMPERFECTIONS AND PATCHES. PROVIDE NEW FINISH FLOORING.
- I. WHEREVER THE WORD "PROVIDE IS USED, IT SHALL MEAN FURNISH AND INSTALL COMPLETE AND READY TO USE. ALL MATERIAL SHALL BE PROVIDED NEW AND IN GOOD CONDITION.
- J. EXISTING DIMENSIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COORDINATION, ORDERING, AND FABRICATION. REPORT ANY INCONSISTENCIES TO THE OWNER AND ARCHITECT IMMEDIATELY.
- K. PROVIDE FIELD AND PERIMETER SCHLUTER CONTROL JOINTS PER MANUFACTURER WRITTEN SPECIFICATIONS. REFER TO FINISH PLAN AND DETAILS.



KEYED FINISH NOTES

- 1 CONTINUE CTB-1 BASE ACROSS CARPET TRANSITION TO CORNER COMPLETE.
- 2 CONTINUE CTB-1 BASE AROUND CORNER TO DIE INTO DOOR FRAME COMPLETE.
- 2B CONTINUE CTB-1 BASE AROUND CORNER COMPLETE TO TRANSITION AT FINISH FLOOR CHANGE.
- 3 FLOAT NEW CARPET INSTALLATION FOR SMOOTH MATERIAL TRANSITION.
- 4 LAYOUT TILE PER DESIGN INTENT AS SHOWN IN FINISH PLANS. PROVIDE CUT OUTS IN FLOOR TILE AT FLOOR BOXES (ROUND) IN SINGLE TILE PIECE. COORDINATE LAYOUT WITH FLOOR BOXES.
- 5 PROVIDE NEW SCHLUTER TRANSITION (TH1) AT FINISH FLOOR TRANSITIONS PER ADA REQUIREMENTS. INSTALL PER MANUFACTURER'S WRITTEN SPECIFICATIONS. REFER TO THRESHOLD DETAIL C1/A201.
- 6 PROVIDE CPT-2 WALK-OFF CARPET TILE WITH INTEGRATED 2 1/2" RUBBER TRANSITION AT ENTRY DOORS TO BE LAID OVER NEW FINISH TILE. MITER ALL CORNERS. REFER TO MATERIAL LEGEND AND SPECIFICATIONS.
- 7 PRIME AND PAINT CORNER TO CORNER TO MATCH EXISTING.

MATERIALS LEGEND

PAINT

PT1: SHERWIN WILLIAMS - SW7028 INCREDIBLE WHITE, EG-SHEL.
 PT2: SHERWIN WILLIAMS - SW9170 ACIER, EG-SHEL.
 PT3: SHERWIN WILLIAMS - SW7007 CEILING BRIGHT WHITE, EG-SHEL.

WALL PROTECTION

WP1: KOROGUARD KOROWOOD .04" HIGH IMPACT WALL PROTECTION WITH SATIN ANODIZED ALUMINUM INSTALLATION ACCESSORIES.
 COLOR: SHAKER CHERRY
 PATTERN NO.: WP. TO BE INSTALLED WITH GRAIN PATTERN HORIZONTAL.

FLOORING

CT1: EMIL AMERICA INC. HAMPTON SERIES, 24" X 24" & 12" X 24".
 COLOR: WHITE
 GROUT: ARDEX GRAY DUSK - 15, 1/8" JOINT.
 INSTALL: REFER TO FINISH FLOOR PATTERN

CPT1: MANNINGTON PHILADELPHIA, 18" X 36" CARPET TILE.
 COLOR: 82323 BELLA VISTA. INSTALL: ASHLAR.

CPT2: INTERFACE SUPERFLOR CARPET TILE WITH SEALED 2-1/2" RUBBER TRANSITION.
 COLOR: 609008 GREY
 RUBBER TRANSITION: CTA-XX-P BLACK. MITER CORNERS.

WALL BASE

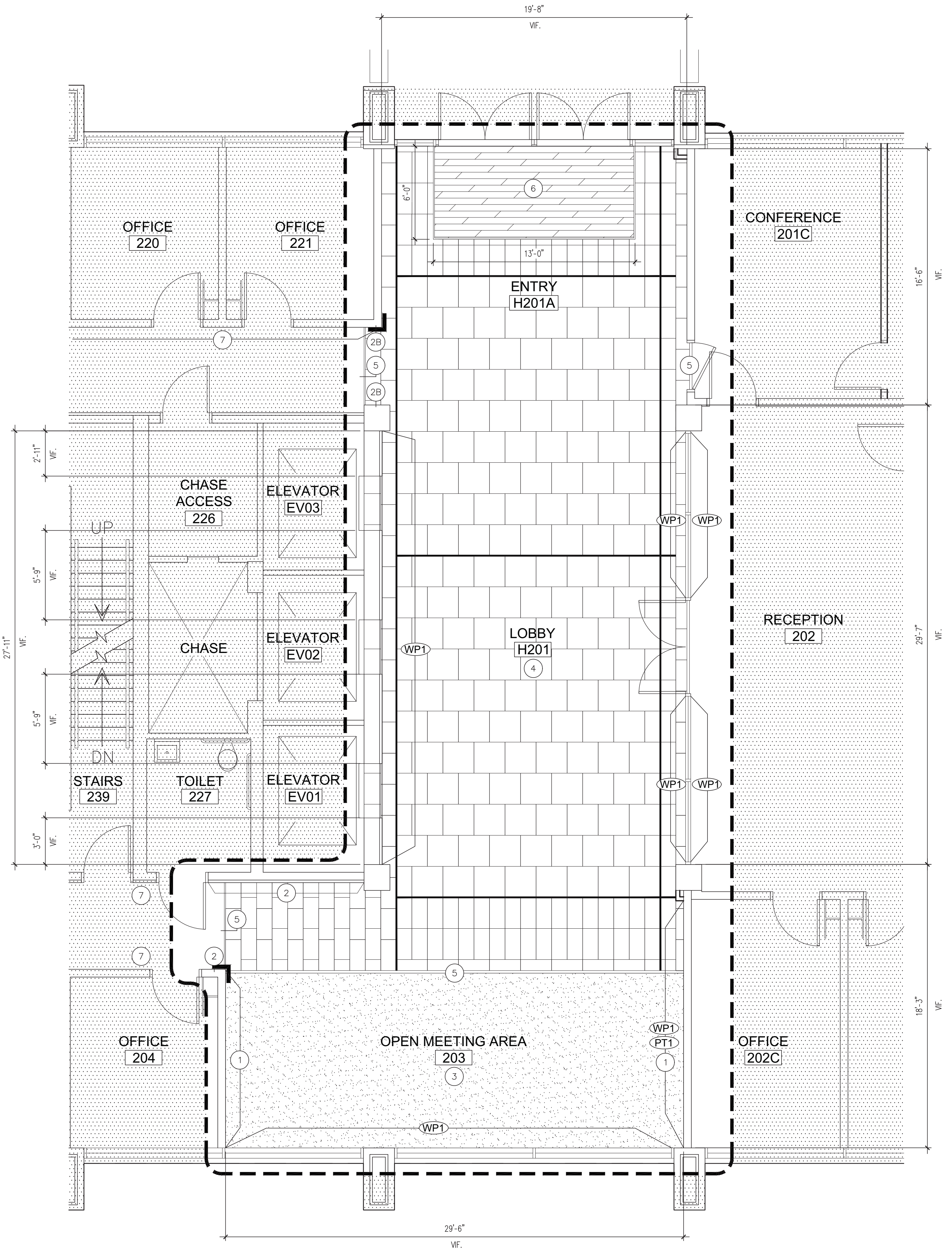
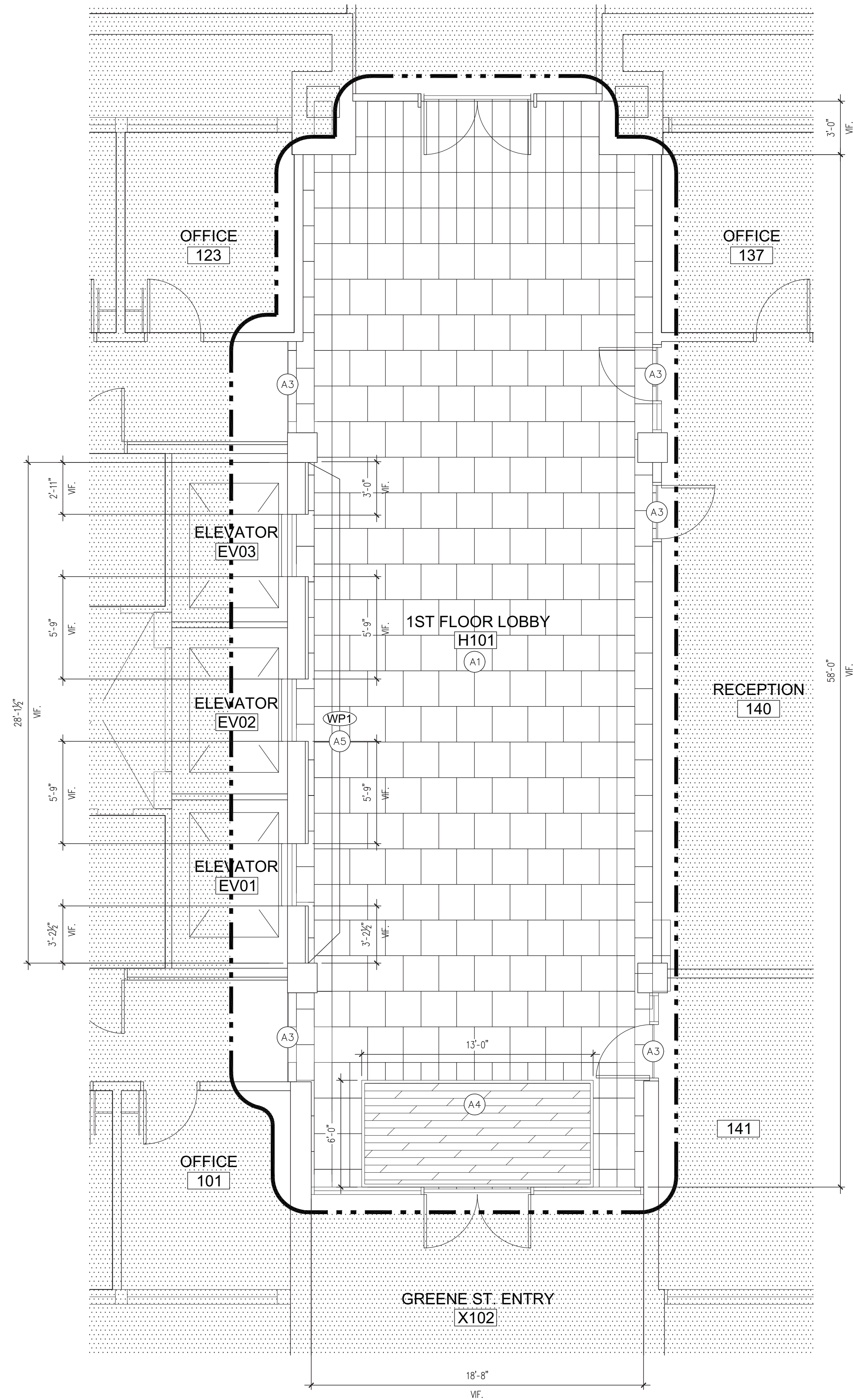
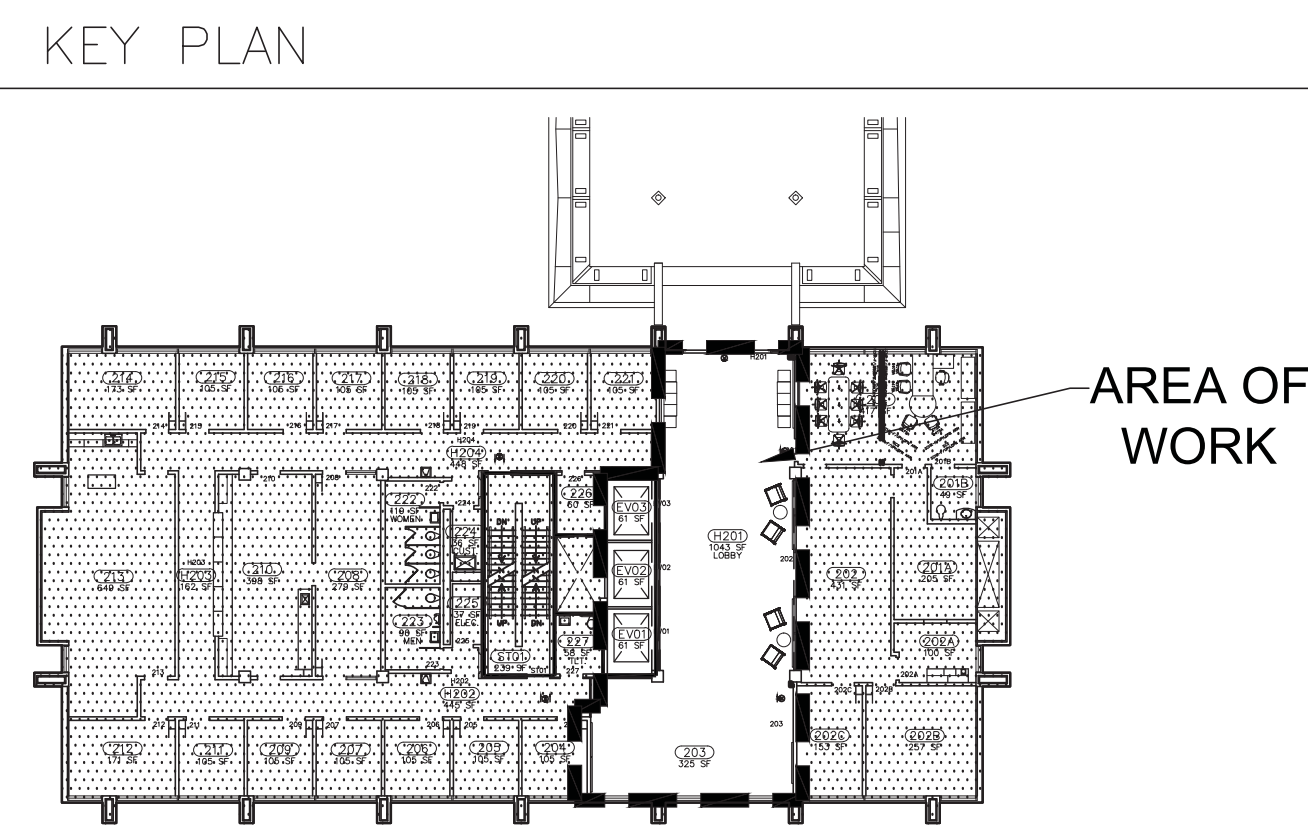
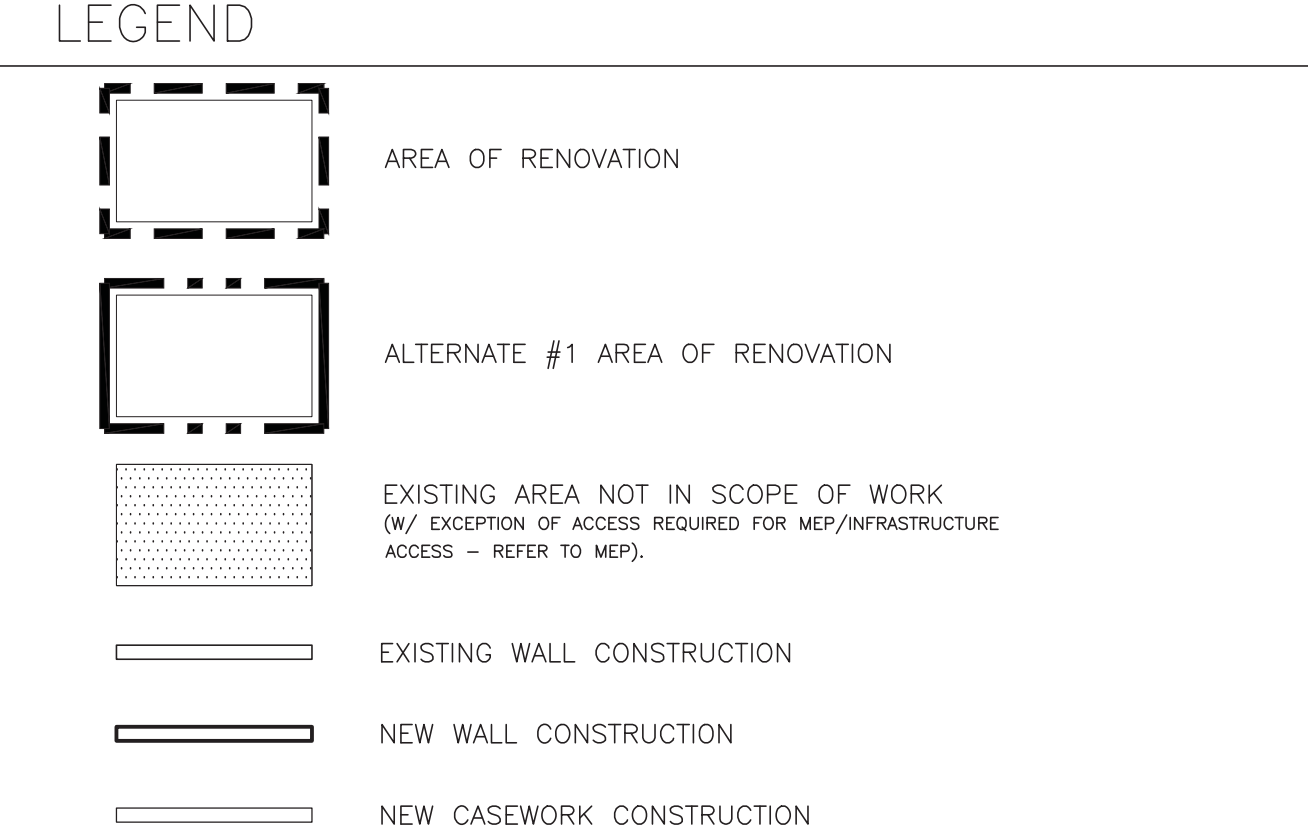
CTB1: 6" CERAMIC TILE BASE TO MATCH CT1 WITH SHIENE-AE CAP.

THRESHOLDS

TH1: SCHLUTER RENO-AE, VERIFY SIZE.
 VERIFY HEIGHT IN FIELD FOR ADA COMPLIANT TRANSITIONS.

CEILING

ACT1: ARMSTRONG CALLA TOTAL ACOUSTICS HIGH PERFORMANCE - SQUARE SQUARE REGULAR - 2 X 2, CLASS A.
 GRID: SILHOUETTE XL SUPRAFINE, HEAVY DUTY, 9/16".



A1 1ST FLOOR FINISH PLAN ALTERNATE #1 AND #2
 SCALE: 1/4" = 1'-0"

A2 2ND FLOOR FINISH PLAN
 SCALE: 1/4" = 1'-0"

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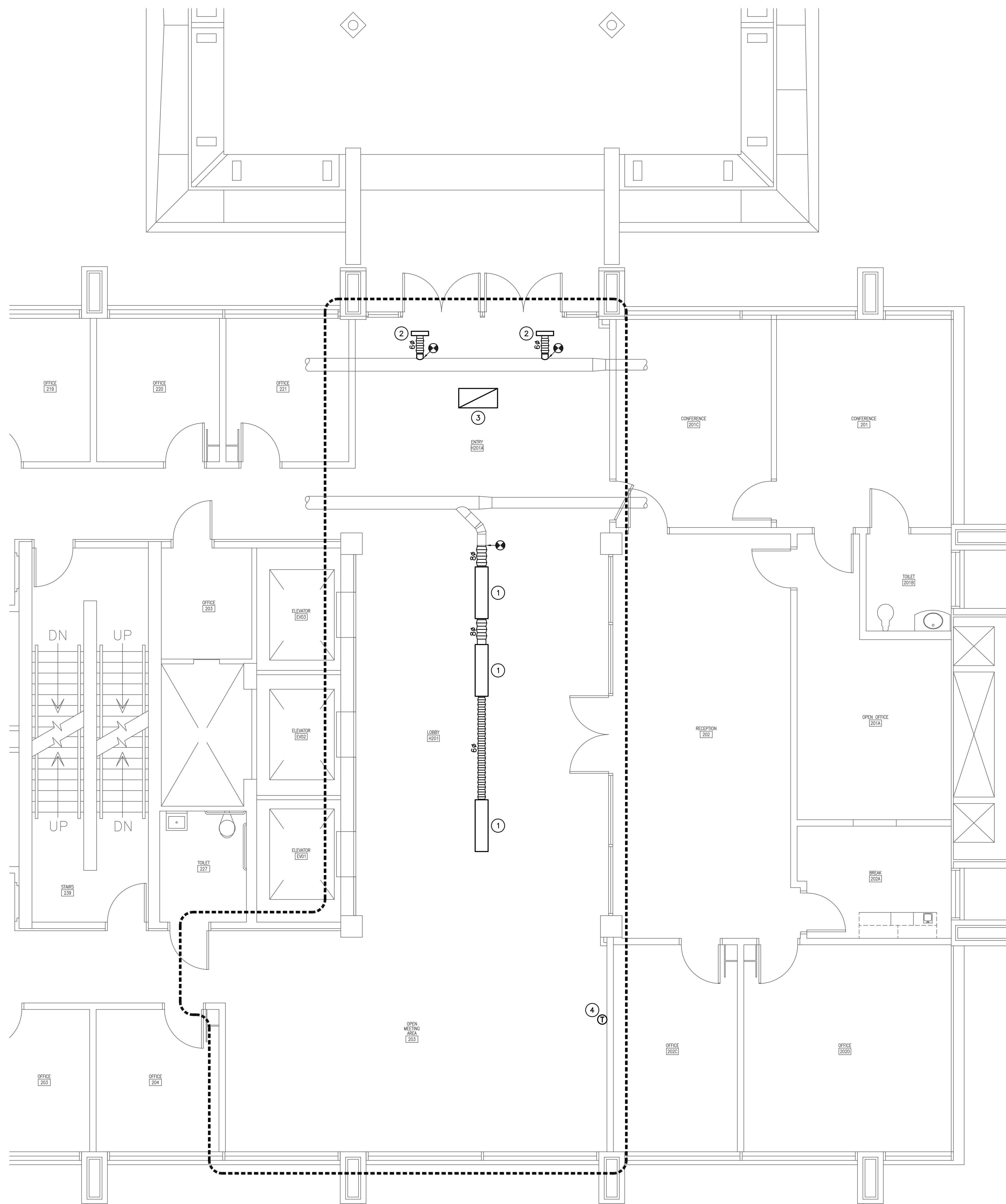
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2ND FLOOR FINISH PLAN AND LEGEND AND ALTERNATE #1 & #2 - 1ST FLOOR FINISH PLAN

Date: 02.28.17
 Drawn: JGB
 Checked: MEC
A700



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. VISIT SITE PRIOR TO BIDDING. THIS CONTRACTOR SHALL DETERMINE DIFFICULTY OF INSTALLATION AND REFLECT THIS IN HIS BIDDING.
2. DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF DOORS, WINDOWS, AIR DISTRIBUTION, ETC.
3. DO NOT SCALE DRAWINGS. THIS CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND LOCATIONS IN THE FIELD.
4. ALL PIPING AND DUCTWORK LOCATIONS SHALL BE COORDINATED WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID INTERFERENCE.
5. EXISTING PIPE, DUCTWORK, CONDUIT, ETC. THAT INTERFERES WITH THE ROUTING OF NEW SYSTEMS SHALL BE RELOCATED. THIS CONTRACTOR SHALL INCLUDE THE COST OF SUCH IN HIS BID UNLESS NOTED OTHERWISE.
6. SPACE ABOVE CEILING TO BE USED AS RETURN AIR PLENUM WHERE DUCT IS NOT INDICATED ABOVE RETURN AIR GRILLES.
7. THIS CONTRACTOR SHALL PROVIDE ALL ITEMS OF MISCELLANEOUS STEEL AS REQUIRED FOR INSTALLATION OF ALL MECHANICAL ITEMS.
8. THIS CONTRACTOR SHALL INCLUDE ALL CONTROL WIRING IN HIS BID. LOCATE ALL SPACE CONTROL INSTRUMENTS 4'-0" ABOVE FINISHED FLOOR. COORDINATE LOCATIONS WITH ARCHITECTURAL ELEVATIONS TO AVOID ITEMS INCLUDING BUT NOT LIMITED TO CUSTOM FINISHES, FIXED CASEWORK, FURNITURE, AND DOOR SWINGS. IN THE EVENT OF CONFLICTS IN THE FIELD, THE CONTRACTOR SHALL BRING THIS TO THE ATTENTION OF THE A/E FOR FINAL APPROVAL OF LOCATION.
9. CAP PNEUMATIC LINES AS REQUIRED DURING DEMOLITION TO MAINTAIN OPERABLE SYSTEM.
10. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY DISMANTLING OF EQUIPMENT TO BE REMOVED. ITEMS REMOVED UNDER THIS CONTRACT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY.
11. THE HVAC SYSTEMS SHALL NOT BE OPERATED DURING HEAVY CONSTRUCTION OPERATIONS INCLUDING MASONRY, GYPSUM BOARD SANDING, HEAVY CLEANUP ACTIVITIES, OR OTHER ACTIVITIES THAT CREATE AIRBORNE PARTICLES OR DEBRIS. ALL SYSTEMS SHALL BE CLEAN OF CONSTRUCTION DEBRIS, DUST AND DIRT AT FINAL COMPLETION. DUCT CLEANING AND UNIT/COIL CLEANING SHALL BE PERFORMED IF REQUIRED. PROVIDE FILTER MEDIA OVER RETURN OPENING IN LOBBY DURING ANY CONSTRUCTION ACTIVITIES.

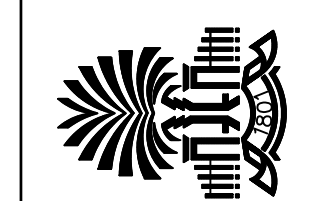
☉ - CONNECTION POINT OF NEW TO EXISTING.

SPECIFICATIONS

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL CODE, SMACNA, AND ASHRAE STANDARDS. ALL LOCAL CODES OR REQUIREMENTS STILL APPLY.
2. ALL RECTANGULAR DUCT SHALL BE TYPE G-60 GALVANIZED SHEET METAL, SEALED WITH LOW PRESSURE DUCT MASTIC. ROUND DUCTS SHALL BE GALVANIZED SHEET METAL SEALED WITH LOW PRESSURE DUCT MASTIC. FLEXIBLE DUCT SHALL NOT EXCEED 8' IN LENGTH AND SHALL BE EQUAL TO FLEXMASTER TYPE 1M.
3. SUPPLY AND RETURN DUCTS SHALL BE INSULATED WITH 2" THICK, 3/4# DENSITY DUCT WRAP. DUCT WRAP SHALL BE SEALED WITH FIBERGLASS REINFORCING MESH, STAPLES AND MASTIC AT THE JOINTS.
4. ALL EQUIPMENT, PRODUCTS AND WORK SHALL BE GUARANTEED TO BE FREE OF DEFECTS IN MANUFACTURE AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. ALL REPAIRS WILL BE MADE AT NO COST TO THE OWNER.
5. THIS CONTRACTOR SHALL INCLUDE THE COST OF CONTROL WIRING FOR RELOCATING THERMOSTATS IN HIS BID. CONTACT JOHNSON CONTROLS FOR PRICING.

NOTES TO SHEET

- 1 SUSPEND DIFFUSER AND DUCT WHILE CEILING IS REMOVED. REINSTALL INTO NEW CEILING. PROVIDE HANGERS FOR DIFFUSER PLENUM.
- 2 REMOVE AND REINSTALL CEILING GRILLE INTO NEW CEILING.
- 3 HEATER SHALL REMAIN SUSPENDED WHEN CEILING IS REMOVED. ADJUST HEIGHT AS REQUIRED TO INSTALL IN NEW CEILING.
- 4 RELOCATE WALL SENSORS AS REQUIRED IN CONFERENCE ROOM TO THIS WALL.

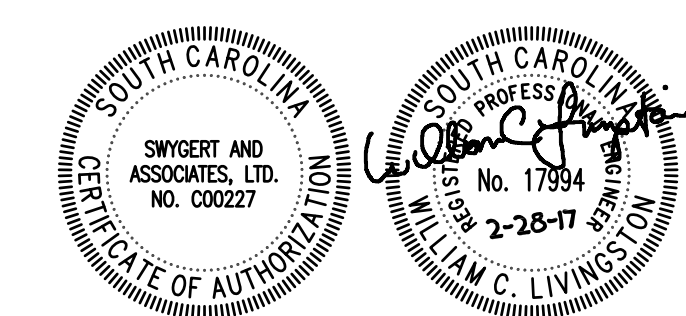


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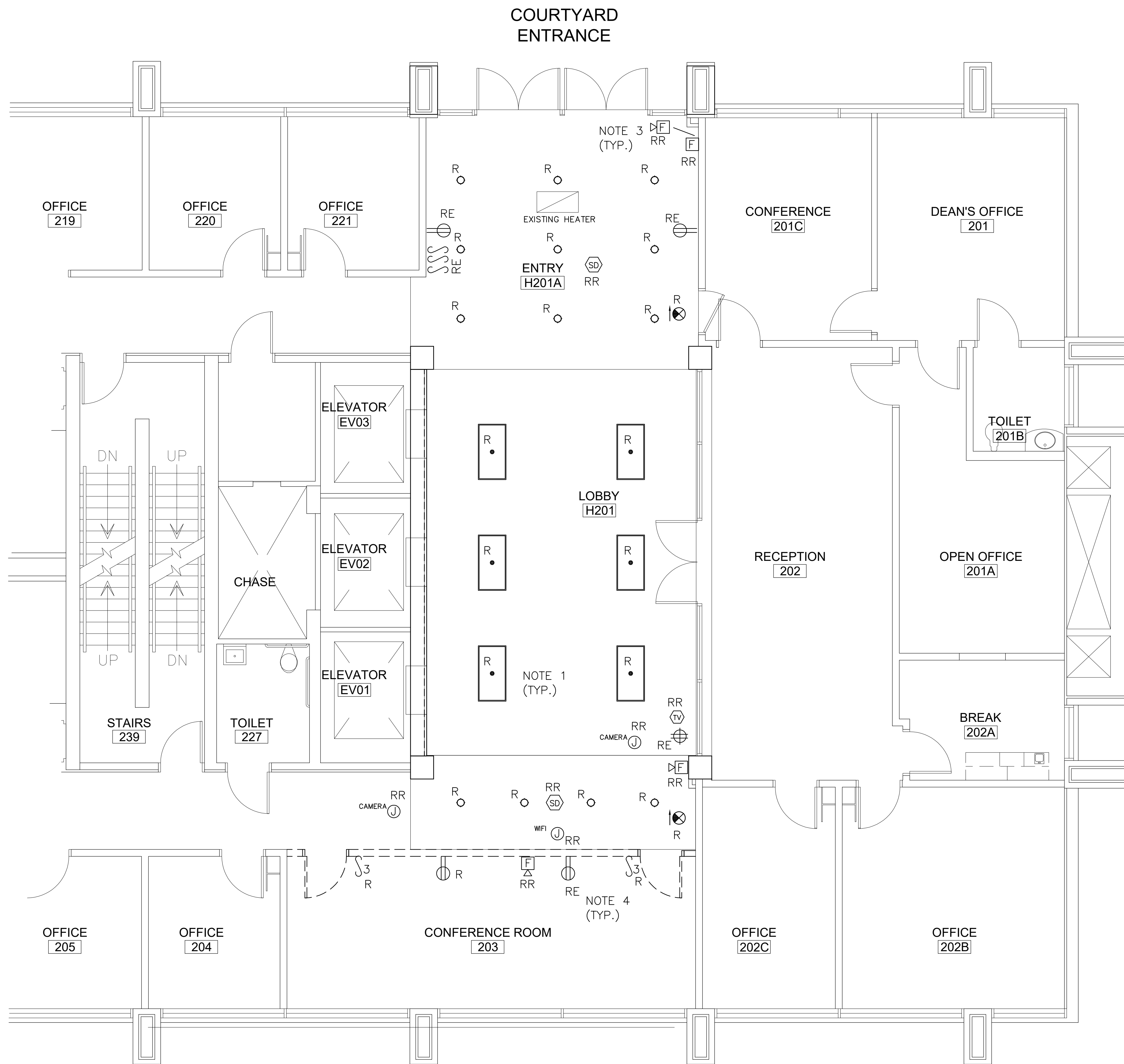
FLOOR PLAN AND NOTES

Date: 02.28.17
Drawn: DEM
Checked: WCL



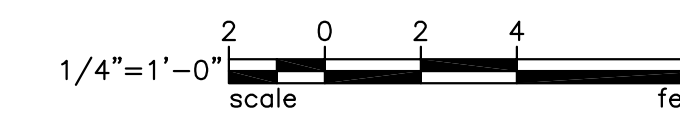
Swygert & Associates
CONSULTING ENGINEERS
DBA Swygert & Assoc., Ltd. Telephone: (803) 791-9300
Post Office Box 11688 Columbia, S.C. 29211 Facsimile: (803) 791-0830
mail@swygert-associates.com

M100



E1 ELECTRICAL DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



BEA BELKA ENGINEERING ASSOCIATES, INC.
 CONTACT: CLIFF STRINGFIELD
 7 CLUSTERS COURT, SUITE 201 | COLUMBIA, SC | 29210
 (803) 731-0650 p | (803) 731-2880 f
 CStringfield@BEA-Consulting.com

ELECTRICAL SYMBOL LEGEND

- 2'x4' GRID LIGHTING FIXTURE
- RECESSED DOWNLIGHT
- EXIT SIGN, CEILING MOUNTED
- DUPLEX RECEPTACLE, WALL MOUNTED APPROX. 18" AFF
- DUPLEX RECEPTACLE, CEILING MOUNTED
- SINGLE POLE SWITCH, WALL MOUNTED APPROX. 48" AFF
- THREE WAY SWITCH, WALL MOUNTED APPROX. 48" AFF
- TV OUTLET, CEILING MOUNTED
- JUNCTION BOX, CEILING MOUNTED - PURPOSE AS NOTED
- FIRE ALARM PULL STATION, WALL MOUNTED APPROX. 48" AFF
- FIRE ALARM AUDIO/VISUAL NOTIFICATION DEVICE, WALL MOUNTED APPROX. 90" AFF

ELECTRICAL SYMBOL DEMOLITION NOTATION

- E** EXISTING FIXTURE OR DEVICE TO REMAIN IN PLACE. REPLACE ANY BROKEN DEVICES OR PLATES; COLOR TO MATCH EXISTING.
- R** EXISTING FIXTURE OR DEVICE TO BE REMOVED BY THE ELECTRICAL CONTRACTOR. MAINTAIN CONTINUITY OF REMAINING PORTIONS OF BRANCH CIRCUIT.
- RE** EXISTING DEVICE TO BE REMOVED BY THE ELECTRICAL CONTRACTOR. PROVIDE NEW DEVICE AND REUSE EXISTING BRANCH CIRCUIT.
- RR** EXISTING DEVICE TO BE RELOCATED SLIGHTLY BY THE ELECTRICAL CONTRACTOR TO NEW CEILING OR WALL. CONCEAL NEW CONDUIT.
- RN** EXISTING DEVICE RELOCATED TO THIS NEW LOCATION SHOWN ON RENOVATION PLAN.

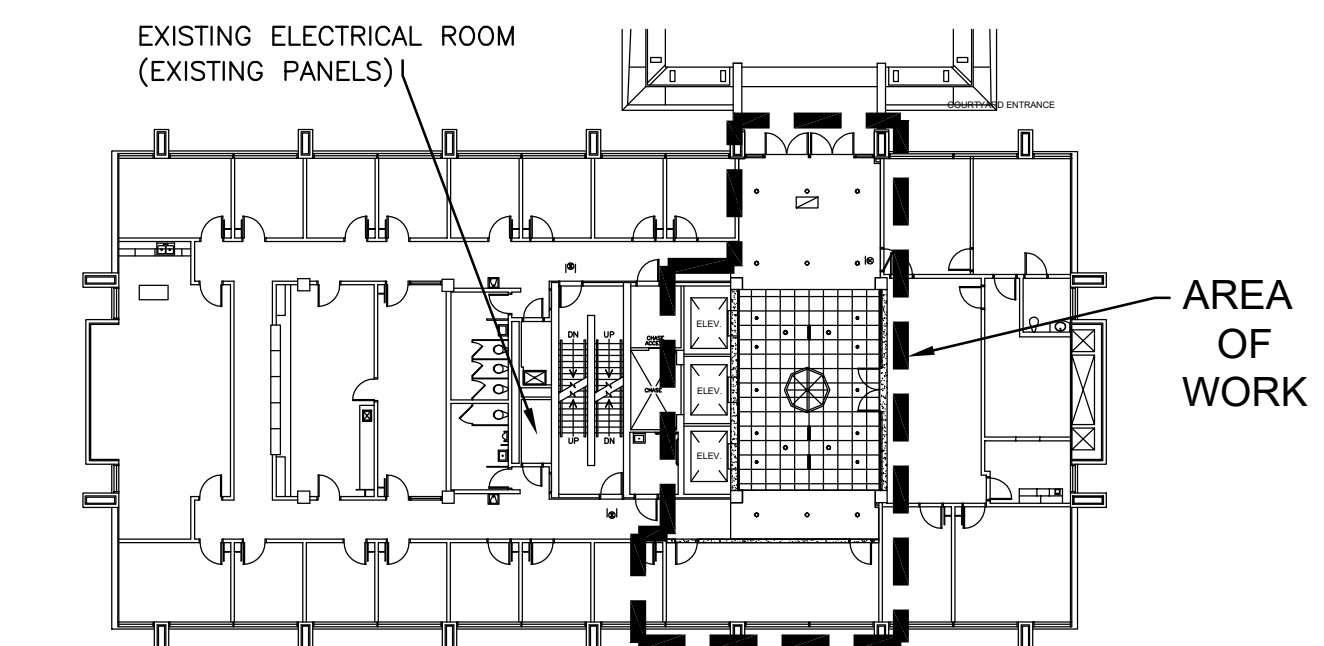
ELECTRICAL DEMOLITION NOTES

1. REMOVE ALL EXISTING LIGHTING AS INDICATED ON THIS PLAN. EXISTING CIRCUIT SHALL BE REUSED FOR NEW LIGHTING.
2. MAINTAIN SWITCH LEGS, BUT REPLACE EXISTING SWITCHES AND SWITCH PLATES. REPLACE EXISTING DUPLEX RECEPTACLES WITH NEW 20 AMP DUPLEX RECEPTACLES WITH NEW DEVICE PLATES. CONFIRM DEVICE COLOR AND DEVICE PLATE MATERIAL/COLOR WITH ARCHITECT.
3. REMOVE EXISTING FIRE ALARM AND OTHER SYSTEM DEVICES FROM EXISTING CEILING AND BAG DURING RENOVATION. RE-INSTALL DEVICES IN NEW CEILING. THE SURFACE MOUNTED RACEWAY FOR THESE DEVICES SHALL BE REMOVED. DEVICES SHALL BE RELOCATED TO NEW BUILD-OUTS ADJACENT TO COLUMNS AND CONCEALED RACEWAY SHALL BE PROVIDED.
4. IN EXISTING CONFERENCE ROOM 104, NORTH WALL AND DOORS SHALL BE DEMOLISHED. REMOVE SWITCHES AND RECEPTACLES; MAINTAIN CONTINUITY OF EXISTING CIRCUITS. EXISTING LIGHTING SHALL REMAIN IN PLACE. PROVIDE ONE 20 AMP SINGLE POLE SWITCH TO CONTROL LIGHTING IN THIS MEETING AREA. RELOCATE FIRE ALARM INDICATING DEVICE TO ADJACENT WALL. EXTEND FIRE ALARM CIRCUIT AS REQUIRED.

ELECTRICAL DRAWING INDEX

- E101 ELECTRICAL DEMOLITION PLAN
- E102 ELECTRICAL RENOVATION PLAN

KEY PLAN



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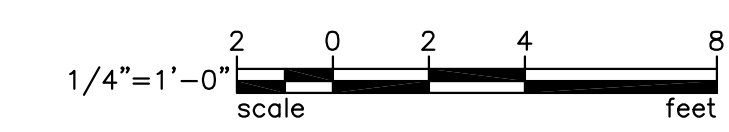
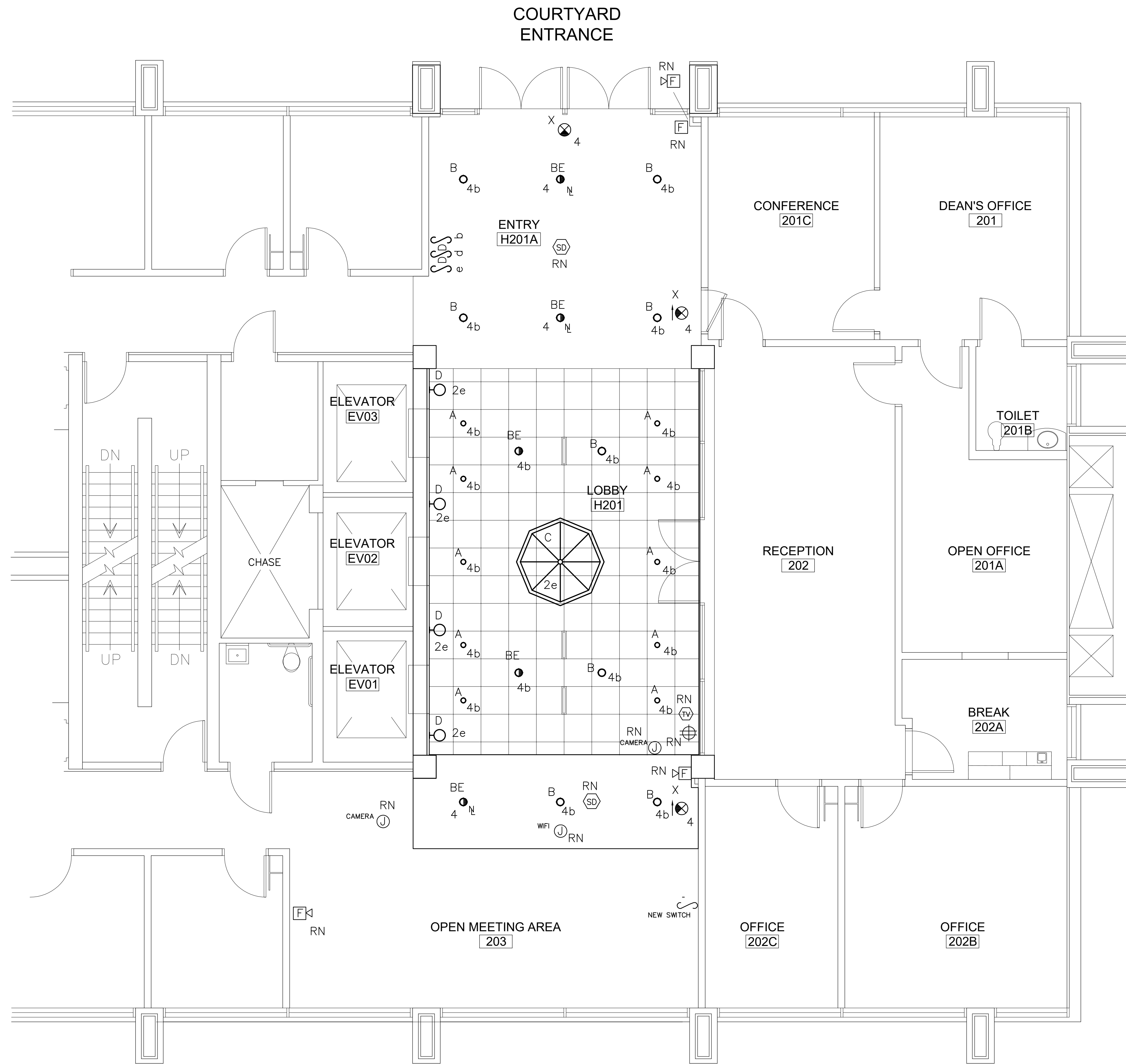
ELECTRICAL DEMOLITION PLAN

Date: 02.28.17
 Drawn: CES
 Checked: JLA
E101

LIGHTING FIXTURE SCHEDULE								
SYMBOL	TYPE	DESCRIPTION	MANUFACTURER	MODEL NUMBER	OPTICAL ELEMENT	MOUNTING	VOLTS	LAMPING
○	A	4" DIAMETER LED DOWNLIGHT	LITHONIA	EVO_30/10_4AR_MWD_LSS MVOLT_EZ10	NONE	RECESSED	120	LED - 1000 LUMENS, 3000K, 13 WATTS
○	B	6" DIAMETER LED DOWNLIGHT	LITHONIA	EVO_30/15_6AR_MWD_LSS MVOLT_EZ10	NONE	RECESSED	120	LED - 1500 LUMENS, 3000K, 19 WATTS
●	BE	SAME AS FIXTURE "B" EXCEPT 1000 LUMEN BATTERY PACK	LITHONIA	EVO_30/15_6AR_MWD_LSS MVOLT_EZ10_EL	NONE	RECESSED	120	LED - 1500 LUMENS, 3000K, 19 WATTS
⊗	C	DECORATIVE CHANDELIER - FURNISHED AND INSTALLED BY OWNER; CIRCUIT BY CONTRACTOR					120	
⊙	D	DECORATIVE SCENCE - FURNISHED AND INSTALLED BY OWNER; CIRCUIT BY CONTRACTOR					120	
⊗	X	EXIT SIGN, EDGE-LIT TYPE, RED LETTERS, BATTERY	LITHONIA	EDGR_1_RMR_EL	NONE	CEILING	120	LED (INCLUDED)

ELECTRICAL RENOVATION NOTES

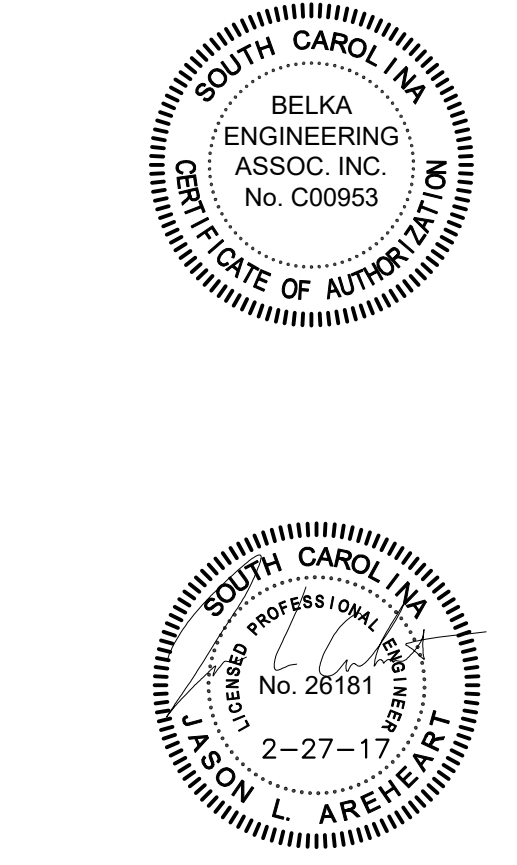
1. PROVIDE NEW LIGHTING FIXTURES (TYPES A, B, BE, AND X) AND REUSE EXISTING LIGHTING CIRCUITS AND SWITCH LEGS. PROVIDE NEW SWITCHES. EXISTING CIRCUITS ORIGINATE FROM LIGHTING PANEL IN EXISTING ELECTRICAL ROOM ON THIS FLOOR (SEE KEY PLAN ON DRAWING E101).
2. PROVIDE J-BOXES FOR OWNER-FURNISHED/OWNER-INSTALLED LIGHTING FIXTURES (TYPES C AND D) AND PROVIDE NEW 20 AMP CIRCUIT FROM EXISTING PANEL (SEE KEY PLAN ON DRAWING E101 FOR ELECTRICAL ROOM LOCATION). CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO DRILLING OR MAKING ANY ALTERATIONS TO THE EXISTING WALL TILE FOR SCENCE LOCATIONS. PROVIDE 0-10V TYPE DIMMER SWITCHES FOR EACH OF THESE TYPES OF LIGHTING.
3. PROVIDE ONE UNSWITCHED PHASE (HOT) CONDUCTOR TO EACH FIXTURE TYPE "BE".
4. \mathbb{N} DENOTES NIGHT LIGHTING - NO LOCAL SWITCHING.



E1 ELECTRICAL RENOVATION PLAN

SCALE: 1/4" = 1'-0"

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 7 CLUSTERS COURT, SUITE 201 | COLUMBIA, SC | 29210
 (803) 731-0650 p | (803) 731-2880 f
 CStringfield@BEA-Consulting.com



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ELECTRICAL RENOVATION PLAN

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