

ADDENDUM NUMBER ONE

for

**FOUNDERS PARK – PROJECT FOR BASEBALL 3RD BASE CLUB AREA
UNIVERSITY PROJECT NO. 50003075
UNIVERSITY OF SOUTH CAROLINA
COLUMBIA, SOUTH CAROLINA**

DATE OF ISSUE: October 28, 2016

TO: ALL BIDDERS OF RECORD

This Addendum is issued pursuant to the Conditions of the Contract and is hereby made part of the Contract Documents. The addendum serves to clarify, revise, and supersede information in the Project Manual, the Drawings, and previously issued Addenda. The Bidder shall acknowledge receipt of this Addendum in the appropriate space on the Bid Form. Failure to do so may subject the Bidder to disqualification. A list of attachments, if any, is part of this document.

BIDDER SHALL ACKNOWLEDGE RECEIPT OF ADDENDUM IN THE SPACE PROVIDED ON THE BID FORM. FAILURE TO DO SO MAY CONSTITUTE AN INFORMALITY IN THE BID.

This addendum consists of 2 pages plus the following attachments:

October 20, 2016 Pre-Bid sign in sheet.
SE-310 Invitation for Construction Services.
SE-330 Lump Sum Bid Form.
USC Supplemental General Conditions for Construction Projects.
Section 010000 Special Conditions and Requirements.
Section 011000 Summary.
Sheet T1.1 TITLE SHEET & INDEX TO DRAWINGS.
Sheet A1.1 ENLARGED FLOOR PLANS.
Sheet A5.1 SECTIONS & DETAILS.

A. GENERAL:

<u>Item No.</u>	<u>Description</u>
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- | | |
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| 1. | See the attached list of attendees from October 20, 2016, Pre-Bid meeting. |
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B. CHANGES TO TECHNICAL SPECIFICATIONS AND DRAWINGS:

SPECIFICATIONS

<u>Item No.</u>	<u>Description</u>
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- | | |
|----|---|
| 1. | <u>Revision:</u> Reference SE-310 Invitation to Construction Bids: Under Description of Product, revise “following the mandatory pre-bid” to read “following the non-mandatory pre-bid.” |
| 2. | <u>Revision:</u> Reference SE-330 Bid Form, delete this document in its entirety and add the revised SE-330 Bid Form attached to this addendum. |
| 3. | <u>Revision:</u> Reference USC Supplemental General Conditions for Construction Projects. Delete this document in its entirety and add the revised USC Supplemental General Conditions for Construction Projects attached to this addendum. |

4. Revision: Reference Section 010000, Special Conditions and Requirements. At paragraph 1.3.A, revise “ninety (90)” to read “seventy-five (75).”
5. Revision: Reference Section 011000, Summary. At paragraph 1.5.A, revise “ninety” to read “seventy-five.”

DRAWINGS

<u>Item No.</u>	<u>Description</u>
1.	<u>Revision:</u> Reference drawing A1.1, ENLARGED FLOOR PLANS. Delete this sheet in its entirety and add sheet A1.1 ENLARGED FLOOR PLANS attached to this addendum.
2.	<u>Revision:</u> Reference drawing A5.1, SECTIONS & DETAILS. At detail 8/A5.1, revise “WELDED WIRE MESH MODESTY PANEL” to read “BASIS OF DESIGN: MCNICHOLS SQUARE HOLE PERFORATED 16-GAUGE STEEL PANEL WITH 3/8" SQUARE HOLES 1/2" O.C., POWDER COAT”.
3.	<u>Revision:</u> Reference drawing A5.1, SECTION & DETAILS. At detail 1/A5.1, delete “CUT IN FOR NEW GUARDRAIL AT NEAREST VERTICAL POST, INFILL AS REQUIRED.”

END OF ADDENDUM

University of South Carolina
Pre Bid Sign In Sheet
 Columbia, South Carolina

Project Name:
 Project Number:
 Pre Bid Date & Time:

FOUNDERS PARK-PROJECT FOR
 BASEBALL 3RD BASE CLUB AREA
 50003075
 OCTOBER 20, 2016@10:00AM

SWMBE Contractor?	Name	Company Name	Address	Phone #	Email
S W M B E	Doug Fuller	CSG	1412 Ashley Ave Charleston SC	843-245-2527	DougF@CSG-charleston.com
S W M B E	STEVE LAYNE	GIDG		212-1037	slayne@garvindesigngroup.com
S W M B E	ANDREW ROGERSON	GIDG	1209 LINCOLN ST.	212-1032	AROGERSO@ " "
S W M B E	Troy Murphy	WT Murphy	193 Ryd Oaks Ln	309-1169	wtm construction @Arr.net
S W M B E	Ylen Meyer	First Class Const	126 B Super Rd	926-1922	tmeyer @ fcccon.com
S W M B E	JASON PROUSE	HAMMER CONSTRUCTION	785 HAMMON CREEK RD COLUMBIA, SC	803-201-4816	JASON@HAMMERLLC.COM
S W M B E	Marty Ballak	Ball concrete	1471 Hwy Church Rd Elgin SC.	803-900-0482	Ballconcrete11@gmail.com
S W M B E	ANN DEBRICK	USC			aderrick @Lmc.edu
S W M B E	Hatice Hikmet	USC			hikmet'h@mailbox.sc.edu

****By signing this sheet you agree to receive information electronically.

University of South Carolina
Pre Bid Sign In Sheet
 Columbia, South Carolina

FOUNDERS PARK-PROJECT FOR
 BASEBALL 3RD BASE CLUB AREA

Project Name:
 Project Number: 50003075
 Pre Bid Date & Time: OCTOBER 20, 2016@10:00AM

SWMBE Contractor?	Name	Company Name	Address	Phone #	Email
S W M B E	Kevin O'Connell	Athletics		7-0231	kcoconnell@sc.edu
S W M B E	JEFF DAVIS	Athletics		7-0459	jeffdavis@box.sc.edu
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****By signing this sheet you agree to receive information electronically.

SE-310**INVITATION FOR CONSTRUCTION SERVICES****PROJECT NAME:** Founders Park - Project for Baseball 3rd Base Club Area**PROJECT NUMBER:** 50003075**PROJECT LOCATION:** University of South Carolina, Columbia SC**BID SECURITY REQUIRED?** Yes ☒ No ☐**PERFORMANCE BOND REQUIRED?** Yes ☒ No ☐**PAYMENT BOND REQUIRED?** Yes ☒ No ☐**NOTE:** Contractor may be subject to a performance appraisal at the close of the project.**CONSTRUCTION COST RANGE:** \$ 55,000-75,000**DESCRIPTION OF PROJECT:** Renovation of approximately 420 sf of existing outdoor space adjacent to Club Level seating to include selective demolition, new concrete risers, and railings. There will be a single site visit opportunity immediately following the non-mandatory pre-bid. No further site visits will be allowed prior to bid. Small and minority business participation is highly encouraged.**BIDDING DOCUMENTS/PLANS MAY BE OBTAINED FROM:** http://purchasing.sc.edu**PLAN DEPOSIT AMOUNT:** \$ \$0.00 **IS DEPOSIT REFUNDABLE** Yes ☐ No ☐ N/A ☒Bidders must obtain Bidding Documents/Plans from the above listed source(s) to be listed as an official plan holder. Only those Bidding Documents/Plans obtained from the above listed source(s) are official. Bidders that rely on copies of Bidding Documents/Plans obtained from any other source do so at their own risk. All written communications with official plan holders & bidders **WILL** ☐ **WILL NOT** ☐ be via email or website posting.**IN ADDITION TO THE ABOVE OFFICIAL SOURCE(S), BIDDING DOCUMENTS/PLANS ARE ALSO AVAILABLE AT:**N/A*All questions & correspondence concerning this Invitation shall be addressed to the A/E.***A/E NAME:** Garvin Design Group**A/E CONTACT:** Andrew Rogerson**A/E ADDRESS:** Street/PO Box: 1209 Lincoln Stree / P.O. Box 18City: ColumbiaState: SCZIP: 29201-**EMAIL:** arogerson@garvindesigngroup.com**TELEPHONE:** 803-212-1032**FAX:** 803-212-1074**AGENCY:** University of South Carolina**AGENCY PROJECT COORDINATOR:** Hatice Hikmet**ADDRESS:** Street/PO Box: 743 Greene StreetCity: ColumbiaState: SCZIP: 29208-**EMAIL:** hikmeth@mailbox.sc.edu**TELEPHONE:** 803-777-9994**FAX:** 803-777-7334**PRE-BID CONFERENCE:** Yes ☒ No ☐**MANDATORY ATTENDANCE:** Yes ☐ No ☒**PRE-BID DATE:** 10/20/2016 **TIME:** 10:00 AM**PLACE:** 743 Greene Street, Columbia, SC - Conf. Room 53**BID CLOSING DATE:** 11/3/2016 **TIME:** 2:00 PM**PLACE:** 743 Greene Street, Columbia, SC - Conf. Room 53**BID DELIVERY ADDRESSES:****HAND-DELIVERY:**Attn: Hatice HikmetUSC Facilities Management Center743 Greene Street, Columbia, SC 29208**MAIL SERVICE:**Attn: Hatice HikmetUSC Facilities Management Center743 Greene Street, Columbia, SC 29208**IS PROJECT WITHIN AGENCY CONSTRUCTION CERTIFICATION? (Agency MUST check one)**Yes ☒No ☐**APPROVED BY:** _____*(OSE Project Manager)***DATE:** _____

SE-330

LUMP SUM BID FORM

Bidders shall submit bids on only Bid Form SE-330.

BID SUBMITTED BY: _____
(Bidder's Name)

BID SUBMITTED TO: University of South Carolina
(Owner's Name)

FOR: PROJECT NAME: Founders Park - Project for Baseball 3rd Base Club Area
PROJECT NUMBER: 50003075

OFFER

§ 1. In response to the Invitation for Construction Services and in compliance with the Instructions to Bidders for the above-named Project, the undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into a Contract with the Owner on the terms included in the Bidding Documents, and to perform all Work as specified or indicated in the Bidding Documents, for the prices and within the time frames indicated in this Bid and in accordance with the other terms and conditions of the Bidding Documents.

§ 2. Pursuant to Section 11-35-3030(1) of the SC Code of Laws, as amended, Bidder has submitted Bid Security as follows in the amount and form required by the Bidding Documents:

☐ **Bid Bond with Power of Attorney** ☐ **Electronic Bid Bond** ☐ **Cashier's Check**

(Bidder check one)

§ 3. Bidder acknowledges the receipt of the following Addenda to the Bidding Documents and has incorporated the effects of said Addenda into this Bid:

(Bidder, check all that apply. Note, there may be more boxes than actual addenda. Do not check boxes that do not apply)

ADDENDA: ☐ #1 ☐ #2 ☐ #3 ☐ #4 ☐ #5

§ 4. Bidder accepts all terms and conditions of the Invitation for Bids, including, without limitation, those dealing with the disposition of Bid Security. Bidder agrees that this Bid, including all Bid Alternates, if any, may not be revoked or withdrawn after the opening of bids, and shall remain open for acceptance for a period of **60** Days following the Bid Date, or for such longer period of time that Bidder may agree to in writing upon request of the Owner.

§ 5. Bidder herewith offers to provide all labor, materials, equipment, tools of trades and labor, accessories, appliances, warranties and guarantees, and to pay all royalties, fees, permits, licenses and applicable taxes necessary to complete the following items of construction work:

§ 6.1 **BASE BID WORK** (as indicated in the Bidding Documents and generally described as follows): Renovation of approximately 420 sf of existing outdoor space adjacent to Club Level seating to include selective demolition, new concrete risers, and railings.

\$ _____, which sum is hereafter called the Base Bid.

(Bidder to insert Base Bid Amount on line above)

SE-330 **LUMP SUM BID FORM**

§ 6.2 **BID ALTERNATES** as indicated in the Bidding Documents and generally described as follows:

ALTERNATE # 1 (Brief Description): N/A

☐ **ADD TO** or ☐ **DEDUCT FROM BASE BID:** \$

(Bidder to mark appropriate box to clearly indicate the price adjustment offered for each Alternate)

ALTERNATE # 2 (Brief Description): N/A

☐ **ADD TO** or ☐ **DEDUCT FROM BASE BID:** \$

(Bidder to mark appropriate box to clearly indicate the price adjustment offered for each Alternate)

ALTERNATE # 3 (Brief Description): N/A

☐ **ADD TO** or ☐ **DEDUCT FROM BASE BID:** \$

(Bidder to mark appropriate box to clearly indicate the price adjustment offered for each Alternate)

§ 6.3 **UNIT PRICES:**

BIDDER offers for the Agency's consideration and use, the following **UNIT PRICES**. The **UNIT PRICES** offered by **BIDDER** indicate the amount to be added to or deducted from the **CONTRACT SUM** for each item-unit combination. **UNIT PRICES** include all costs to the Agency, including those for materials, labor, equipment, tools of trades and labor, fees, taxes, insurance, bonding, overhead, profit, etc. The Agency reserves the right to include or not to include any of the following **UNIT PRICES** in the Contract and to negotiate the **UNIT PRICES** with **BIDDER**.

<u>No.</u>	<u>ITEM</u>	<u>UNIT OF MEASURE</u>	<u>ADD</u>	<u>DEDUCT</u>
<u>1.</u>			<u>\$</u>	<u>\$</u>
<u>2.</u>			<u>\$</u>	<u>\$</u>
<u>3.</u>			<u>\$</u>	<u>\$</u>
<u>4.</u>			<u>\$</u>	<u>\$</u>
<u>5.</u>			<u>\$</u>	<u>\$</u>
<u>6.</u>			<u>\$</u>	<u>\$</u>

SE-330

LUMP SUM BID FORM

§ 7. LISTING OF PROPOSED SUBCONTRACTORS PURSUANT TO SECTION 3020(b)(i), CHAPTER 35, TITLE 11 OF THE SOUTH CAROLINA CODE OF LAWS, AS AMENDED (See Instructions on the following page BF-2A)

Bidder shall use the below-listed Subcontractors in the performance of the Subcontractor Classification work listed:

SUBCONTRACTOR CLASSIFICATION By License Classification and/or Subclassification (Completed by Owner)	SUBCONTRACTOR'S PRIME CONTRACTOR'S NAME (Must be completed by Bidder)	SUBCONTRACTOR'S PRIME CONTRACTOR'S SC LICENSE NUMBER (Requested, but not Required)
BASE BID		
N/A		
ALTERNATE #1		
N/A		
ALTERNATE #2		
N/A		
ALTERNATE #3		
N/A		

If a Bid Alternate is accepted, Subcontractors listed for the Bid Alternate shall be used for the work of both the Alternate and the Base Bid work.

SE-330

LUMP SUM BID FORM

INSTRUCTIONS FOR SUBCONTRACTOR LISTING

1. Section 7 of the Bid Form sets forth an Owner developed list of contractor/subcontractor specialties by contractor license category and/or subcategory for which bidder is required to identify the entity (subcontractor(s) and/or himself) Bidder will use to perform the work of each listed specialty..
 - a. **Column A:** The Owner fills out this column, which identifies the contractor/subcontractor specialties for which the bidder must list either a subcontractor or himself as the entity that will perform this work. Subcontractor specialties are identified by contractor license categories or subcategories listed in Title 40 of the South Carolina Code of laws. Abbreviations of classifications to be listed after the specialty can be found at: <http://www.llr.state.sc.us/POL/Contractors/PDFFiles/CLBClassificationAbbreviations.pdf> . If the owner has not identified a specialty, the bidder does not list a subcontractor.
 - b. **Columns B and C:** In these columns, the Bidder identifies the subcontractors it will use for the work of each specialty listed by the Owner in Column A. Bidder must identify only the subcontractor(s) who will perform the work and no others. Bidders should make sure that their identification of each subcontractor is clear and unambiguous. A listing that could be any number of different entities may be cause for rejection of the bid as non-responsive. For example, a listing of M&M without more may be problematic if there are multiple different licensed contractors in South Carolina whose names start with M&M.
2. **Subcontractor Defined:** For purposes of subcontractor listing, a subcontractor is an entity who will perform work or render service to the prime contractor to or about the construction site pursuant to a contract with the prime contractor. Bidder should not identify sub-subcontractors in the spaces provided on the bid form but only those entities with which bidder will contract directly. Likewise, do not identify material suppliers, manufacturers, and fabricators that will not perform physical work at the site of the project but will only supply materials or equipment to the bidder or proposed subcontractor(s).
3. **Subcontractor Qualifications:** Bidder must only list subcontractors who possess a South Carolina Contractor's license with the license classification and/or subclassification identified by the Owner in the first column on the left. The subcontractor license must also be within the appropriate license group for the work of the specialty. If Bidder lists a subcontractor who is not qualified to perform the work, the Bidder will be rejected as non-responsive.
4. **Use of Own forces:** If under the terms of the Bidding Documents, Bidder is qualified to perform the work of a listed specialty and Bidder does not intend to subcontract such work but to use Bidder's own employees to perform such work, the Bidder must insert its own name in the space provided for that specialty.
5. **Use of Multiple Subcontractors:**
 - a. If Bidder intends to use multiple subcontractors to perform the work of a single specialty listing, Bidder must insert the name of each subcontractor Bidder will use, preferably separating the name of each by the word **"and"**. If Bidder intends to use both his own employees to perform a part of the work of a single specialty listing and to use one or more subcontractors to perform the remaining work for that specialty listing, bidder must insert his own name and the name of each subcontractor, preferably separating the name of each with the word **"and"**. Bidder must use each entity listed for the work of a single specialty listing in the performance of that work.
 - b. **Optional Listing Prohibited:** Bidder may not list multiple subcontractors for a specialty listing, in a form that provides the Bidder the option, after bid opening or award, to choose to use one or more but not all the listed subcontractors to perform the work for which they are listed. A listing, which on its face requires subsequent explanation to determine whether it is an optional listing, is non-responsive. If bidder intends to use multiple entities to perform the work for a single specialty listing, bidder must clearly set forth on the bid form such intent. Bidder may accomplish this by simply inserting the word **"and"** between the names of each entity listed for that specialty. Agency will reject as non-responsive a listing that contains the names of multiple subcontractors separated by a blank space, the word **"or"**, a virgule (that is a /), or any separator that the Agency may reasonably interpret as an optional listing.
6. If Bidder is awarded the contract, bidder must, except with the approval of the Agency for good cause shown, use the listed entities to perform the work for which they are listed.
7. If bidder is awarded the contract, bidder will not be allowed to substitute another entity as subcontractor in place of a subcontractor listed in Section 7 of the Bid except for one or more of the reasons allowed by the SC Code of Laws.
8. Bidder's failure to identify an entity (subcontractor or himself) to perform the work of a subcontractor specialty listed in the first column on the left will render the Bid non-responsive.

SE-330

LUMP SUM BID FORM

§ 8. LIST OF MANUFACTURERS, MATERIAL SUPPLIERS, AND SUBCONTRACTORS OTHER THAN SUBCONTRACTORS LISTED IN SECTION 7 ABOVE (*FOR INFORMATION ONLY*):

Pursuant to instructions in the Invitation for Construction Services, if any, Bidder will provide to Owner upon the Owner's request and within 24 hours of such request, a listing of manufacturers, material suppliers, and subcontractors, other than those listed in Section 7 above, that Bidder intends to use on the project. Bidder acknowledges and agrees that this list is provided for purposes of determining responsibility and not pursuant to the subcontractor listing requirements of SC Code Ann § 11-35-3020(b)(i).

§ 9. TIME OF CONTRACT PERFORMANCE AND LIQUIDATED DAMAGES

a) CONTRACT TIME

Bidder agrees that the Date of Commencement of the Work shall be established in a Notice to Proceed to be issued by the Owner. Bidder agrees to substantially complete the Work within 75 Calendar Days from the Date of Commencement, subject to adjustments as provided in the Contract Documents.

b) LIQUIDATED DAMAGES

Bidder further agrees that from the compensation to be paid, the Owner shall retain as Liquidated Damages the amount of \$ 250.00 for each Calendar Day the actual construction time required to achieve Substantial Completion exceeds the specified or adjusted time for Substantial Completion as provided in the Contract Documents. This amount is intended by the parties as the predetermined measure of compensation for actual damages, not as a penalty for nonperformance.

§ 10. AGREEMENTS

- a) Bidder agrees that this bid is subject to the requirements of the laws of the State of South Carolina.
- b) Bidder agrees that at any time prior to the issuance of the Notice to Proceed for this Project, this Project may be canceled for the convenience of, and without cost to, the State.
- c) Bidder agrees that neither the State of South Carolina nor any of its agencies, employees or agents shall be responsible for any bid preparation costs, or any costs or charges of any type, should all bids be rejected or the Project canceled for any reason prior to the issuance of the Notice to Proceed.

§ 11. ELECTRONIC BID BOND

By signing below, the Principal is affirming that the identified electronic bid bond has been executed and that the Principal and Surety are firmly bound unto the State of South Carolina under the terms and conditions of the AIA Document A310, Bid Bond, included in the Bidding Documents.

ELECTRONIC BID BOND NUMBER: _____

SIGNATURE AND TITLE: _____

**SE-330
LUMP SUM BID FORM****CONTRACTOR'S CLASSIFICATIONS AND SUBCLASSIFICATIONS WITH LIMITATION****SC Contractor's License Number(s):** _____**Classification(s) & Limits:** _____**Subclassification(s) & Limits:** _____

By signing this Bid, the person signing reaffirms all representation and certification made by both the person signing and the Bidder, including without limitation, those appearing in Article 2 of the Instructions to Bidders, is expressly incorporated by reference.

BIDDER'S LEGAL NAME: _____**ADDRESS:** _____

TELEPHONE: _____**EMAIL:** _____**SIGNATURE:** _____ **DATE:** _____**PRINT NAME:** _____**TITLE:** _____

USC SUPPLEMENTAL GENERAL CONDITIONS FOR CONSTRUCTION PROJECTS

WORK AREAS

1. The Contractor shall maintain the job site in a safe manner at all times. This includes (but is not limited to) the provision and/or maintenance of lighting, fencing, barricades around obstructions, and safety and directional signage.
2. Contractor's employees shall take all reasonable means not to interrupt the flow of student traffic in building corridors, lobbies, stairs and exterior walks. All necessary and reasonable safety precautions shall be taken to prevent injury to building occupants while transporting materials and equipment through the work area. Providing safe, accessible, plywood-shielded pedestrian ways around construction may be required if a suitable alternative route is not available.
3. At the beginning of the project, the USC Project Manager will establish the Contractor's lay-down area. This area will also be used for the Contractor's work vehicles. The lay-down area will be clearly identified to the contractor by the Project Manager, with a sketch or drawing provided to USC Parking Services. In turn, Parking Services will mark off this area with a sign containing the project name, Project Manager's name, Contractor name and contact number, and end date. Where this area is subject to foot traffic, protective barriers will be provided as specified by the Project Manager. The area will be maintained in a neat and orderly fashion.
4. Work vehicles parked in the lay down area (or designated parking areas) will be clearly marked and display a USC-furnished placard for identification. No personal vehicles will be allowed in this area, or in any areas surrounding the construction site. Personal vehicles must be parked in the perimeter parking lots or garages. Temporary parking permits can be obtained at the Contractor's expense at the USC Parking Office located in the Pendleton Street parking garage. Refer to the CAMPUS VEHICLE EXPECTATIONS (below) for additional information.
5. Contractor is responsible for removal of all debris from the site, and is required to provide the necessary dumpsters which will be emptied on a regular basis. Construction waste must not be placed in University dumpsters. The construction site must be thoroughly cleaned with all trash picked up and properly disposed of on a daily basis and the site must be left in a safe and sanitary condition each day. The University will inspect job sites regularly and will fine any contractor found to be in violation of this requirement an amount of up to \$1,000 per violation.
6. The Contractor shall be responsible for erosion and sediment control measures where ground disturbances are made.

PROJECT FENCING

7. All construction projects with exterior impacts shall have construction fencing at the perimeter. Fencing shall be 6' chain link with black or green privacy fabric (80-90% blockage). For fence panels with footed stands, sandbag weights shall be placed on the inside of the fence. Ripped sandbags shall be replaced immediately.
8. For projects with long fencing runs and/or high profile locations, decorative USC banners shall be used on top of privacy fabric; banners should be used at a ratio of one banner for every five fence panels. USC Project Manager will make arrangements for banner delivery for Contractor to hang.
9. The use of plastic safety fencing is discouraged and shall only be used on a temporary basis (less than four weeks) where absolutely necessary. Safety fencing shall be a neon yellow-green, high-

visibility fencing equal to 'Kryptonight' by Tenax. Safety fencing shall be erected and maintained in a neat and orderly fashion throughout the project.

10. Vehicles and all other equipment shall be contained within a fenced area if they are on site for more than 3 consecutive calendar days.

BEHAVIOR

11. Fraternalization between Contractor's employees and USC students, faculty or staff is strictly prohibited.
12. USC will not tolerate rude, abusive or degrading behavior on the job site. Heckling and cat-calling directed toward students, faculty or staff or any other person on USC property is strictly prohibited. Any contractor whose employees violate this requirement will be assessed a fine of up to \$500 per violation.
13. Contractor's employees must adhere to the University's policy of maintaining a drug-free and tobacco-free campus.

HAZARDOUS MATERIALS & SAFETY COMPLIANCE

14. A USC Permit to Work must be signed prior to any work being performed by the general contractor or sub-contractor(s).
15. The contractor will comply with all regulations set forth by OSHA and SCDHEC. Contractor must also adhere to USC's internal policies and procedures (available by request). Upon request, the contractor will submit all Safety Programs and Certificates of Insurance to the University for review.
16. Contractor must notify the University immediately upon the discovery of suspect material which may contain asbestos or other such hazardous materials. These materials must not be disturbed until approved by the USC Project Manager.
17. In the event of an OSHA inspection, the Contractor shall immediately call the Facilities Call Center, 803-777-4217, and report that an OSHA inspector is on site. An employee from USC's Safety Unit will arrive to assist in the inspection.

LANDSCAPE & TREE PROTECTION

18. In conjunction with the construction documents, the USC Arborist shall direct methods to minimize damage to campus trees. Tree protection fencing is required to protect existing trees and other landscape features to be affected by a construction project. The location of this fence will be evaluated for each situation with the USC Arborist, Landscape Architect and Project Manager. Tree protection fencing may be required along access routes as well as within the project area itself. Fence locations may have to be reset throughout the course of the project.
19. The tree protection fence shall be 6' high chain link fence with 80-90% privacy screening unless otherwise approved by USC Arborist and/or Landscape Architect. If the tree protection fence is completely within a screened jobsite fence perimeter, privacy fabric is not required. In-ground fence posts are preferred in most situations for greater protection. If utility or pavement conflicts are present, fence panels in footed stands are acceptable. See attached detail for typical tree protection fencing.
20. No entry, vehicle parking, or materials storage will be allowed inside the tree protection zone. A 4"

layer of mulch shall be placed over the tree protection area to maintain moisture in the root zone.

21. Where it is necessary to cross walks, tree root zones (i.e., under canopy) or lawns the following protective measures shall be taken:
 - a. For single loads up to 9,000 lbs., a 3/4" minimum plywood base shall be placed over 4" of mulch.
 - b. For single loads over 9,000 lbs., two layers of 3/4" plywood shall be placed over 4" of mulch.
 - c. Plywood sheets shall be replaced as they deteriorate or delaminate with exposure.
 - d. For projects requiring heavier loads, a construction entry road consisting of 10' X 16' oak logging mats on 12" coarse, chipped, hardwood base. Mulch and logging mats shall be supplemented throughout the project to keep matting structurally functional.
22. Damage to any trees during construction shall be assessed by the USC Arborist, who will stipulate what action will be taken for remediation of damage. The cost of any and all remediation will be assumed by the contractor at no additional cost to the project. Compensation for damages may be assessed up to \$500 per caliper inch of tree (up to 8") and \$500 per inch of diameter at breast height (for trees over 8").
23. Damage to trunks and limbs, as well as disturbance of the root zone under the dripline of tree, including compaction of soil, cutting or filling, or storage of materials, shall qualify as damage and subject to remediation.
24. Any damage to existing pavements or landscaping (including lawn areas and irrigation) will be remediated before final payment is made.

TEMPORARY FACILITIES

25. Contractor will be responsible for providing its own temporary toilet facilities, unless prior arrangements are made with the USC Project Manager.
26. Use of USC communications facilities (telephones, computers, etc.) by the Contractor is prohibited, unless prior arrangements are made with the USC Project Manager.

CAMPUS KEYS

27. Contractor must sign a Contractor Key Receipt/Return form before any keys are issued. Keys must be returned immediately upon the completion of the work. The Contractor will bear the cost of any re-keying necessary due to the loss of or failure to return keys.

WELDING

28. A welding (hot work) permit must be issued by the University Fire Marshall before any welding can begin inside a building. The USC Project Manager will coordinate.

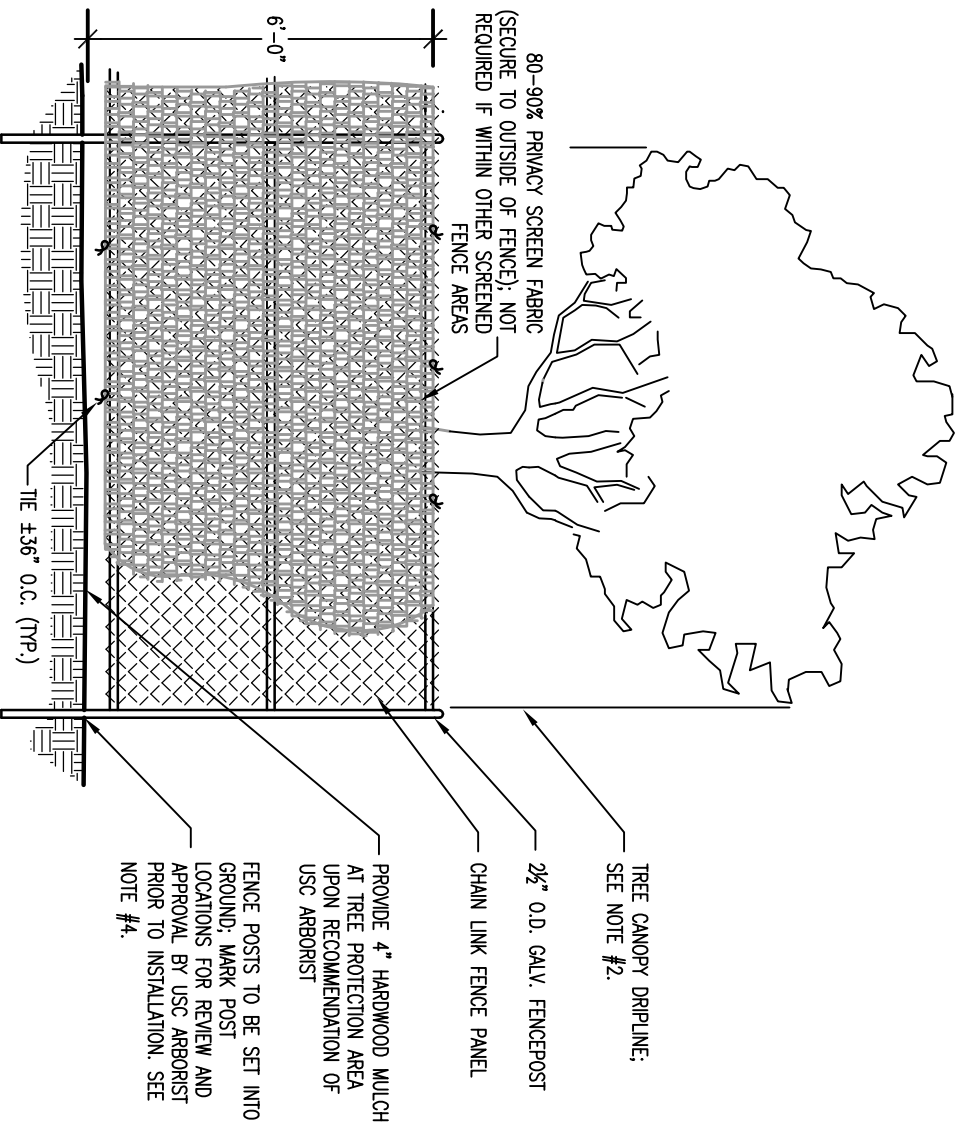
PROJECT EVALUATION & CLOSE-OUT

29. For all projects over \$100,000, including IDCs, a Contractor Performance Evaluation (SE 397) will be reviewed with the GC at the beginning of the project and a copy given to the GC. At the end of the project the form will be completed by the USC Project Manager and a Construction Performance rating will be established.
30. Contractor must provide all O&M manuals, as-built drawings, and training of USC personnel on new equipment, controls, etc. prior to Substantial Completion. Final payment will not be made until

this is completed.

CAMPUS VEHICLE EXPECTATIONS

31. Personal vehicles must be parked in the perimeter parking lots or garages. Temporary parking permits can be obtained at the Contractor's expense at the USC Parking Office located in the Pendleton Street parking garage.
32. All motorized vehicle traffic on USC walkways and landscape areas must be approved by the USC Project Manager and Parking Division, have a USC parking placard, and be parked within the approved laydown area. Violators may be subject to ticketing, towing and fines.
33. All motorized vehicles that leak or drip liquids are prohibited from traveling or parking on walks or landscaped areas.
34. Drivers of equipment or motor vehicles that damage university hardscape or landscape will be held responsible for damages and restoration expense.
35. All vehicles parked on landscape, hardscape, or in the process of service delivery, must display adequate safety devices, i.e. flashing lights, cones, signage, etc.
36. All drivers of equipment and vehicles shall be respectful of University landscape, equipment, structures, fixtures and signage.
37. All incidents of property damage shall be reported to Parking Services or the Work Management Center.



NOTES:

1. PROVIDE PROTECTION FENCING FOR ALL TREES WITHIN AREA OF DISTURBANCE AND CONSTRUCTION ACCESS.
2. PROTECTION FENCING SHALL BE IN PLACE PRIOR TO BEGINNING CONSTRUCTION.
3. PROTECTION FENCING TO BE PLACED AT THE OUTSIDE OF THE CANOPY DRIPLINE, OR AT A DISTANCE OF ONE FOOT PER ONE INCH OF TREE DIAMETER, MEASURED AT BREAST HEIGHT, WHICHEVER IS LARGER, UNLESS OTHERWISE INDICATED ON LANDSCAPE PLAN OR APPROVED BY UNIVERSITY ARBORIST.
4. IN-GROUND POSTS ARE STANDARD. IF EXISTING ROOTS, UTILITIES OR PAVEMENT PRECLUDE USE OF IN-GROUND POSTS, FOOTED STANDS ARE ACCEPTABLE. SAND BAGS SHALL BE PLACED ON THE INSIDE OF FENCE.
5. DAMAGE TO ANY TREES DURING CONSTRUCTION SHALL BE ASSESSED BY UNIVERSITY ARBORIST AND THE UNIVERSITY ARBORIST SHALL STIPULATE WHAT ACTION WILL BE TAKEN FOR REMEDIATION OF DAMAGE. THE COST OF ANY AND ALL REMEDIATION WILL BE ASSUMED BY CONTRACTOR AT NO ADDITIONAL COST TO THE PROJECT.
6. DISTURBANCE OF ROOT ZONE UNDER DRIPLINE OF TREE, INCLUDING COMPACTION OF SOIL, CUTTING OR FILLING OR STORAGE OF MATERIALS SHALL QUALIFY AS DAMAGE AND SUBJECT TO REMEDIATION.

TREE PROTECTION FENCING (IN-GROUND) WITH SCREENING

NO SCALE REVISED 8.28.14

SECTION 010000 – SPECIAL CONDITIONS AND REQUIREMENTS

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

1.2 BIDDING AND CONTRACT REQUIREMENTS

- A. The following documents are to be used by all Contractors and Bidders and are considered to be part of the Agreement between the Owner and Contractor:
 - 1. SE-310, Invitation for Construction Services.
 - 2. AIA Document A70-1997 Instructions to Bidders – South Carolina Division of Procurement Services, Office of the State Engineer Version.
 - 3. AIA Document A101-2007 Standard Form of Agreement between Owner and Contractor – South Carolina Division of Procurement Services, Office of the State Engineer Version.
 - 4. AIA Document A201-2007 General Conditions of the Contract for Construction – South Carolina Division of Procurement Services, Office of the State Engineer Version.
 - 5. USC Supplemental General Conditions for Construction Projects.

1.3 TIME OF COMPLETION/CONSTRUCTION SCHEDULE

- A. It is the intent of the Owner to award the contract and issue a Notice of Intent to Award if the bid/price is within the funds available for the project. Based on this, the Contractor shall commence work under this Contract within seven (7) calendar days of the Date of Commencement. Substantial Completion must be reached within seventy-five (75) calendar days from the Date of Commencement. See BF-4 for specific information regarding Completion dates. The Contract will indicate the number of calendar days from the Date of Commencement to Substantial Completion. Any revision to this contract date must be approved by the Owner in the form of a Change Order.
- B. Contractor shall submit a Construction Schedule within seven (14) calendar days after the Notice to Proceed. No Applications for Payment will be issued until the Project Schedule has been submitted. Updated Project Schedule must be submitted with each monthly Application for Payment. See also Division 01 Sections for schedule and submittal requirements.

1.4 PERMITS, FEES, LICENSES, AND INSPECTIONS

- A. The Owner shall obtain all permits from the local governing authorities and pay any costs or fees associated with permits and required inspections.
- B. The Contractors and Subcontractors must obtain and possess any and all business licenses required by the local authorities having jurisdiction over the project.

1.5 CHANGE PROPOSALS

- A. All proposals related to changes in the work must be detailed for the Owner and Architect for review. The cost proposal must include detailed breakdowns for labor cost, number of hours, material unit costs, quantities, mark ups, taxes, shipping, etc. Any proposals submitted without detail information will be rejected. Any requests for additional time must be submitted along with cost proposals for review. See Supplementary Conditions for requirements related to itemized information.

1.6 NOTIFICATION

- A. In case of emergency, notify Ann Derrick, USC Campus Planning & Construction, Project Manager for this project, at 803-777-5811 or USC Safety Department at 803-777-5269.

PART 2 - PRODUCTS (Not Applicable)

PART 3 - EXECUTION (Not Applicable)

Attachments:

END OF SECTION 010000

SECTION 011000 - SUMMARY

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes the following:

- 1. Work covered by the Contract Documents.
- 2. Type of the Contract.
- 3. Work under other contracts.
- 4. Products ordered in advance.
- 5. Owner-furnished products.
- 6. Use of premises.
- 7. Owner's occupancy requirements.
- 8. Work restrictions.
- 9. Specification formats and conventions.

- B. Related Sections include the following:

- 1. Division 01 Section "Temporary Facilities and Controls" for limitations and procedures governing temporary use of Owner's facilities.

1.3 WORK COVERED BY CONTRACT DOCUMENTS

- A. Project Identification:

- 1. Founders Park – Project for Baseball 3rd Base Club Area, University of South Carolina.
- 2. Project Number: 50003075.
- 3. Architects Project Number: U427.16.
- 4. Project Location: 431 Williams Street, Columbia, South Carolina, 29201.

- B. Owner: University of South Carolina.

- 1. Owner's Representative: Ann Derrick, USC Campus Planning & Construction, Project Manager, 803-777-5811.

- C. Architect: Garvin Design Group, Inc. 1209 Lincoln St., Columbia, SC 29201. Contact: Andrew Rogerson. 803-212-1032 (phone) 803-212-1074 (fax).

D. The Work consists of the following:

Renovation of approximately 420 sf of existing outdoor space adjacent to Club Level seating to include selective demolition, new concrete risers, and railings.

1.4 TYPE OF CONTRACT

- A. Project will be constructed under a single prime contract.

1.5 COMPLETION TIME

- A. The Work shall be conducted within the following timeframe:

1. The Date of Substantial Completion shall be seventy-five (75) calendar days from the Date of Commencement as set forth in the SE-390, Notice to Proceed, subject to adjustments as provided in the Contract Documents.
2. The Date of Final Completion shall be 7 days from the Date of Substantial Completion, subject to adjustments as provided in the Contract Documents.

1.6 WORK UNDER OTHER CONTRACTS

- A. General: Cooperate fully with separate contractors so work on those contracts may be carried out smoothly, without interfering with or delaying work under this Contract. Coordinate the Work of this Contract with work performed under separate contracts.

1.7 OWNER-FURNISHED PRODUCTS

- A. Owner will furnish products indicated. The Work includes providing support systems to receive Owner's equipment and making plumbing, mechanical, and electrical connections.
1. Owner will arrange for and deliver Shop Drawings, Product Data, and Samples to Contractor.
 2. Owner will arrange and pay for delivery of Owner-furnished items according to Contractor's Construction Schedule.
 3. After delivery, Owner will inspect delivered items for damage. Contractor shall be present for and assist in Owner's inspection.
 4. If Owner-furnished items are damaged, defective, or missing, Owner will arrange for replacement.
 5. Owner will arrange for manufacturer's field services and for delivery of manufacturer's warranties to Contractor.
 6. Owner will furnish Contractor the earliest possible delivery date for Owner-furnished products. Using Owner-furnished earliest possible delivery dates, Contractor shall designate delivery dates of Owner-furnished items in Contractor's Construction Schedule.
 7. Contractor shall review Shop Drawings, Product Data, and Samples and return them to Architect noting discrepancies or anticipated problems in use of product.

8. Contractor is responsible for receiving, unloading, and handling Owner-furnished items at Project site.
9. Contractor is responsible for protecting Owner-furnished items from damage during storage and handling, including damage from exposure to the elements.
10. If Owner-furnished items are damaged as a result of Contractor's operations, Contractor shall repair or replace them.
11. Contractor shall install and otherwise incorporate Owner-furnished items into the Work.

B. Owner-Furnished Products:

1. Patio tables and chairs. See Drawings for location.

1.8 USE OF PREMISES

- A. General: Contractor shall have full use of premises for construction operations, including use of Project site, during construction period. Contractor's use of premises is limited only by Owner's right to perform work or to retain other contractors on portions of Project.
- B. Use of Site: Do not disturb portions of Project site beyond areas in which the Work is indicated.
 1. Limits: Confine constructions operations to area indicated on drawings.
- C. Work during ballgames or other events at site: Contractor shall coordinate all work during times when ballgames or other events are scheduled during work hours. The work area shall be cleaned and secured during these events in order to prevent any access by event patrons.

1.9 WORK RESTRICTIONS

- A. On-Site Work Hours: There are no work hour restrictions imposed by the Owner.
- B. Existing Utility Interruptions: Do not interrupt utilities serving facilities occupied by Owner or others unless permitted under the following conditions and then only after arranging to provide temporary utility services according to requirements indicated:
 1. Notify Owner not less than two days in advance of proposed utility interruptions.
 2. Do not proceed with utility interruptions without Owner's written permission.

1.10 SPECIFICATION FORMATS AND CONVENTIONS

- A. Specification Format: The Specifications are organized into Divisions and Sections using the 17-division format and CSI/CSC's "MasterFormat" numbering system.
 1. Section Identification: The Specifications use Section numbers and titles to help cross-referencing in the Contract Documents. Sections in the Project Manual are in numeric sequence; however, the sequence is incomplete because all available Section numbers are not used. Consult the table of contents at the beginning of the Project Manual to determine numbers and names of Sections in the Contract Documents.

2. Division 01: Sections in Division 01 govern the execution of the Work of all Sections in the Specifications.
- B. Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
1. Abbreviated Language: Language used in the Specifications and other Contract Documents is abbreviated. Words and meanings shall be interpreted as appropriate. Words implied, but not stated, shall be inferred as the sense requires. Singular words shall be interpreted as plural, and plural words shall be interpreted as singular where applicable as the context of the Contract Documents indicates.
 2. Imperative mood and streamlined language are generally used in the Specifications. Requirements expressed in the imperative mood are to be performed by Contractor. Occasionally, the indicative or subjunctive mood may be used in the Section Text for clarity to describe responsibilities that must be fulfilled indirectly by Contractor or by others when so noted.
 - a. The words "shall," "shall be," or "shall comply with," depending on the context, are implied where a colon (:) is used within a sentence or phrase.

1.11 MISCELLANEOUS PROVISIONS

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF SECTION 011000

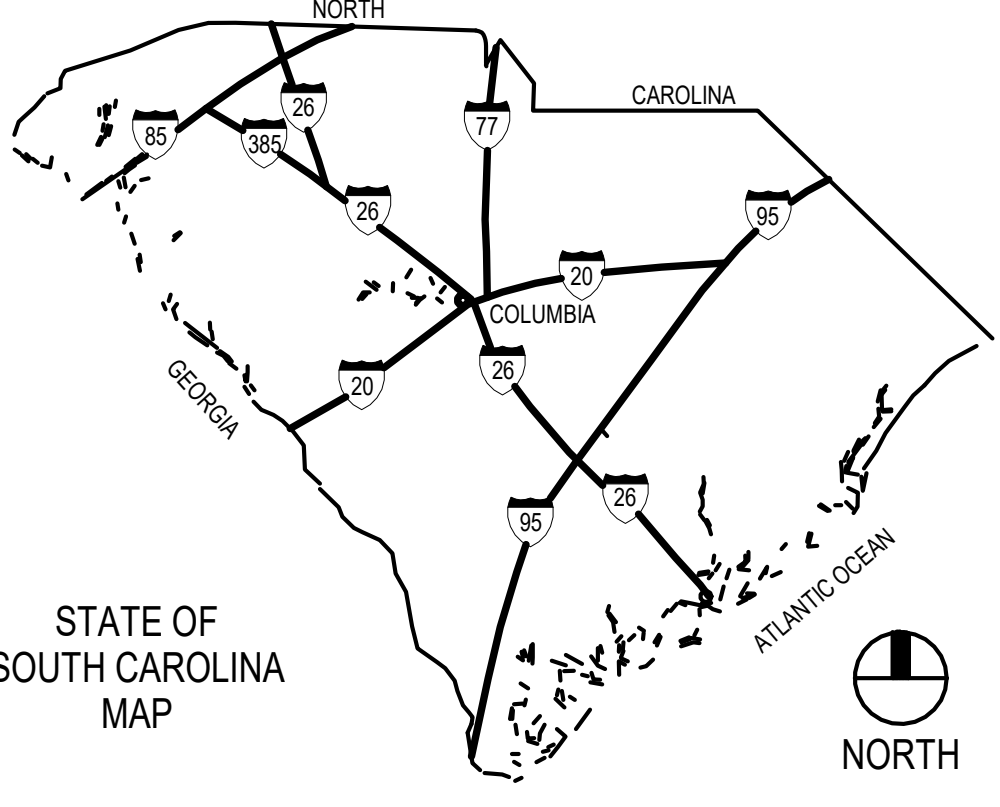
UNIVERSITY OF SOUTH CAROLINA
FOUNDERS PARK - PROJECT FOR BASEBALL 3RD BASE CLUB AREA

431 WILLIAMS STREET
COLUMBIA, SOUTH CAROLINA 29201
University Project Number: 50003075

Architect's Project Number: U427.16

28 OCTOBER 2016

LOCATION MAP

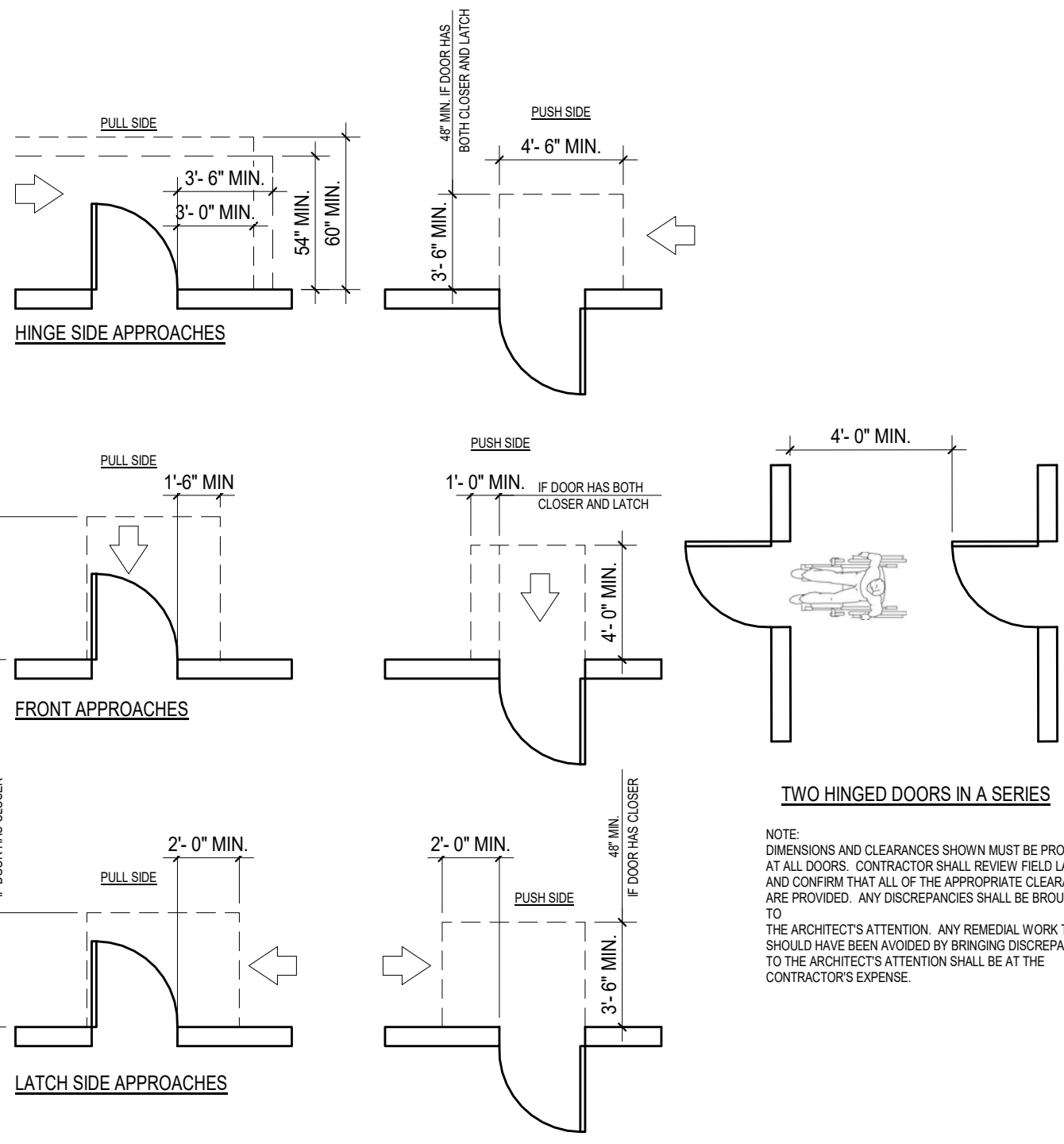


STATE OF SOUTH CAROLINA MAP

MATERIAL DESIGNATIONS

COMPACTED EARTH	WOOD (ROUGH)
POROUS FILL (STONE OR GRAVEL)	WOOD (FINISHED)
CONCRETE	PLYWOOD
CONCRETE MASONRY UNIT (CMU)	BATT INSULATION
BRICK	GYPSPUM BOARD
SAND, PLASTER, CEMENT, GROUT	RIGID INSULATION
STEEL	

MANEUVERING CLEARANCES



TWO HINGED DOORS IN A SERIES

NOTE: DIMENSIONS AND CLEARANCES SHOWN MUST BE PROVIDED AT ALL LOCATIONS. CONTRACTOR SHALL REVIEW FIELD LAYOUT AND CONFIRM THAT ALL OF THE APPROPRIATE CLEARANCES ARE PROVIDED. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION. ANY REMEDIAL WORK THAT SHOULD HAVE BEEN AVOIDED BY BRIDGING DISCREPANCIES TO THE ARCHITECT'S ATTENTION SHALL BE AT THE CONTRACTOR'S EXPENSE.

INDEX TO DRAWINGS

T1.1 TITLE SHEET & INDEX TO DRAWINGS

ARCHITECTURE

A1.1 ENLARGED FLOOR PLANS

A5.1 SECTIONS & DETAILS

ABBREVIATIONS

ANGLE
AT
AFF ABOVE FINISH FLOOR
ALUM ALUMINUM
ARCH ARCHITECTURAL
BLKG BLOCKING
BU BUILT-UP ROOF
CLG CENTERLINE
CONC CONCRETE
CMU CONCRETE MASONRY UNIT
CONT CONTINUOUS
DA DIAMETER
DS DOWN SPOUT
DWG DRAWING
EXT EXTERIOR
EXIST EXISTING
EA EACH
EJ EXPANSION JOINT
ELEC ELECTRICAL
EL ELEVATION
ELEV ELEVATOR
EQUIP EQUIPMENT
EWC ELECTRIC WATER COOLER
FIN FINISH
FD FLOOR DRAIN
FDF FACE OF FINISH
FOS FACE OF STUD
FR FIRE RETARDANT
FV FIELD VERIFY
GA GAUGE
GYP GYPSUM BOARD
HM HOLLOW METAL
HORIZ HORIZONTAL
HT HEIGHT
HVAC HEATING VENTILATION AIR-CONDITIONING
ID INSIDE DIAMETER
INSUL INSULATION
JOINT
JT LAVATORY
LAV LAVATORY
MAX MAXIMUM
MECH MECHANICAL
MFR MANUFACTURER
MIN MINIMUM
MO NOT IN CONTRACT
NIC NOMINAL
NOM NOT TO SCALE
NTS ON CENTER
OC OUTSIDE DIAMETER
OP OPENING
OPP OPPOSITE
P PAINT
PR PLATE, PROPERTY LINE
PL PRESSURE TREATED
PT PLATE
R, RAD REQUIRED
REQD ROOF DRAIN
RD ROUGH OPENING
RD SQUARE FEET
SF SQUARE FEET
SIM SIMILAR
SPEC SPECIFICATIONS
SS STANDARD
STD STRUCTURAL
STR SUSPENDED
SUSP TOP OF STEEL
TOS TOP OF WALL
TOW TYPICAL
TYP UNLESS NOTED OTHERWISE
UNO UNO
VERT VERTICAL
VCT VINYL COMPOSITION TILE
VCT WITH
WC WATER CLOSET
WR WATER RESISTANT
WR WELDED WIRE FABRIC
WWF WOOD
WD

ARCHITECTURAL SYMBOLS

TITLE
A1.1 SCALE: 1'-0" = 1'-0"
WHERE DETAIL IS SHOWN
REF: 1/A1.1
LOCATION OF DETAIL CUT (AS SHOWN)

PLAN DETAIL REFERENCE
1 DETAIL NUMBER
A1.1 WHERE DETAIL IS SHOWN

WALL SECTION / DETAIL SECTION REFERENCE
1 WALL SECTION / DETAIL NUMBER
A1.1 WHERE WALL SECTION / DETAIL IS SHOWN

ROOM TAG SYMBOL
100 ROOM NAME
100 ROOM NUMBER

DOOR SYMBOL
001A DOOR NUMBER
DX FX FRAME TYPE
DOOR TYPE

BUILDING SECTION REFERENCE
1 BUILDING SECTION NUMBER
A1.1 WHERE BUILDING SECTION IS SHOWN

ALTERNATE WALL SECTION REFERENCE
1 WALL SECTION / DETAIL NUMBER
A1.1 WHERE WALL SECTION / DETAIL IS SHOWN
TOP = TOP HALF OF WALL FOR PARTICULAR LEVEL
BOT = BOTTOM HALF OF WALL FOR PARTICULAR LEVEL
SIM = SIMILAR CONDITION
OH = OPPOSITE HAND CONDITION
OPP = OPPOSITE HAND CONDITION
ROT = ROTATED CONDITION

FIRE RATED WALL SYMBOLS
ONE-HOUR FIRE-RATED WALL ASSEMBLY
TWO-HOUR FIRE-RATED WALL ASSEMBLY
FOUR-HOUR FIRE-RATED WALL ASSEMBLY
SEE PARTITION TYPES FOR UL DESIGN NOS.

REVISION SYMBOL
1 CLOUD AROUND REVISION
MP2MS6 EXTERIOR WALL / ROOF CONSTRUCTION TYPE

GARVIN DESIGN GROUP
803.212.1032 p / 803.212.1074 f
P.O. Box 18 Columbia, SC 29902
1209 Lincoln Street

STATE OF SOUTH CAROLINA
REGISTERED ARCHITECT
NO. 3881
COLUMBIA, SC

STATE OF SOUTH CAROLINA
REGISTERED ARCHITECT
NO. 3883
COLUMBIA, SC

**University of South Carolina -
FOUNDERS PARK - PROJECT FOR
BASEBALL 3RD BASE CLUB AREA**
431 Williams St
Columbia, SC 29201

REVISIONS

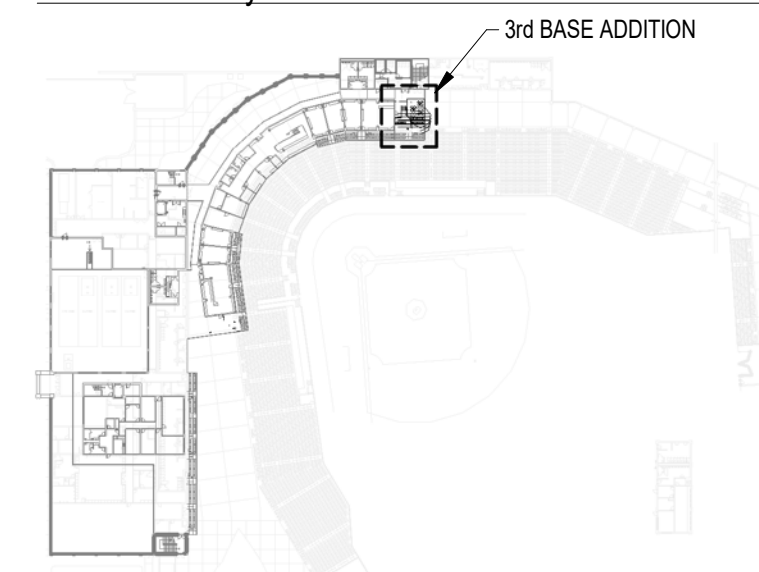
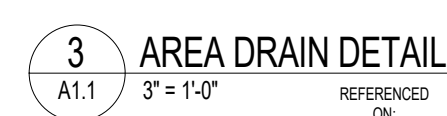
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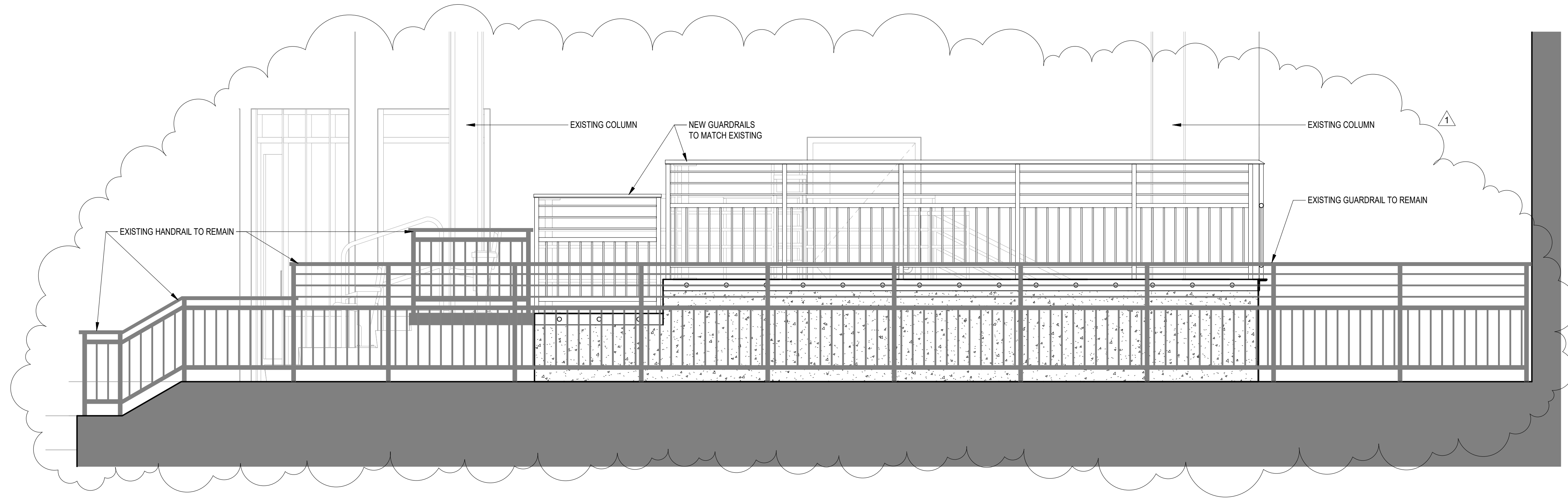
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TITLE SHEET & INDEX TO DRAWINGS

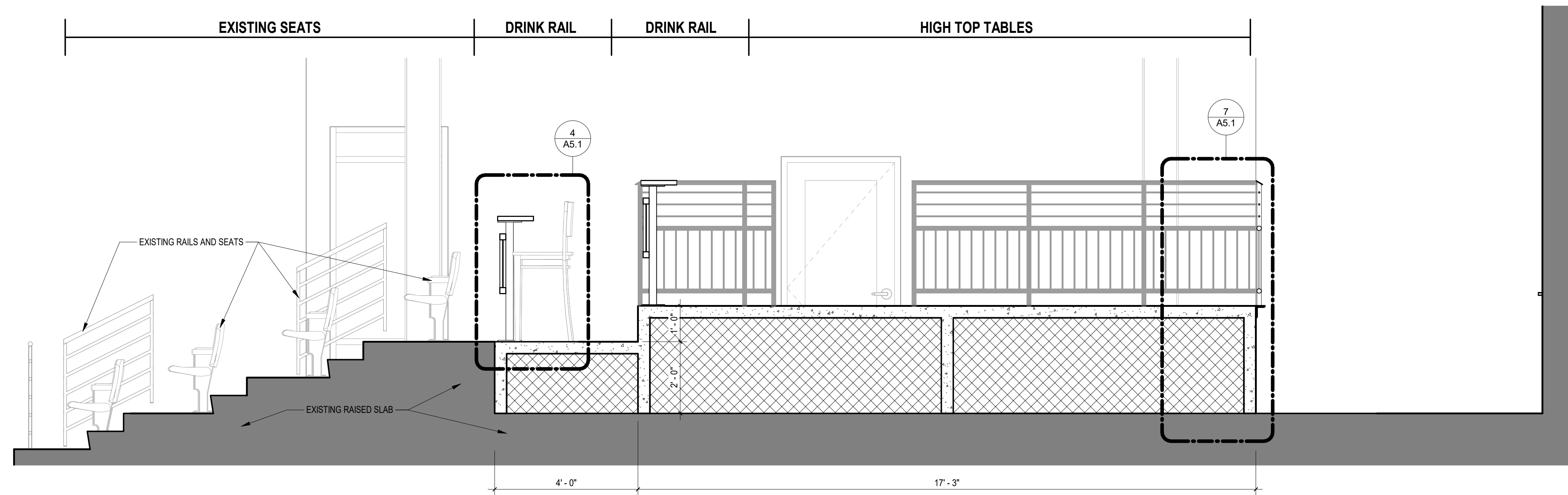
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DATE 10/27/16
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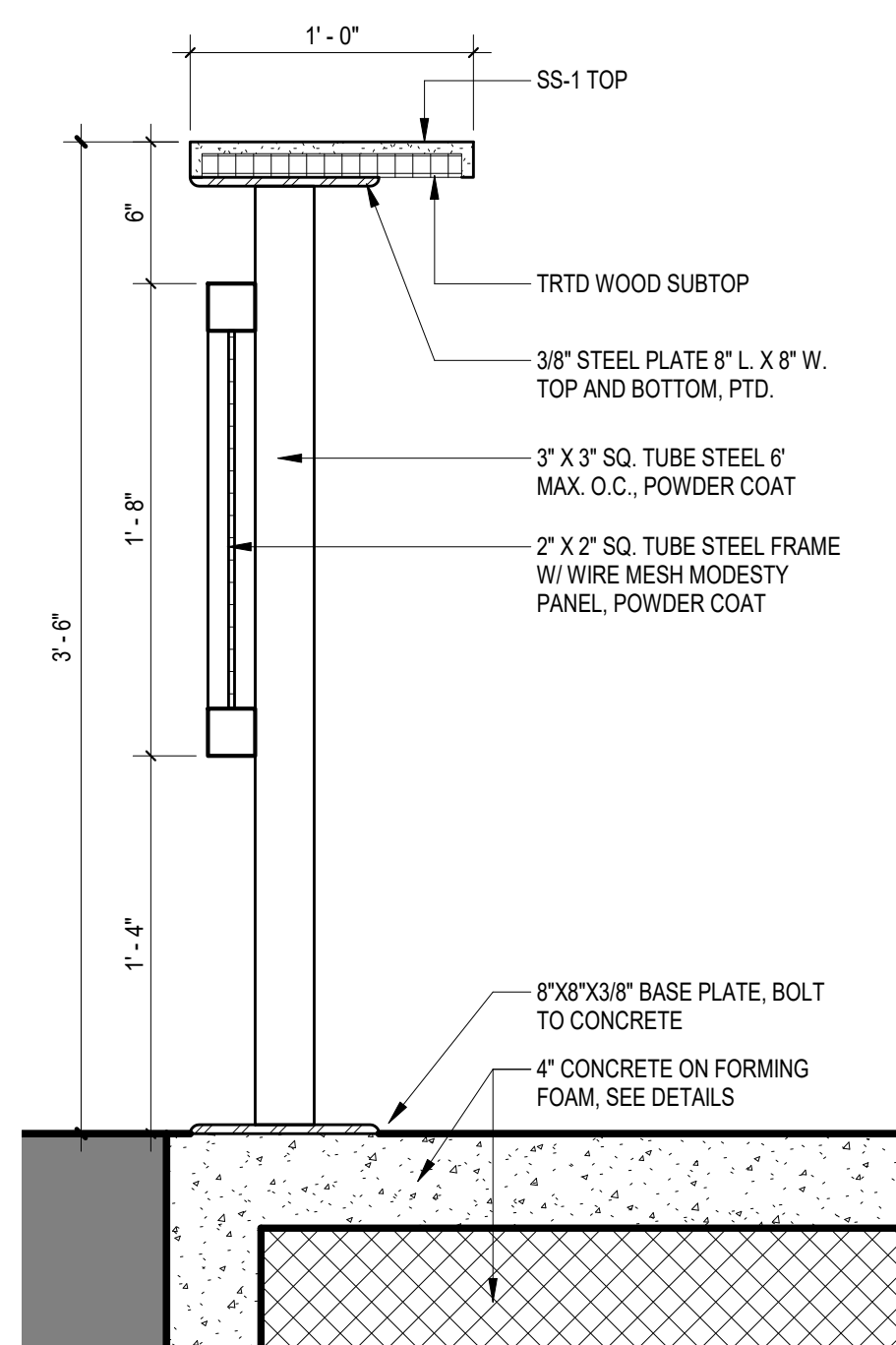
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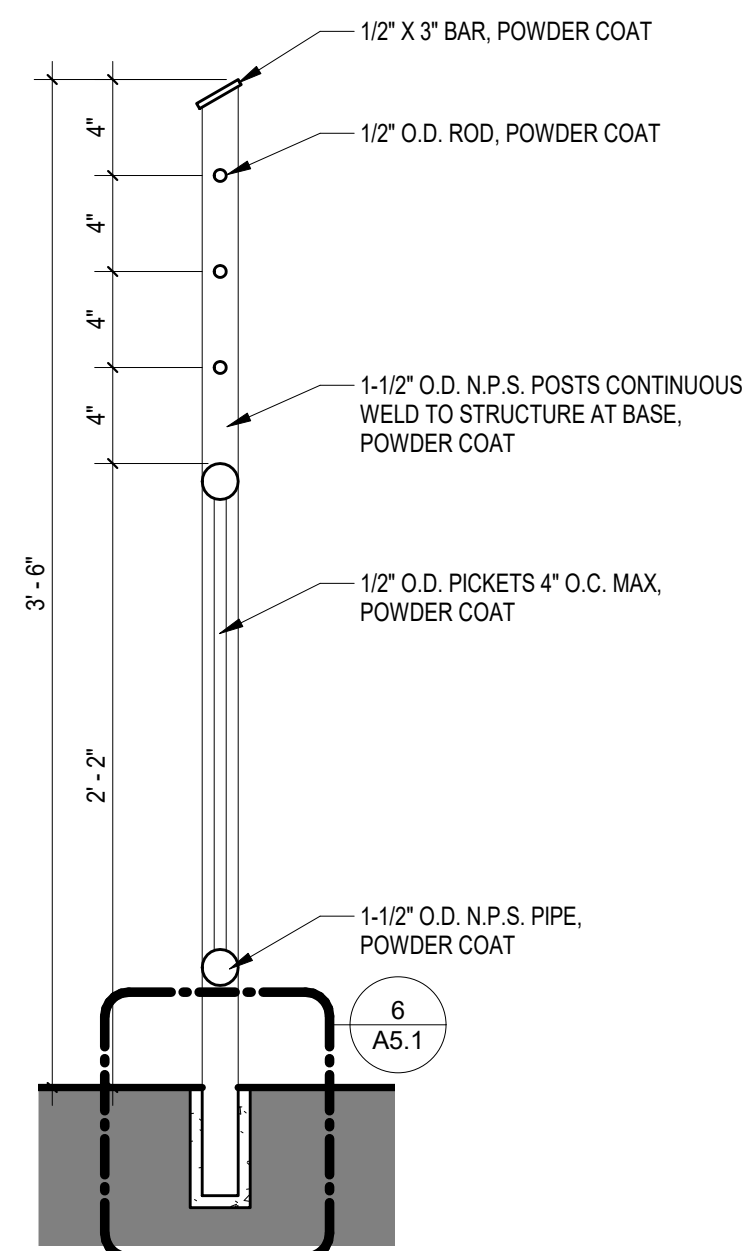
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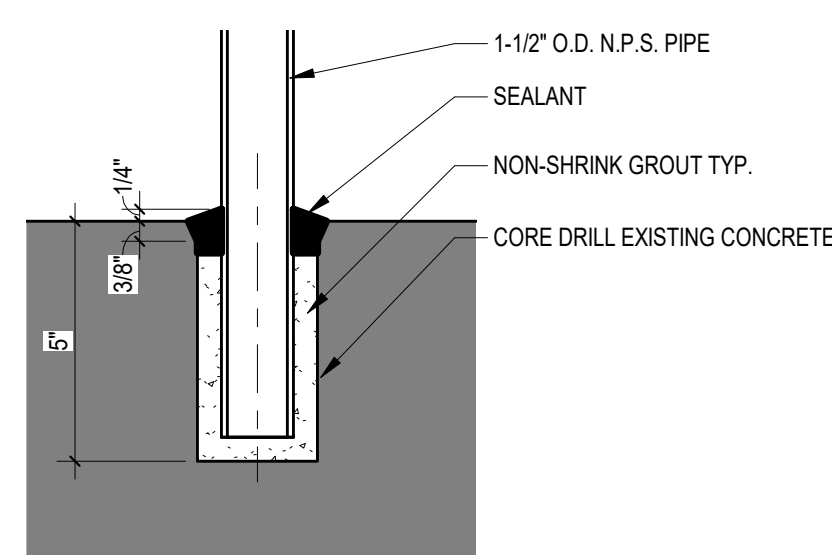
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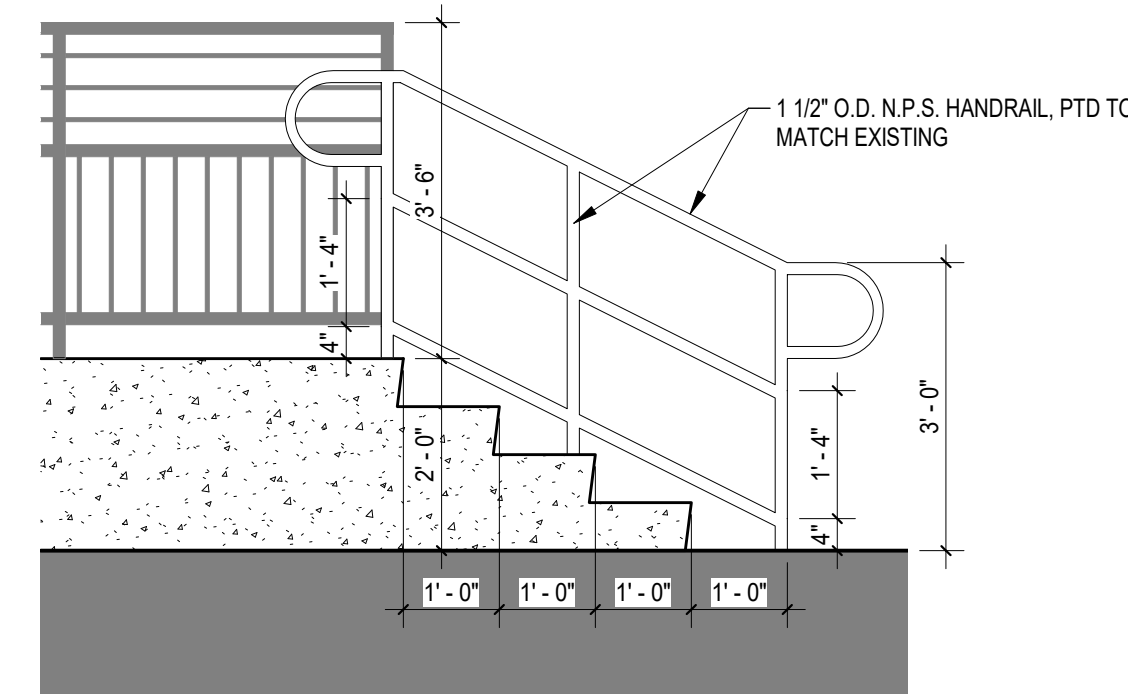
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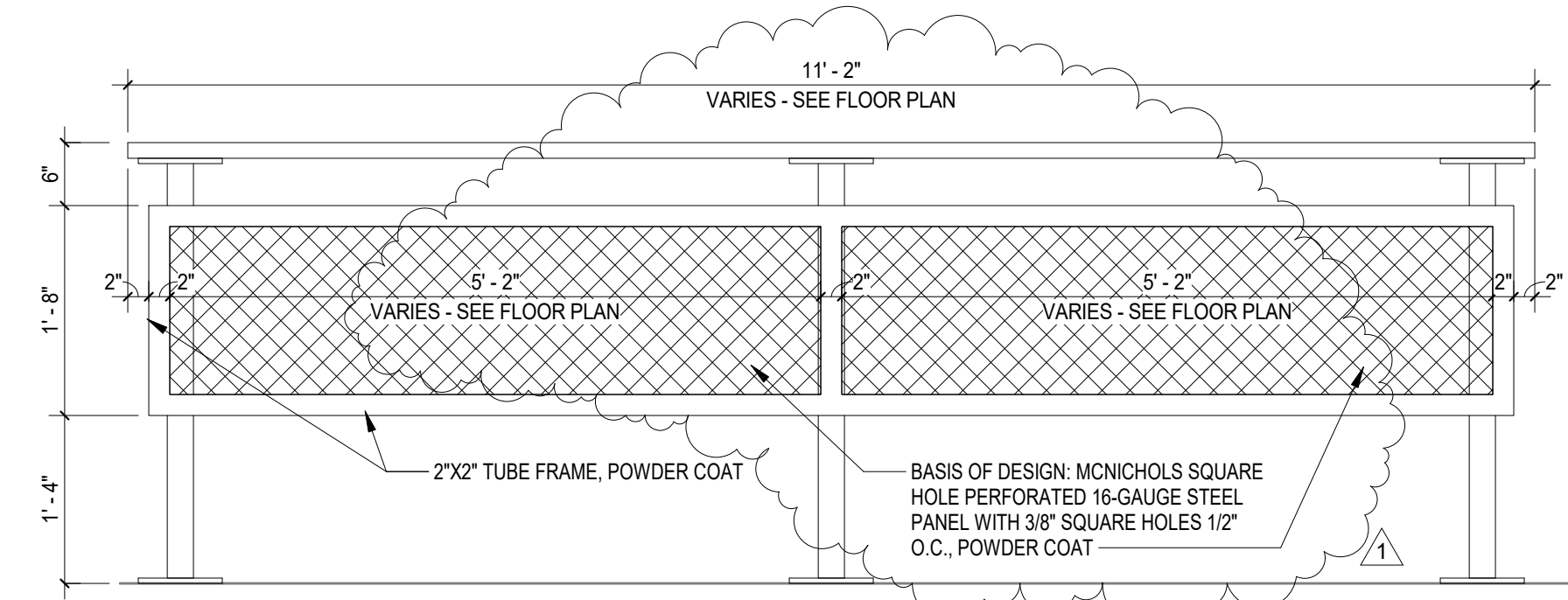
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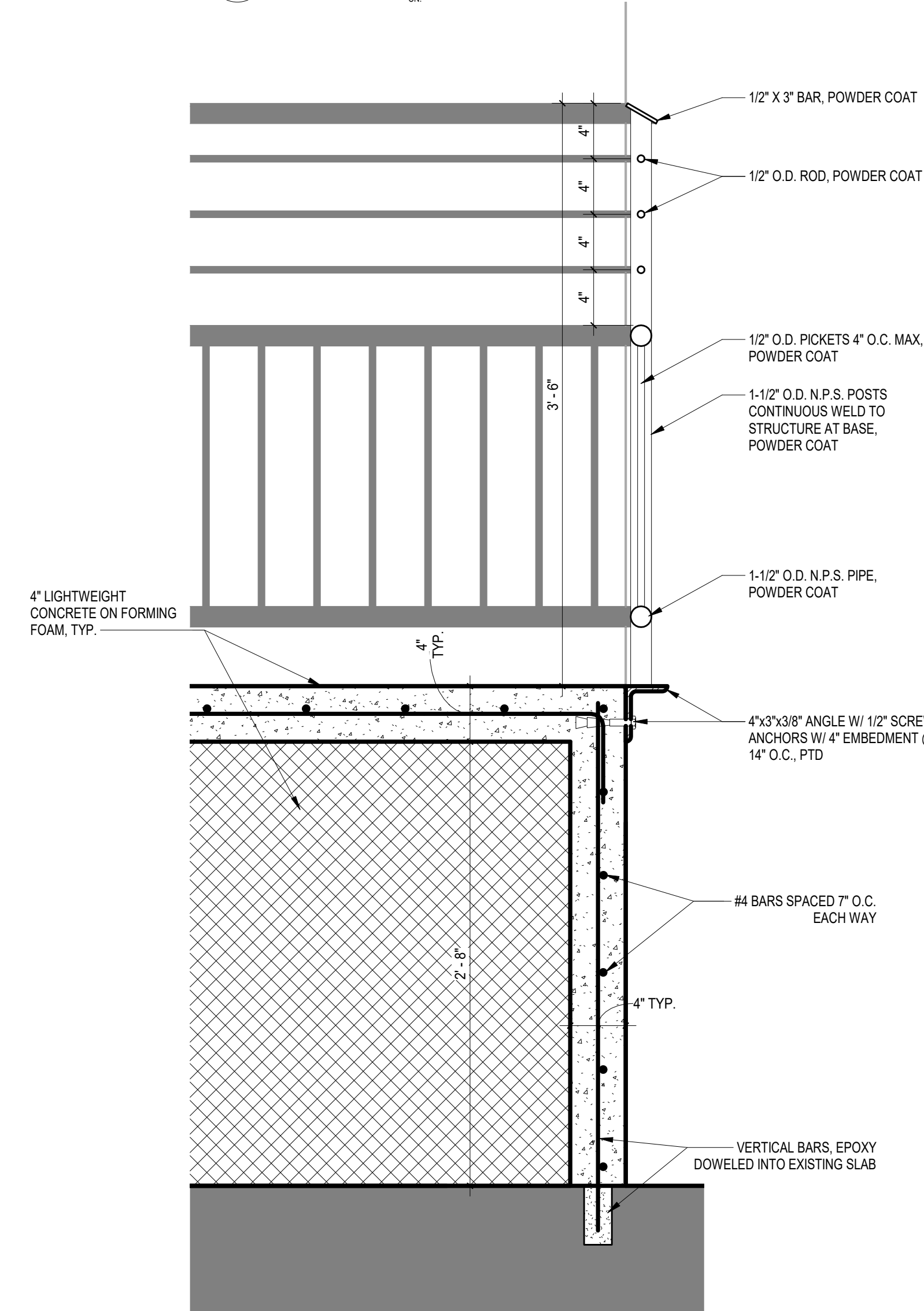
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OK



3 STAIR DETAIL
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REFERENCED: A1.1
OK



8 VANITY PANEL DETAIL
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REFERENCED: OK



7 CONCRETE REINFORCEMENT & TYPICAL GUARDRAIL DETAIL
A5.1 1 1/2" = 1'-0"
REFERENCED: A5.1
OK



PROJECT TITLE
**University of South Carolina -
FOUNDERS PARK - PROJECT FOR
BASEBALL 3RD BASE CLUB AREA**
431 Williams St
Columbia, SC 29201

NO.	REVISIONS	NAME	DATE
1	ADDENDUM 1		10/28/2016

DRAWN BY: *Author*
CHECKED BY: *Checker*
DATE: 10/28/2016

SECTIONS & DETAILS

PROJECT NO. 1042716
DATE 10/27/16
DRAWING NO. **A5.1**