

**ADDENDUM NUMBER TWO**

for

**BLATT PE CENTER – BIKE SHOP RAMP – CP00424697**  
UNIVERSITY OF SOUTH CAROLINA  
COLUMBIA, SOUTH CAROLINA

**DATE OF ISSUE: August 30, 2016**

TO: ALL BIDDERS OF RECORD

This Addendum is issued pursuant to the Conditions of the Contract and is hereby made part of the Contract Documents. The addendum serves to clarify, revise, and supersede information in the Project Manual, the Drawings, and previously issued Addenda. The Bidder shall acknowledge receipt of this Addendum in the appropriate space on the Bid Form. Failure to do so may subject the Bidder to disqualification. A list of attachments, if any, is part of this document.

**BIDDER SHALL ACKNOWLEDGE RECEIPT OF ADDENDUM IN THE SPACE PROVIDED ON THE BID FORM. FAILURE TO DO SO MAY CONSTITUTE AN INFORMALITY IN THE BID.**

**This addendum consists of 1 page plus the following attachments:**

Blatt PE Center – Bike Shop Ramp, Bid Documents 13 June 2016 reissued 08 30 16

**A. GENERAL:**

**Item No.      Description**

N/A              No Revisions

**B. CHANGES TO TECHNICAL SPECIFICATIONS AND DRAWINGS:**

**SPECIFICATIONS**

**Item No.      Description**

N/A              No Revisions.

**DRAWINGS**

**Item No.      Description**

1. **Clarification:** See Attached drawings to replace non-legible Bid Document drawings on the USC purchasing website. No changes have been made to the drawings, they are being reissued to improve legibility of pdf files.

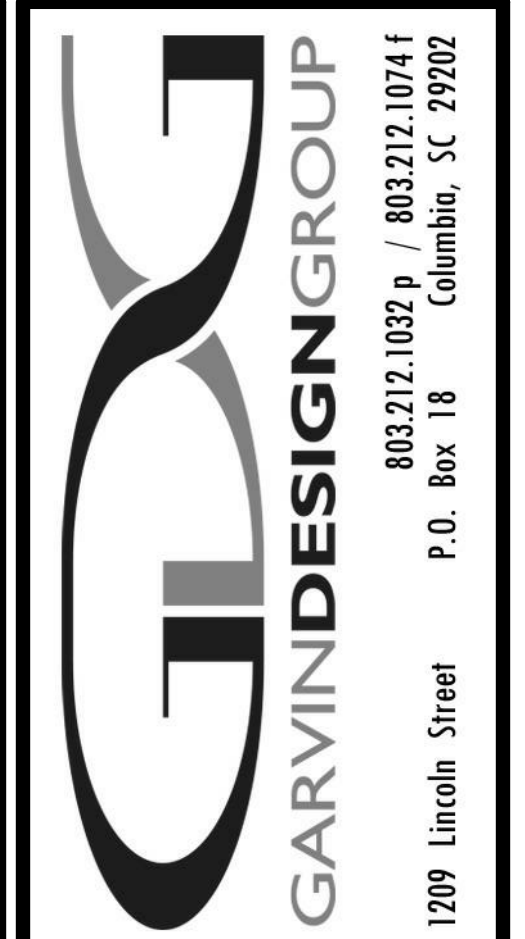
**END OF ADDENDUM**

# BLATT PHYSICAL EDUCATION CENTER UNIVERSITY OF SOUTH CAROLINA BLATT PE CENTER - BIKE SHOP RAMP

1300 WHEAT STREET  
COLUMBIA, SOUTH CAROLINA 29208

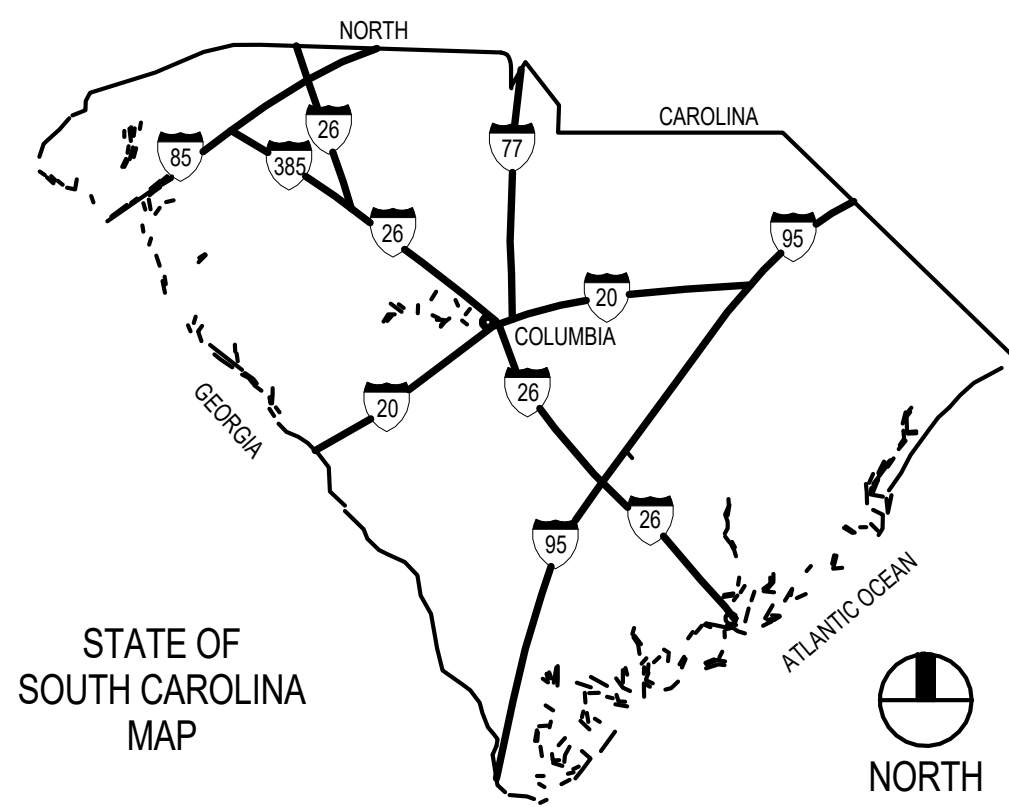
Project Number: CP00424697/Architect's Project Number: U425.16

BID DOCUMENTS  
13 JUNE 2016

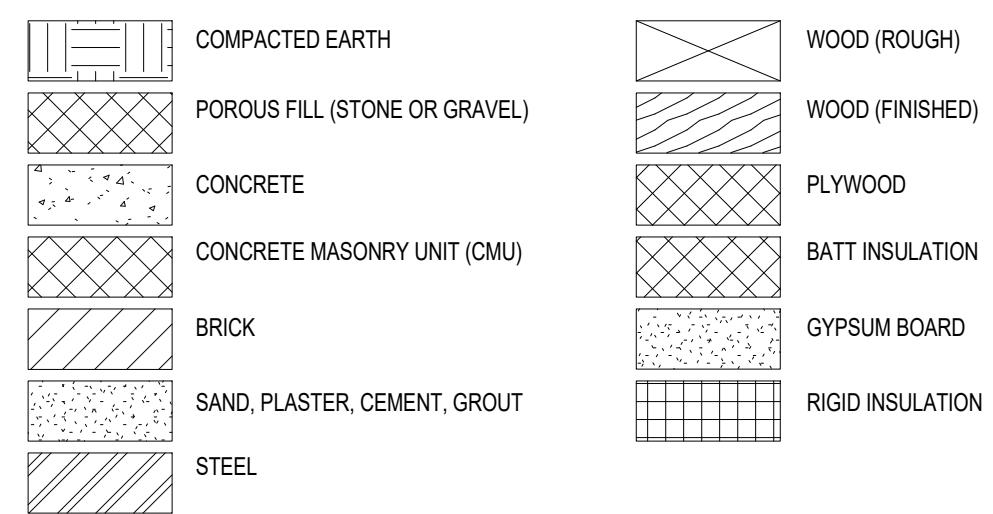


803.212.1032 p. 7 803.212.1074 f  
1209 Lincoln Street P.O. Box 18 Columbia, SC 29902

## LOCATION MAP



## MATERIAL DESIGNATIONS



## ABBREVIATIONS

∠	ANGLE
AT	ABOVE FINISH FLOOR
ALUM	ALUMINUM
ARCH	ARCHITECTURAL
BLDG	BUILDING
BU	BUILT UP ROOF
CL	CENTRAL LINE
CLG	CENTRAL JOINT
CTR	CENTER
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONT	CONTINUOUS
DIA	DIAMETER
DS	DOWN SPOUT
DWG	DRAWING
EXT	EXTERIOR
EXIST	EXISTING
EA	EACH
EU	EXPANSION JOINT
ELEC	ELECTRICAL
EL	ELEVATION
ELEV	ELEVATOR
EQUIP	EQUIPMENT
EWC	ELECTRIC WATER COOLER
FIN	FINISH
FD	FLOOR DRAIN
FOF	FACE OF FINISH
FOS	FACE OF STUD
FR	FIRE RETARDANT
FV	FIELD VERIFY
GA	GAUGE
GYP BD	GYPSUM BOARD
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HT	HEIGHT
HVAC	HEATING VENTILATION AIR-CONDITIONING
ID	INSIDE DIAMETER
INSUL	INSULATION
JOINT	JOINT
LAV	LAVATORY
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MN	MINIMUM
MO	MASONRY OPENING
NC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OPNG	OPENING
OPP	OPPOSITE
P	PAINT
PR	PAIR
PL	PLATE, PROPERTY LINE
PT	PRESSURE TREATED
R	RADIUS
RAD	REQUIRED
RD	ROOF DRAIN
RO	ROUGH OPENING
SF	SQUARE FEET
SIM	SIMILAR
SPEC	SPECIFICATIONS
SS	STAINLESS STEEL
STD	STANDARD
STR	STRUCTURAL
SUSP	SUSPENDED
TOS	TOP OF STEEL
TOW	TOP OF WALL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
VCT	VINYL COMPOSITION TILE
W	WITH
WC	WATER CLOSET
WR	WATER RESISTANT
WWF	WELDED WIRE FABRIC
WD	WOOD

## ARCHITECTURAL SYMBOLS

**TITLE**  
SCALE: 1'-0" = 1'-0"  
REF: 1/A1.1  
LOCATION OF DETAIL CUT (AS SHOWN)  
WHERE DETAIL IS SHOWN

**PLAN DETAIL REFERENCE**  
DETAIL NUMBER  
WHERE DETAIL IS SHOWN

**WALL SECTION / DETAIL SECTION REFERENCE**  
WALL SECTION / DETAIL NUMBER  
WHERE WALL SECTION / DETAIL IS SHOWN

**ROOM TAG SYMBOL**  
ROOM NAME  
ROOM NUMBER

**DOOR SYMBOL**  
DOOR NUMBER  
FRAME TYPE  
DOOR TYPE

**RECEPTION**  
100

**REVISION SYMBOL**  
CLOUD AROUND REVISION  
MP2MS6

**ALTERNATE WALL SECTION REFERENCE**  
WALL SECTION / DETAIL NUMBER  
WHERE WALL SECTION / DETAIL IS SHOWN  
TOP = TOP HALF OF WALL FOR PARTICULAR LEVEL  
BOT = BOTTOM HALF OF WALL FOR PARTICULAR LEVEL

**FIRE RATED WALL SYMBOLS**  
ONE-HOUR FIRE-RATED WALL ASSEMBLY  
TWO-HOUR FIRE-RATED WALL ASSEMBLY  
FOUR-HOUR FIRE-RATED WALL ASSEMBLY  
SEE PARTITION TYPES FOR UL DESIGN NOS.

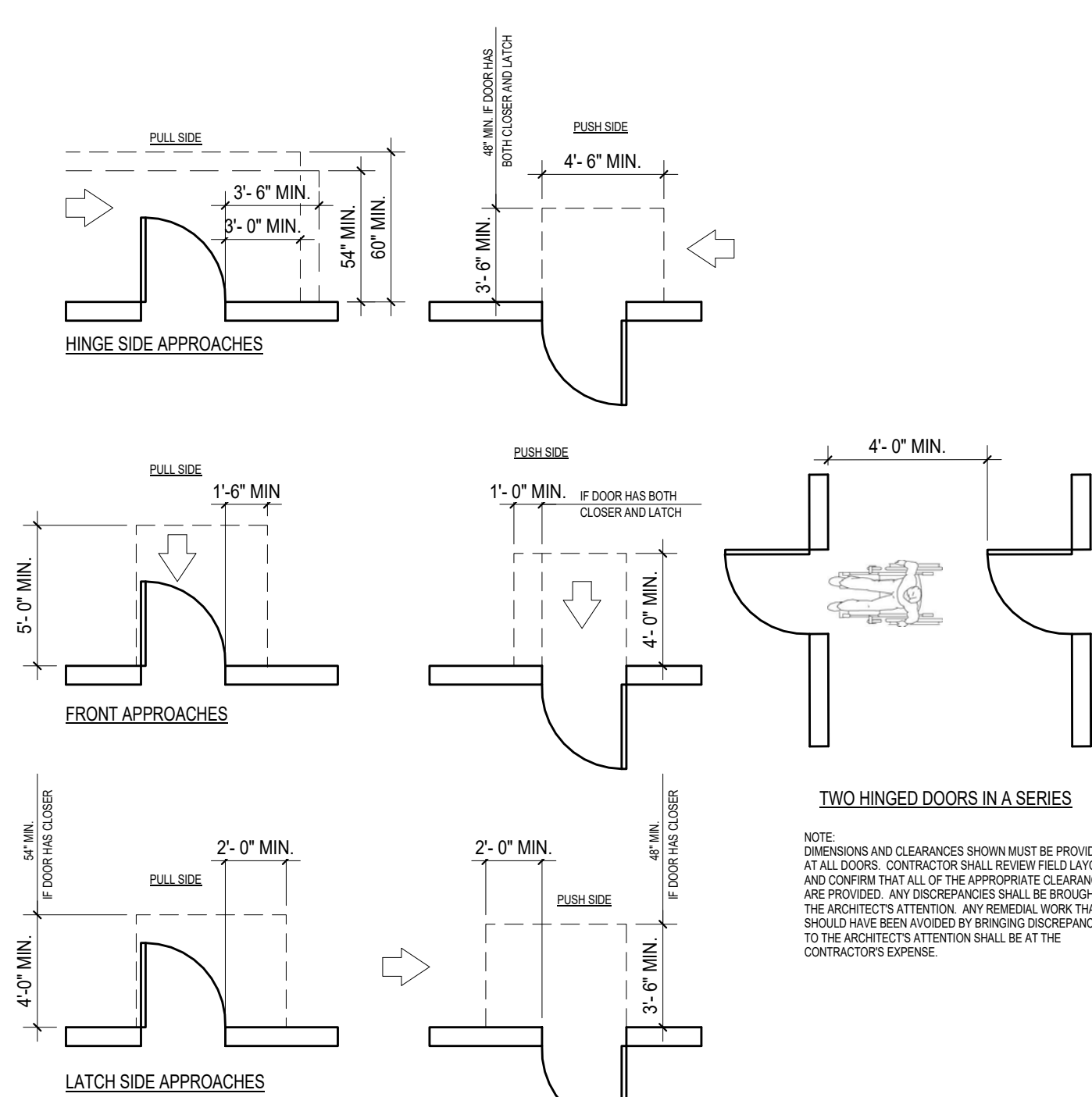
**EXPANSION JOINT TYPE**  
BRICK VENEER / CMU CONTROL JOINT  
TOILET / LOOKER ROOM ACCESSORY SYMBOL  
GYPSUM BOARD CONTROL JOINT

**INDICATES A CHANGE IN ORIENTATION OF CUT PLANE (INTERIOR ELEVATION ONLY)**

**BUILDING SECTION REFERENCE**  
BUILDING SECTION NUMBER  
WHERE BUILDING SECTION IS SHOWN

**EXTERIOR WALL / ROOF CONSTRUCTION TYPE**  
MP2MS6

## MANUEVERING CLEARANCES



## CODE INFORMATION

PROJECT DESIGNED IN ACCORDANCE WITH:  
1. INTERNATIONAL BUILDING CODE (IBC), 2012 EDITION  
2. INTERNATIONAL EXISTING BUILDING CODE (IEBC), 2012 EDITION  
3. INTERNATIONAL FIRE CODE (IFC), 2012 EDITION  
4. INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2009 Edition  
5. INTERNATIONAL FUEL GAS CODE (IFGC), 2012 EDITION  
6. INTERNATIONAL MECHANICAL CODE (IMC), 2012 EDITION  
7. INTERNATIONAL PLUMBING CODE (IPC), 2012 EDITION  
8. NATIONAL ELECTRICAL CODE (NEC) (NFPA-70), 2011 EDITION  
9. NATIONAL ELECTRICAL SAFETY CODE, ANSI-C2-2007 EDITION  
10. STATE FIRE MARSHAL RULES, REGULATIONS AND POLICIES - LATEST EDITION  
11. ASHRAES/IESNA 90.1-2009, ENERGY EFFICIENT DESIGN OF NEW BUILDINGS  
12. ICC/ANSI - A117.1-2009, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

GENERAL DESIGN INFORMATION:  
\* ALL AREAS NOT INCLUDED IN THE RENOVATION SCOPE ARE TO REMAIN AS CURRENTLY DESIGNED.  
ADDITIONAL EXTERIOR RAMP PROVIDED FOR SECOND ADA ACCESS POINT AND CONVENIENCE.

BUILDING CODE REVIEW INFORMATION:  
1. OCCUPANCY  
A. TYPE OF EXISTING BUILDING OCCUPANCY: ASSEMBLY GROUP: A-3  
B. ADJACENT EXISTING OCCUPANCY: ASSEMBLY GROUP: A-4  
C. RENOVATED OCCUPANCY: BUSINESS GROUP: B

2. TYPE OF CONSTRUCTION: EXISTING CONSTRUCTION  
A. ASSUMED CONSTRUCTION CLASSIFICATION: TYPE I/A

3. SPRINKLERS:  YES  NO

4. STANDPIPES:  YES  NO

5. HIGH RISE:  YES  NO

6. GENERAL BUILDING DESIGN, ALLOWABLE AREA, AND HEIGHT:  
EXTERIOR RAMP ADDED TO EXISTING BIKE SHOP. NO INTERIOR OR ADDED AREA.

EGRESS OCCUPANCY CALCULATIONS	EXISTING EGRESS OCCUPANCY CALCULATIONS		
OCCUPANCY TYPE (PER SPACE)	OCCUPANCY FLOOR AREA	FLOOR AREA IN SF/OCCUPANT	DESIGN OCCUPANT LOAD
BUSINESS (1ST FLOOR BIKE SHOP)	1750	100 GROSS	18
		NEW TOTAL OCCUPANT LOAD	18

FIRE RESISTANCE RATING OF BUILDING ELEMENTS - EXISTING BUILDING ASSUMED TYPE I/B			
BUILDING ELEMENT	RATING AS REQUIRED (IN HOURS)	RATING AS DESIGNED (IN HOURS)	TESTING AGENCY & DESIGN NUMBER (UL, PIA, ETC.)
PRIMARY STRUCTURAL FRAME (PER IBC TABLE 601)	2	EXISTING	
BEARING WALLS, EXTERIOR (PER IBC TABLE 601)	2	EXISTING	
BEARING WALLS, INTERIOR (PER IBC TABLE 601)	2	EXISTING	
NONBEARING WALLS & PARTITIONS, EXTERIOR (PER IBC TABLE 601)	0	EXISTING	FIRE SEPARATION DISTANCE ≥ 30' = 0 [TABLE 602]
NONBEARING WALLS & PARTITIONS, INTERIOR (PER IBC TABLE 601)	0	0	
FLOOR CONSTRUCTION AND SECONDARY MEMBERS (PER IBC TABLE 601)	2	EXISTING	
ROOF CONSTRUCTION AND SECONDARY MEMBERS (PER IBC TABLE 601)	1	EXISTING	
FIRE WALLS (PER IBC SECTION 706)	3	EXISTING	
FIRE BARRIERS (PER IBC SECTION 707)	2	EXISTING	
SHAFT ENCLOSURES (PER IBC SECTION 708)	N/A	EXISTING	
FIRE PARTITIONS (PER IBC SECTION 709 & TABLE 1018.1)	1	1	CORRIDOR FIRE-RESISTANCE RATING [TABLE 1018.1]

STRUCTURAL DESIGN INFORMATION:  
\* SEE S1.1 FOR STRUCTURAL CODE INFORMATION

MECHANICAL DESIGN INFORMATION:  
\* NO MECHANICAL RENOVATIONS IN THIS PROJECT SCOPE

PLUMBING INFORMATION:  
\* NO PLUMBING RENOVATIONS IN THIS PROJECT SCOPE

PLUMBING FIXTURE CALCULATIONS:  
\* NO NEW FIXTURES REQUIRED OR PROVIDED.

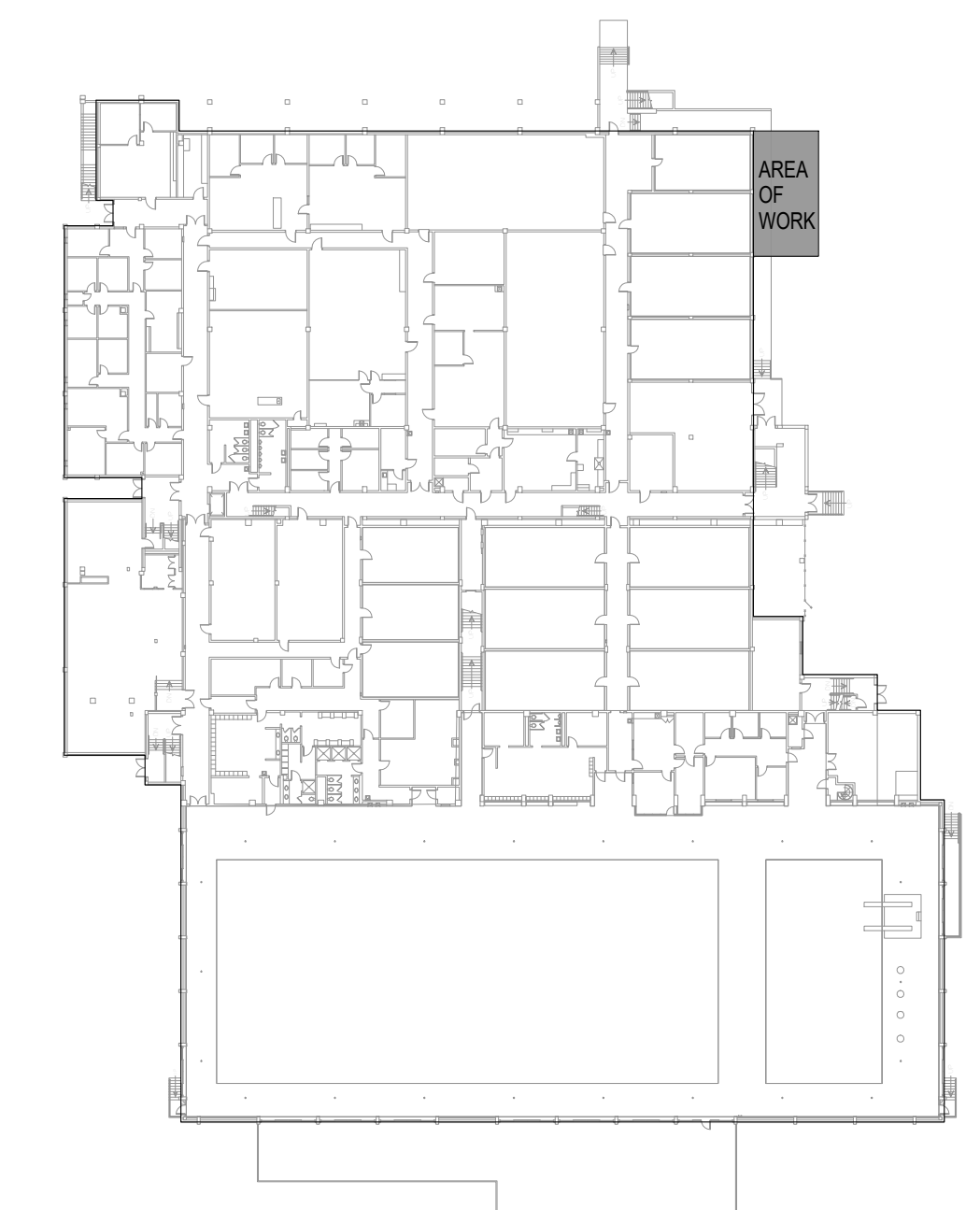
ELECTRICAL INFORMATION:  
1. SERVICE TRANSFORMER BY UTILITY 150 KVA PRIMARY, 12.77 KV/3-PHASE  
2. PROVIDE THE FOLLOWING SERVICE INFORMATION: - SERVICE VOLTAGE/PHASE: EXISTING  
SERVICE ENTRANCE CONDUCTORS SIZE: EXISTING  
TOTAL CONNECTED LOAD: EXISTING  
ESTIMATED MAXIMUM DEMAND: EXISTING  
AVAILABLE FAULT CURRENT IN SYMMETRICAL AMPERES: EXISTING  
INTERTRIPPING CAPACITY OF SERVICE OVERCURRENT DEVICE: EXISTING  
TYPE OF GROUNDING ELECTRODE SYSTEM(S) PER NEC 250-C: EXISTING  
3. EMERGENCY GENERATOR: NO  
4. EXISTING EMERGENCY LIGHTS BACKUP POWER: INTEGRAL BATTERY  
5. FIRE ALARM SYSTEM: ADDRESSABLE  
6. LIGHTNING PROTECTION PROVIDED: NO  
7. COMMUNICATIONS COORDINATED: NOT REQUIRED

PLUMBING INFORMATION:  
\* NO PLUMBING RENOVATIONS IN THIS PROJECT SCOPE

## INDEX TO DRAWINGS

TR1.1	TITLE SHEET	TITLE SHEET
C1.0	EXISTING CONDITIONS - SITE DEMO PLAN	CIVIL
C2.0	SITE LAYOUT PLAN	
C3.0	GRADING AND DRAINAGE PLAN	
C4.0	SEDIMENT AND EROSION CONTROL PLAN	
L1.0	LANDSCAPE PLAN	LANDSCAPE
AR1.1	FIRST FLOOR PLAN & FIRST FLOOR DEMO PLAN	ARCHITECTURAL
AR2.1	BUILDING ELEVATION, BUILDING SECTIONS, & DETAIL SECTIONS	
S1.1	FOUNDATION PLAN, NOTES AND DETAILS	STRUCTURAL
ER1.1	BIKE RAMP ELECTRICAL PLANS	ELECTRICAL

## KEY PLAN



PROJECT TITLE  
**BLATT PE CENTER - BIKE SHOP RAMP**

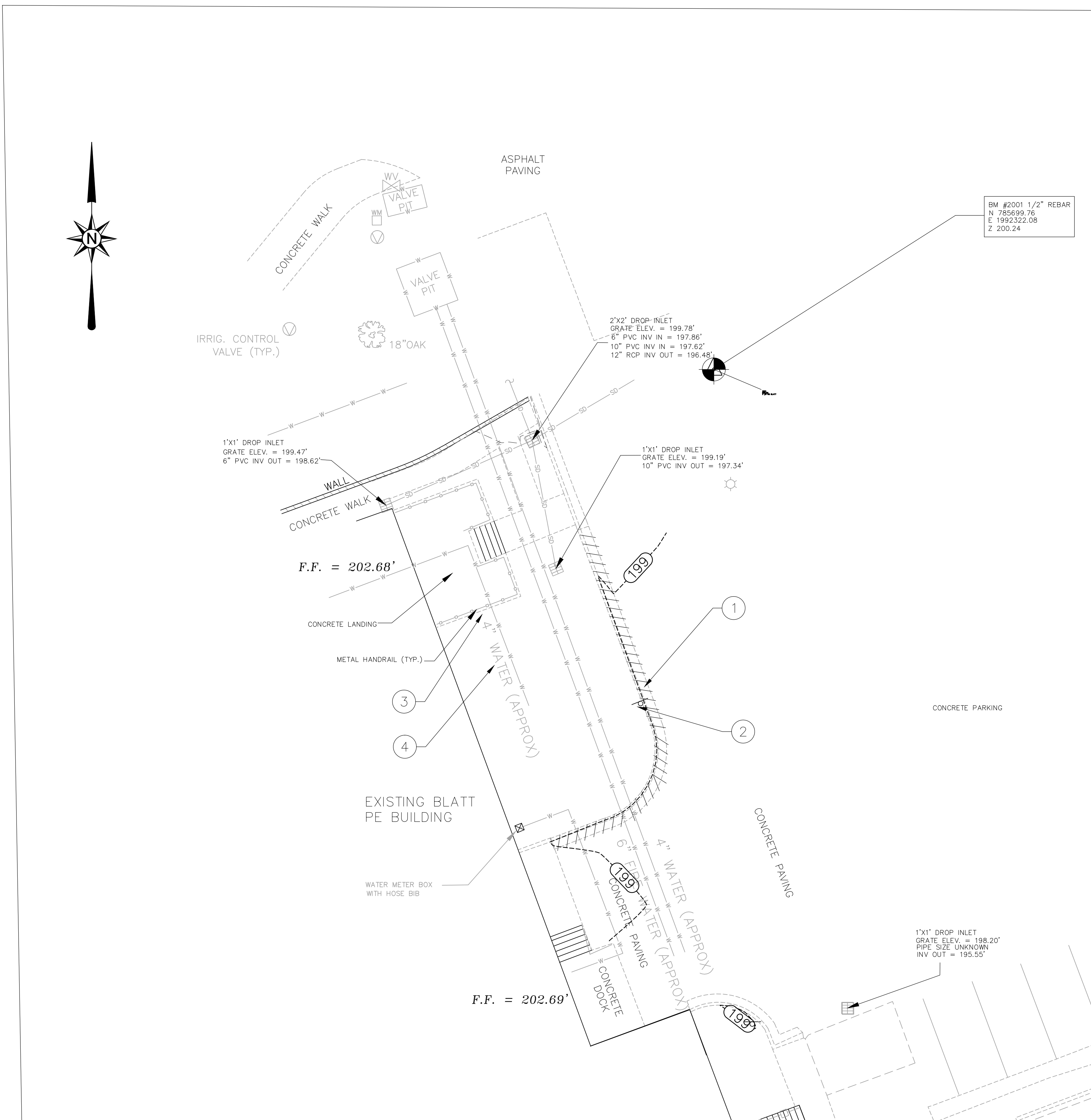
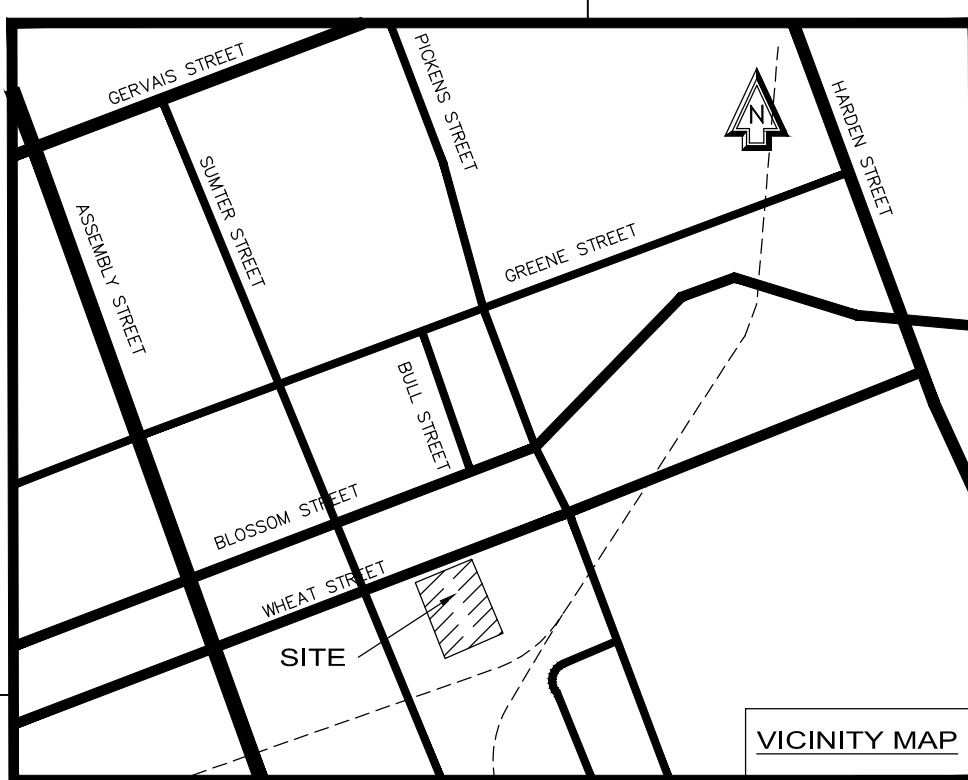
1300 Wheat Street  
Columbia, SC 29208  
Project No.: CP00424697

NO.	REVISIONS	NAME	DATE

DRAWN BY: [Signature]  
CHECKED BY: [Signature]

DRAWING TITLE  
**TITLE SHEET**

PROJECT NO. CP00424697  
DATE 07.01.16  
DRAWING NO. **TR1.1**



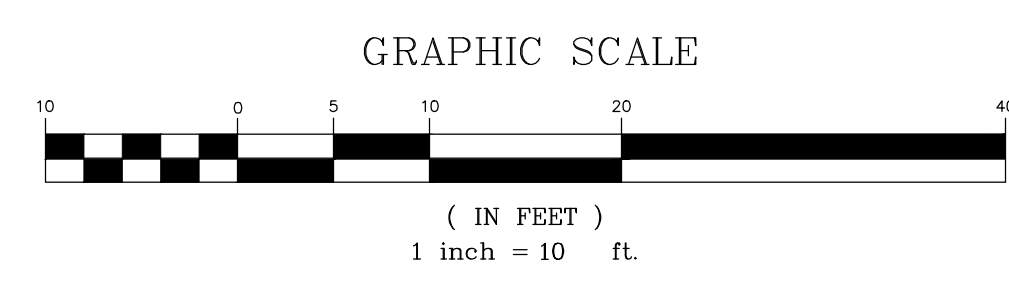
### LEGEND

DEMOLITION	EXISTING	DESCRIPTION
N/A		BENCHMARK/CONTROL POINT
N/A		PROPERTY LINE/RIGHT OF WAY
N/A		BUILDING
N/A		LIGHT POLE
N/A		TREE
		BITUMINOUS SURFACE
		CONCRETE SURFACE
N/A		CONTOUR
N/A		SPOT ELEVATION
N/A		CHAIN LINK FENCE
N/A		WATER VALVE
N/A		WATER METER
N/A		UNDERGROUND ELECTRIC LINE w/LIGHT POLE
N/A		SANITARY SEWER LINE w/MANHOLE
N/A		SANITARY SEWER CLEANOUT
N/A		STORM DRAIN LINE w/STRUCTURE
①	N/A	KEY NOTE REFERENCE

- ### KEY NOTES
- REMOVE EXISTING CONCRETE CURB AND GUTTER AS REQUIRED FOR NEW CONSTRUCTION
  - REMOVE EXISTING SIGN AND REINSTALL FOLLOWING CONSTRUCTION
  - SEE ARCH PLANS FOR DIRECTION ON REMOVAL OF EXISTING HANDRAIL
  - PERFORM PRIVATE UTILITY LOCATE WITHIN EXPANDED PORCH AREA AND RAMP PRIOR TO ANY EXCAVATION TO VERIFY LOCATION OF EXISTING WATER LINES

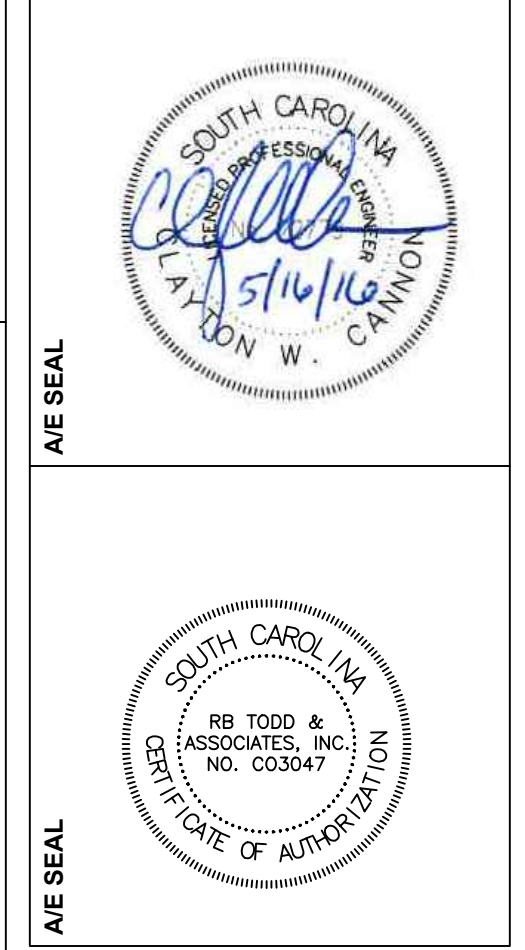
### GENERAL NOTES

- TOPOGRAPHIC SURVEY WAS COMPLETED BY POWER ENGINEERING COMPANY ON FEBRUARY 15, 2014. NO BOUNDARY OR TOPOGRAPHIC SURVEY WAS PERFORMED BY R.B. TODD CONSULTING ENGINEERS.
- OWNER: USC FACILITIES  
743 GREENE STREET  
COLUMBIA SC 29201  
PHONE NUMBER: 803-777-5811  
TMS: R11303-09-01  
ZONING: C-1  
DEVELOPMENT ADDRESS: 1300 Wheat Street, Columbia SC 29205  
DISTURBED AREA: 0.04 ACRES
- ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 45079C0094H, DATED FEBRUARY 20, 2002, A PORTION OF THIS PROPERTY IS LOCATED IN FLOOD ZONE "AE".
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS.
- THE CONTRACTOR SHALL NOTIFY PUPS AT 1-888-721-7877 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION TO HAVE ALL UNDERGROUND UTILITIES LOCATED.



**RBTODD CONSULTING ENGINEERS**  
 7436 Broad River Road, Suite 212  
 Columbia, SC 29206  
 Tel: 803.781.3141  
 Fax: 803.781.3142  
 www.rbtodd.com

**GARVINDESIGNGROUP**  
 1209 Lincoln Street  
 P.O. Box 18  
 Columbia, SC 29202

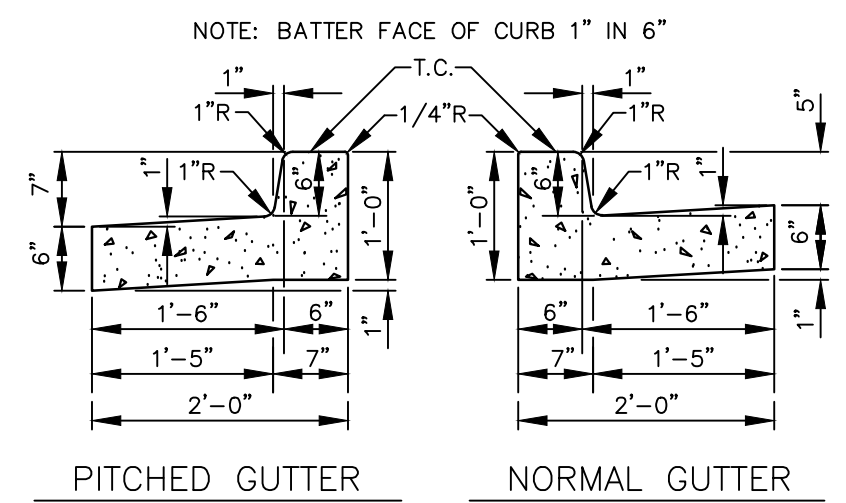
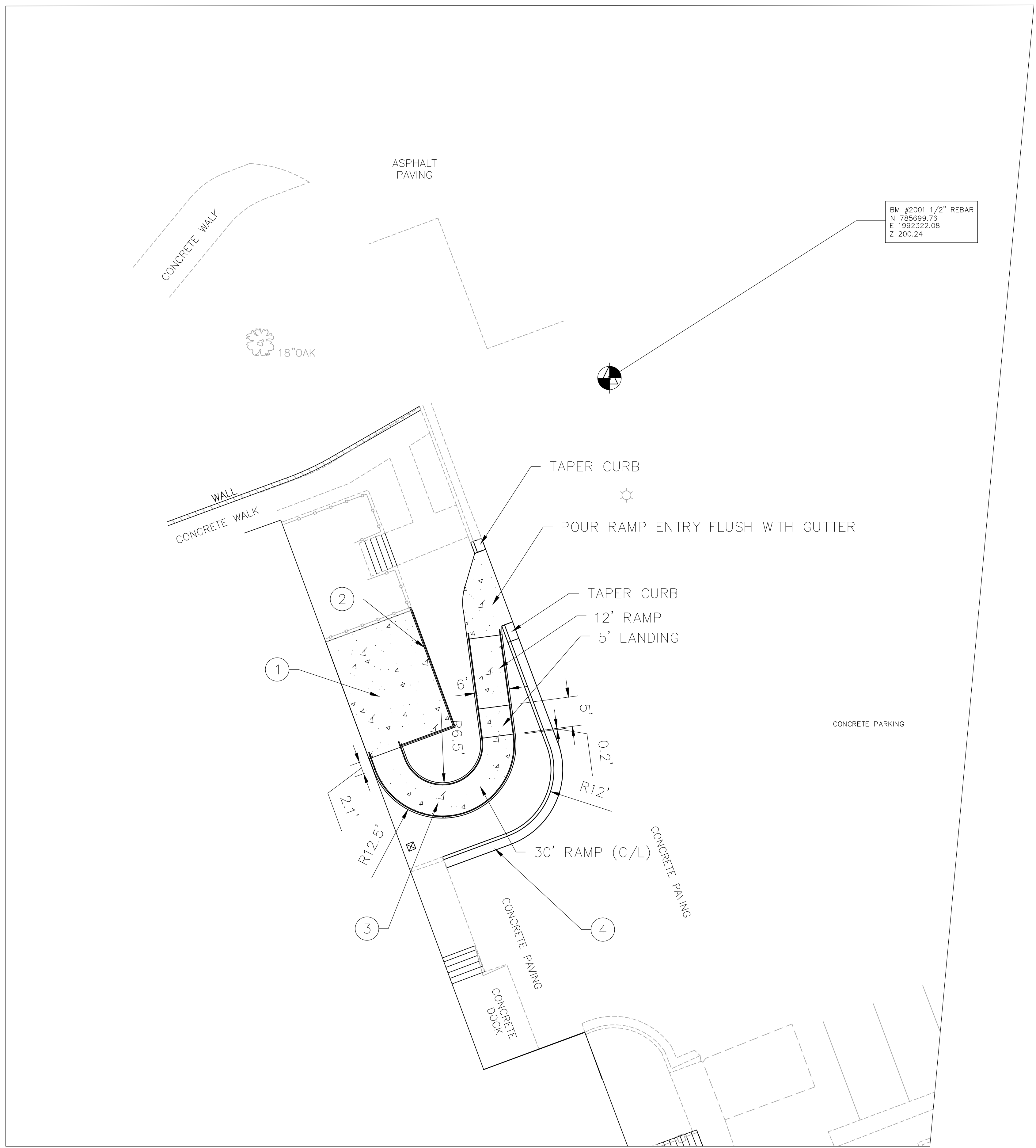
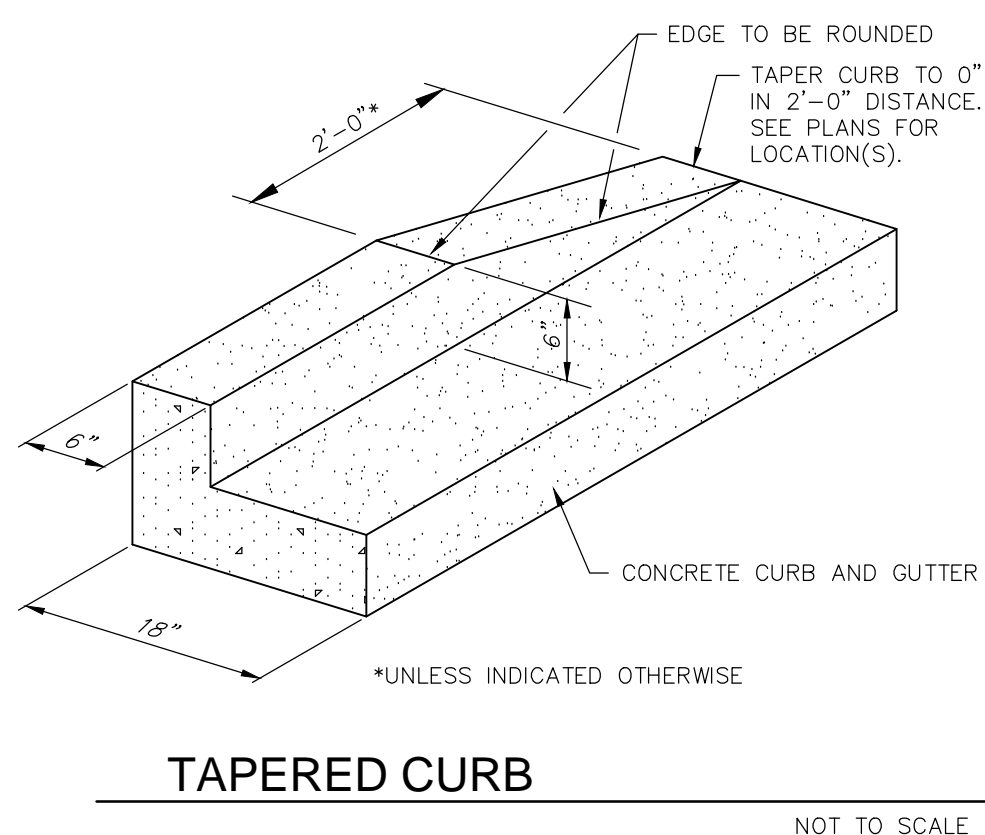
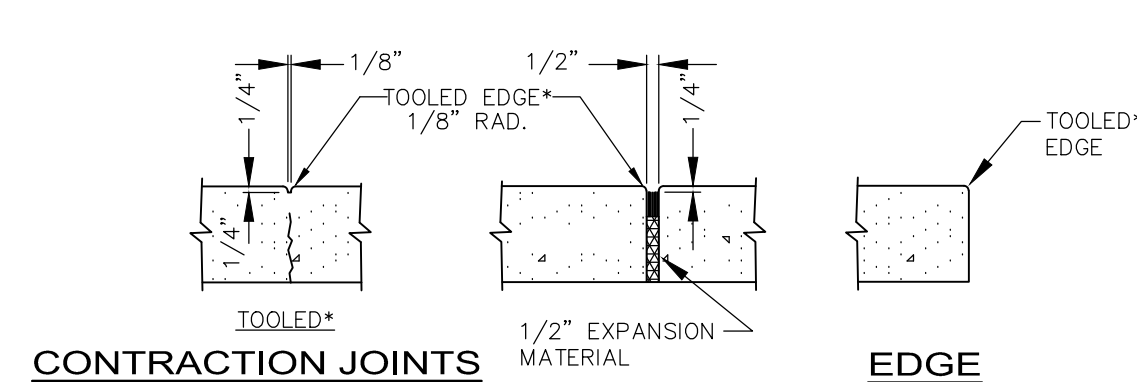
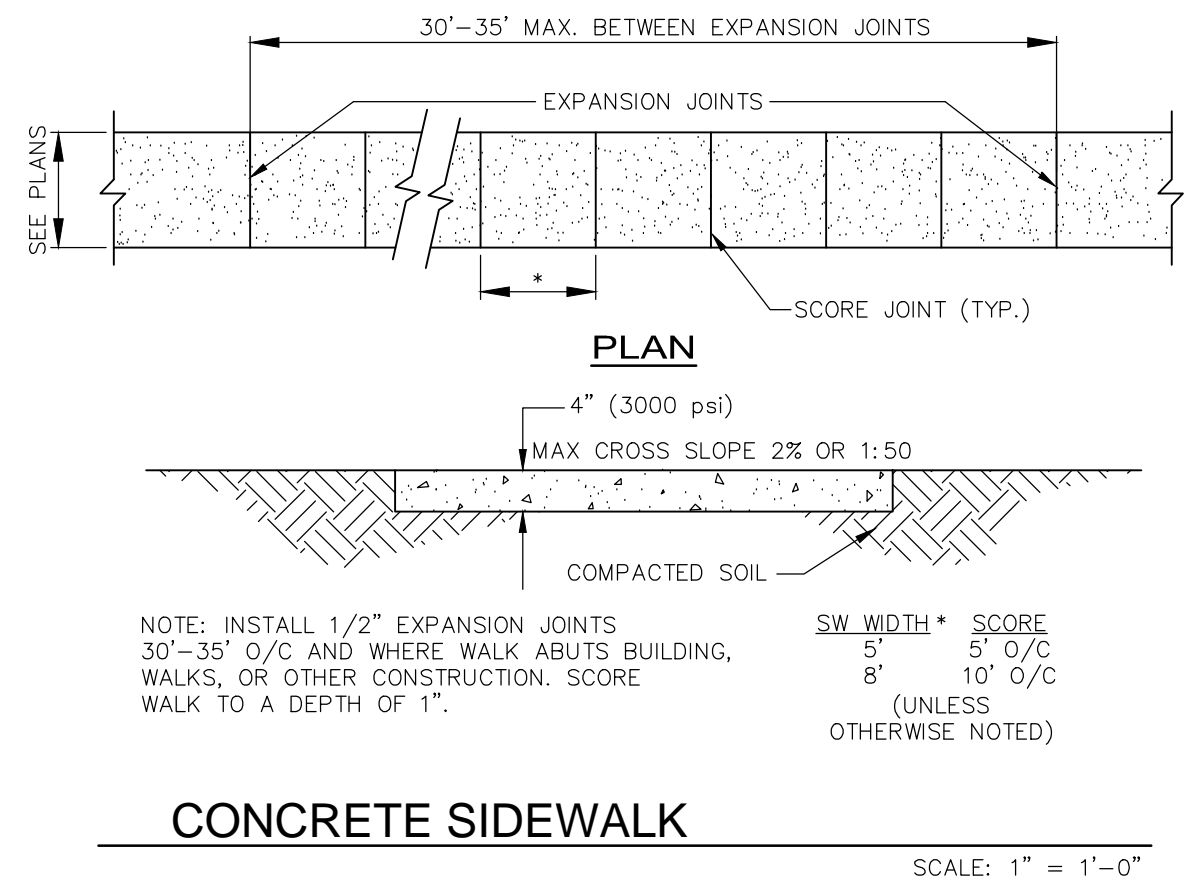
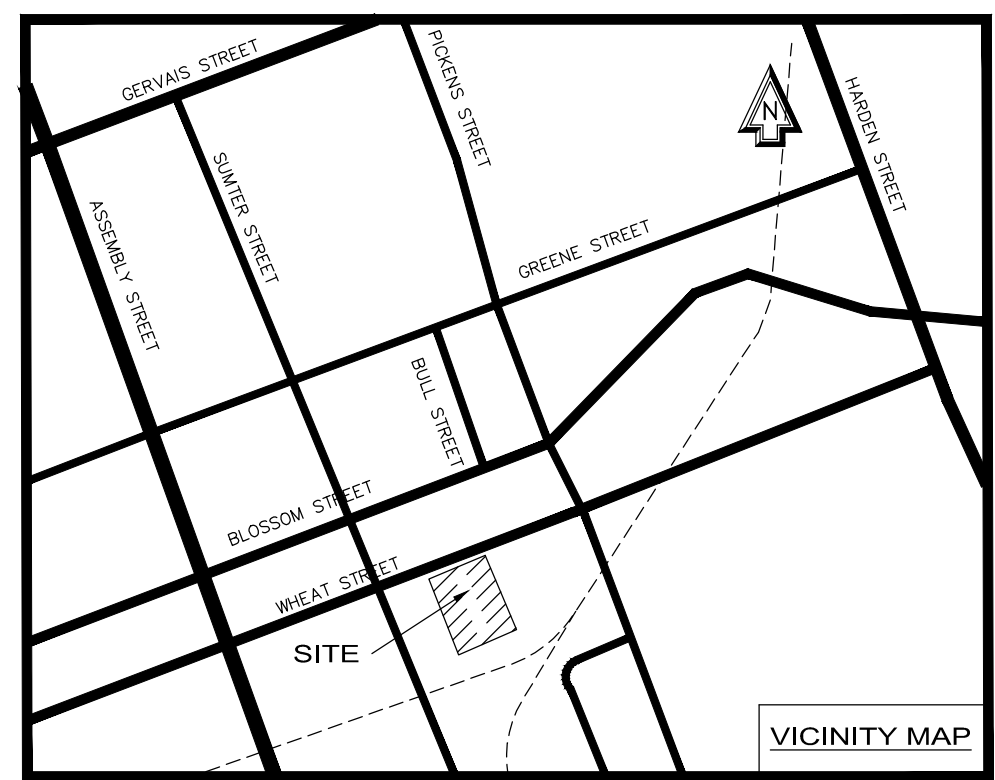


PROJECT TITLE  
**BLATT PE CENTER - BIKE SHOP RAMP**  
 1300 Wheat Street  
 Columbia, SC 29208  
 Project No.: CP00424697

NO.	REVISIONS	NAME	DATE

DRAWING TITLE  
**EXISTING CONDITIONS - SITE DEMO PLAN**

PROJECT NO.: CP00424697  
 DATE: 07/31/16  
 DRAWING NO.: **C1.0**



- NOTES:
1. CURB AND GUTTER TO BE CONSTRUCTED IN 10-FOOT LENGTHS.
  2. 1/2 INCH EXPANSION JOINT SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 100 FEET, AT THE ENDS AND MID-POINT OF RETURNS, AND AT ANY POINT WHERE THE NEW CURB AND GUTTER ABUTS OTHER CONCRETE STRUCTURES.
  3. 5-FOOT LONG TRANSITIONS SHALL BE PROVIDED BETWEEN NORMAL GUTTER AND PITCHED GUTTER, UNLESS OTHERWISE NOTED ON THE PAVING PLANS.

24" CURB AND GUTTER  
NO SCALE

**GENERAL NOTES**

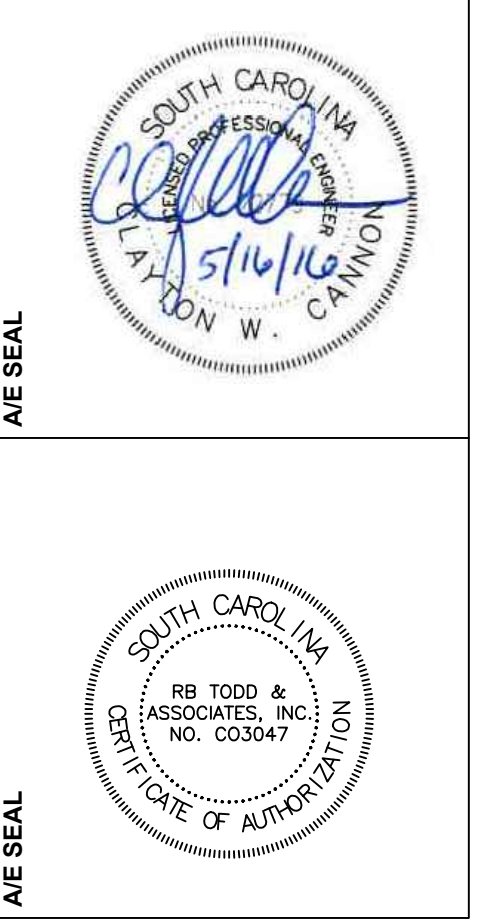
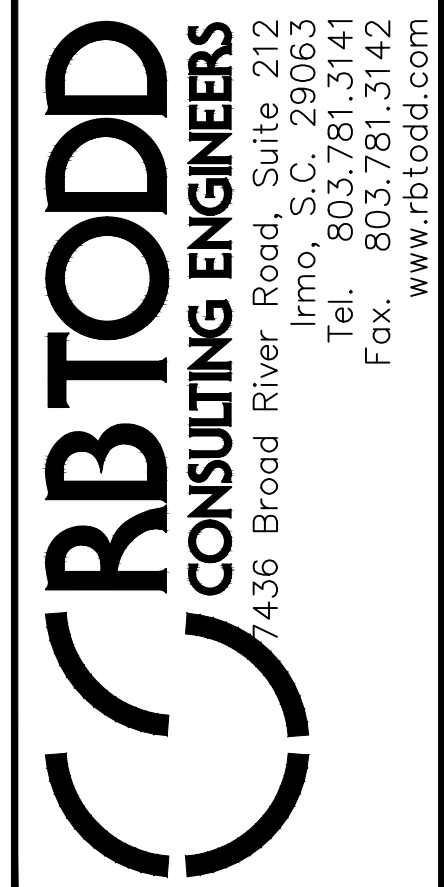
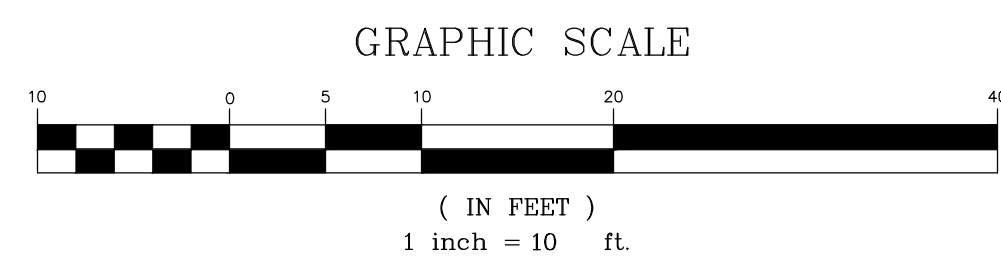
1. TOPOGRAPHIC SURVEY WAS COMPLETED BY POWER ENGINEERING COMPANY ON FEBRUARY 15, 2014. NO BOUNDARY OR TOPOGRAPHIC SURVEY WAS PERFORMED BY R.B. TODD CONSULTING ENGINEERS.
2. OWNER: USC FACILITIES  
743 GREENE STREET  
COLUMBIA SC 29201  
PHONE NUMBER: 803-777-5811  
TMS: R11303-09-01  
ZONING: C-1  
DEVELOPMENT ADDRESS: 1300 Wheat Street, Columbia SC 29205  
DISTURBED AREA: 0.04 ACRES
3. ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 45079C0094H, DATED FEBRUARY 20, 2002, A PORTION OF THIS PROPERTY IS LOCATED IN FLOOD ZONE "AE".
4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS.
5. THE CONTRACTOR SHALL NOTIFY PUPS AT 1-888-721-7877 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION TO HAVE ALL UNDERGROUND UTILITIES LOCATED.

**LEGEND**

NEW	EXISTING	DESCRIPTION
N/A		BENCHMARK/CONTROL POINT
N/A		BUILDING
N/A		LIGHT POLE
		CURB AND GUTTER CONCRETE SURFACE
	N/A	BITUMINOUS SURFACE
	N/A	KEY NOTE REFERENCE

**KEY NOTES**

- ① NEW ELEVATED BIKE PARKING – SEE ARCH AND STRUCTURAL PLANS
- ② SEE ARCH FOR HANDRAIL DETAILS
- ③ NEW 6' WIDE BIKE RAMP WITH HANDRAILS – SEE ARCH/STRUCTURAL
- ④ REMOVE AND REPLACE CURB AND GUTTER AS REQUIRED FOR CONSTRUCTION



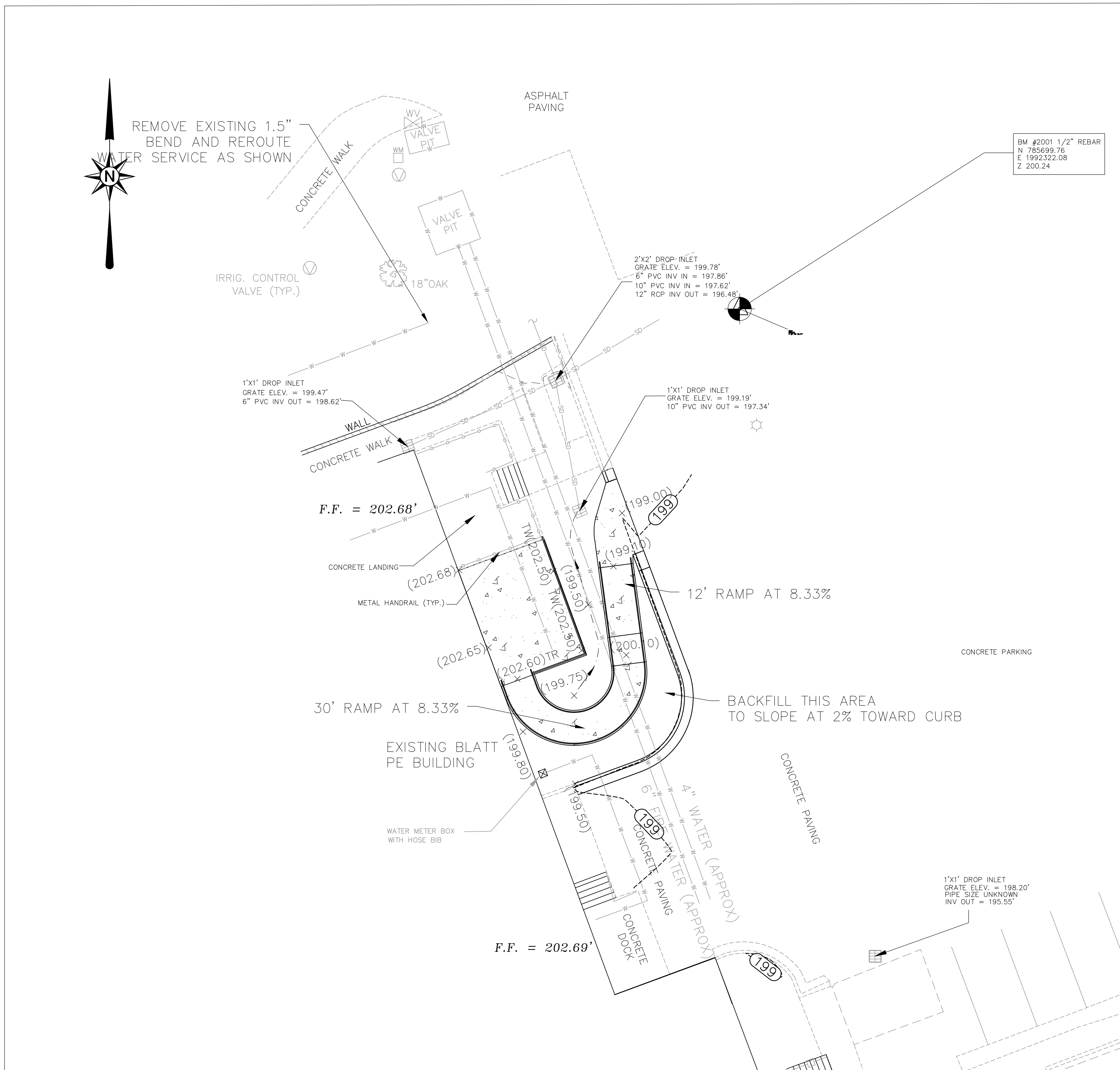
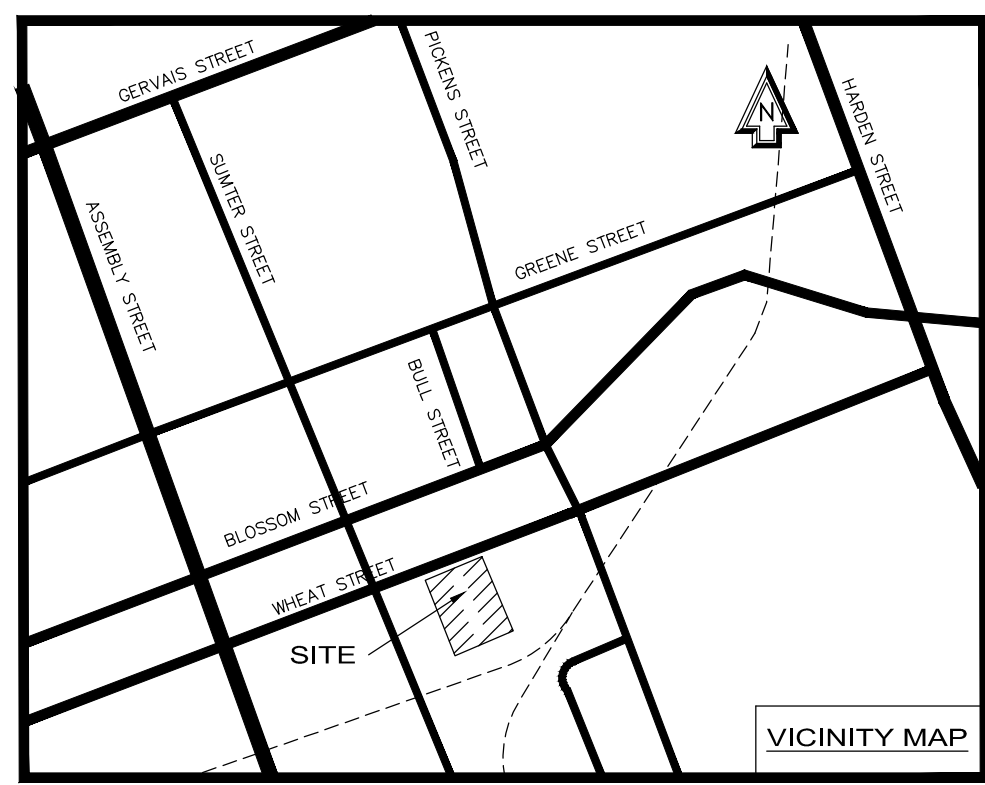
PROJECT TITLE  
**BLATT PE CENTER - BIKE SHOP RAMP**  
1300 Wheat Street  
Columbia, SC 29208  
Project No.: CP00424697

NO.	REVISIONS	NAME	DATE

DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_

DRAWING TITLE  
**SITE LAYOUT PLAN**

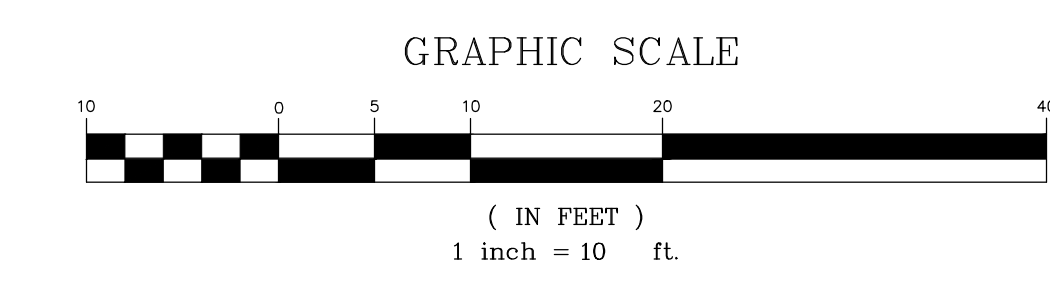
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DATE: 07/01/16  
DRAWING NO.: **C2.0**



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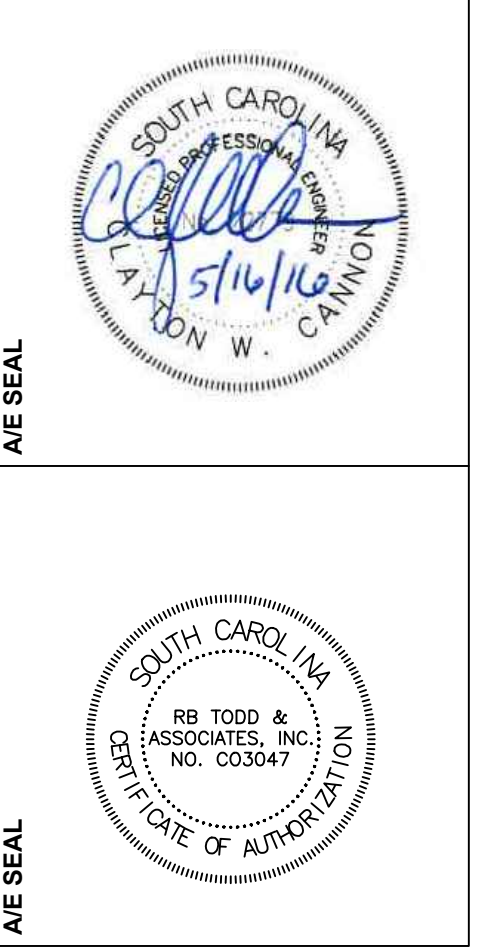
NEW	EXISTING	DESCRIPTION
N/A		BENCHMARK/CONTROL POINT
N/A		PROPERTY LINE/RIGHT OF WAY BUILDING
N/A		TREE
N/A		CONTOUR
x (829.50)	x 829.50	SPOT ELEVATION
N/A		FIRE HYDRANT
N/A		LIGHT POLE
N/A		WATER VALVE
N/A		WATER METER
N/A		WATER MAIN/SERVICE
N/A		STORM DRAIN LINE w/STRUCTURE
N/A		SANITARY SEWER LINE w/MANHOLE
N/A		SANITARY SEWER CLEANOUT
N/A		CHAIN LINK FENCE
①	N/A	KEY NOTE REFERENCE

- GRADING NOTES:**
- DURING CONSTRUCTION AND UNTIL TURF IS ESTABLISHED, USE THE SILT FENCE STORM INLET SEDIMENT TRAP SHOWN ON DETAIL SHEET AROUND ALL INLETS AND PLACE AND MAINTAIN SILT FENCES AS REQUIRED TO PREVENT EROSION AND SEDIMENTATION RUNOFF.
  - CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO BEGINNING WORK. CONTRACTOR SHALL VERIFY LOCATION AND AVAILABILITY OF ALL UTILITIES AFFECTING THE PROJECT ON AND OFF THE SITE.
  - THE CONSTRUCTION OF ALL STREETS & DRAINAGE FACILITIES SHALL BE GOVERNED SCDDOT STANDARD SPECIFICATIONS, LATEST EDITION.
  - CONTRACTOR SHALL USE THE INLET SEDIMENT PROTECTION ON ALL INLETS UNTIL THE AREA DRAINING TO THE INLET HAS BEEN STABILIZED.
  - ALL FILL AREAS TO BE COMPACTED AS RECOMMENDED IN THE GEOTECHNICAL REPORT AND SPECS.
  - CONTRACTOR TO INSTALL ADDITIONAL EROSION CONTROL MEASURES AS REQUIRED BY CITY OF COLUMBIA.
  - PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING ALL UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY CONSTRUCTION.
  - CONTRACTOR TO REPAIR ANY DAMAGE DONE TO EXISTING PAVEMENT, FENCING, ETC. DUE TO CONSTRUCTION ENTIRELY AT HIS EXPENSE.
  - CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE PAVED ROADWAY FROM CONSTRUCTION AREAS. CONTRACTOR TO DAILY REMOVE MUD/SOIL FROM PAVEMENT AS REQUIRED.
  - ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
  - ALL UNDERGROUND LOCATIONS ARE APPROXIMATE PER DRAWINGS AND LOCATIONS SUPPLIED BY VARIOUS UTILITY COMPANIES.
  - SEE SOILS REPORT FOR RECOMMENDATIONS AND CONDITIONS OF EXISTING SOILS.
  - ALL DEMOLISHED ITEMS TO BE REMOVED FROM SITE AND DISPOSED OF IN LEGAL MANNER.



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**PROJECT TITLE**  
**BLATT PE CENTER - BIKE SHOP RAMP**

1300 Wheat Street  
 Columbia, SC 29208  
 Project No.: CP00424697

NO.	REVISIONS	DATE

**DRAWN BY:** C.W.C.  
**CHECKED BY:** C.W.C.

**DRAWING TITLE**  
**GRADING AND DRAINAGE PLAN**

**PROJECT NO.**  
 CP00424697

**DATE**  
 07.01.16

**DRAWING NO.**  
**C3.0**



LANDSCAPE SPECIFICATIONS

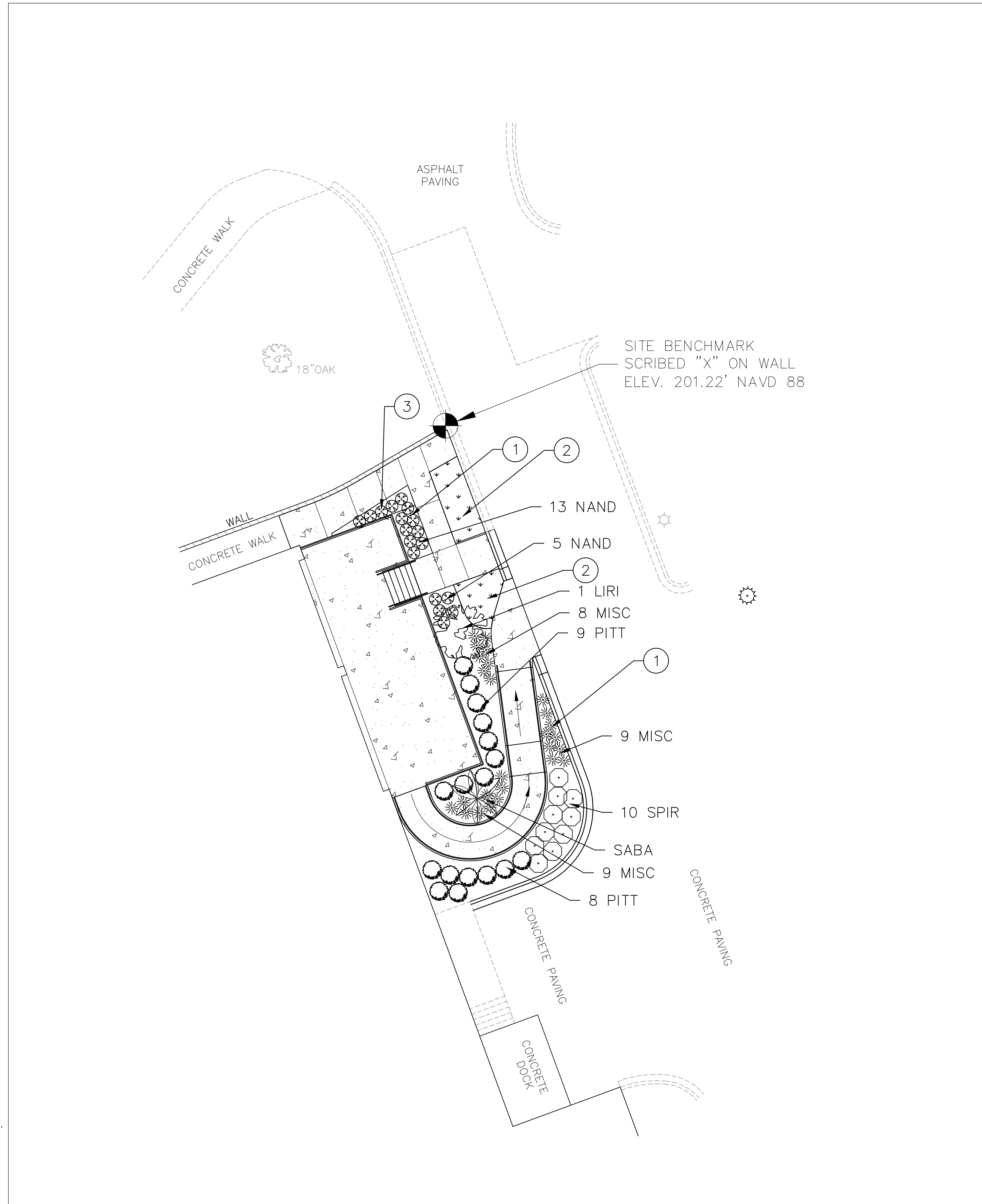
1. The term contractor shall refer to the landscape contractor in the landscape specifications.
2. The contractor shall notify the architect if existing site conditions are found to be different than shown on the landscape plan. The contractor shall keep a copy of the landscape plan and specifications on the site at all times while work is in progress. Request clarification from architect if any conflicts occur between plans, notes and specifications.
3. All plants shall conform to "American Standard for Nursery Stock", latest edition. All plants shall be symmetrical, typical of their species, sound, healthy, vigorous, free from disease and pests and shall have normal root systems. Plants shall be transported with a covering to avoid wind damage. Plants not found to be acceptable shall be removed from site and replaced at contractors expense.
4. All plants shall be warranted against death or unhealthy condition for a period of one (1) year from date of final acceptance of the landscape installation. Theft of plants, vandalism or lack of reasonable care are excluded from this warranty. Owner to provide adequate watering. To exclude a plant from this warranty due to lack of reasonable care, such as lack of adequate watering or abuse, the contractor must notify the owner/owner representative in writing prior to death of plant.
5. Landscape work includes but is not limited to grubbing out weeds, soil preparation, tilling, planting, mulching, weed control and clean-up.
6. No part of this work shall be performed or installed in any manner or location which would endanger the health, safety or welfare of the public now or in the future.
7. The contractor agrees that he/she shall assume sole and complete responsibility for the job related site con landscape installation, including safety of all persons and property: that this requirement shall apply continuously and not be limited to normal business hours.
8. During installation all on-site plant material must be watered and all work maintained by the contractor for the entire installation period.
9. The contractor shall comply with all applicable rules, regulations, laws and ordinances imposed by authorities having jurisdiction over the project site. If any of the plans or specifications are in conflict with the governing regulations then the plans or specifications shall not apply and the contractor shall give written notice of the conflicts.
10. Where sizes are given, these are minimum sizes.
11. All substitutions must be in writing and can only be approved by architect in writing. Any requests for on-site meetings must be scheduled with a minimum of 48 hours notice to architect.
12. Contractor shall not change grade to cause water to stand or divert water runoff in an inappropriate manner. Contractor shall put up necessary erosion control fabric to contain soil on-site.
13. Grade at start of landscape installation shall be +/- 0.1' finished grade. Fine grade and remove rocks 2" diameter or larger. Eliminate depressions that would hold water. Inform architect of drainage problems prior to installation starting. All grades shall slope away from building for adequate positive drainage. Final grade shall be made smooth and even by contractor.
14. Remove all existing sod and weeds in proposed plant beds prior to installation.
15. Contractor shall provide full adequate agronomic soil test with recommendations for amendments no less than 2 weeks prior to installation. A copy shall be sent to the architect. Take random samplings across site.
16. Call to locate utilities prior to digging. Contact architect if there are any conflicts with utilities and designated planting areas.
17. Install irrigation prior to plantings. Provide owner with accurate as-built prior to final acceptance. Coordinate with Owner where existing irrigation can be pulled from and include irrigation design to adequate water proposed installation.
18. All planting areas shall receive the following soil preparation prior to planting. Till all beds to the depth of 6". Incorporate the following soil amendments. Quantities are minimums per 1,000 s.f.
  - A. 3 cubic yards of mushroom compost
  - B. 15 lbs. of agricultural gypsum
  - C. 25 lbs of 16-4-8 100% slow release fertilizer
19. Burden of proof of soil amendment shall rest on contractor. Soil tests if necessary to confirm compliance with soil amendment shall be completed at expense of contractor.
20. Tree calipers shall be measured 6" above the rootball for trees 4" caliper or less and 12" above the rootball for trees in excess of 4" caliper.
21. No B&B plants shall be accepted if the rootball is broken or loose.
22. Trees shall be planted no closer than 4' from all hardscaping.
23. Trees shall not be planted any closer than 4' from utility lines. Relocate slightly if necessary.
24. Rootball for containerized plants shall hold all soil from pot when removed from pot, but not be rootbound.
25. Planting hole shall be made 2 times the width of the rootball. Set plant with rootball to match previous grade. Set plant in center of hole, plumb and with best side out towards highest visibility. Backfill in a manner that avoids air pockets. Backfill to be 2 parts soil:1 part mushroom compost:
26. Set B&B plants in hole to with rootball to match previous grade, backfill 2/3 , remove top portion of burla complete backfill. Backfill to be 3 parts soil from pit: 1 part mushroom compost.
27. Apply pre-emergence as per manufacturers recommendations. Check label for plant compatibility. All chemicals to be kept in their original container and shall be handled and applied in accordance with laws.
28. Install shredded hardwood mulch to all beds as shown for a depth of 2 inches. Treat with preemergent herbicide prior to mulch installation.
29. Guy and stake trees. Guy in a manner that avoids putting stress on smaller limbs and avoid wires scrapping
30. Remove all tags from trees to avoid future girdling.
31. Deep water all new planting within the first 24 hours of installing. Keep watered as necessary during entire installation period.
32. All pruning must have prior written approval by architect.
33. Areas not designated as planting beds shall be sodded as per plans. All grass shall be common Bermuda
34. All areas to be sodded or seeded shall be disked or tilled to the depth of 6", then fine graded. Remove weeds, stones and debris prior to laying sod. Eliminate any unevenness prior to installation.
35. Lay sod with hand tight joints. Lay perpendicular to slope. Roll to assure good contact of roots with soil
36. Lightly water immediately after installation.
37. Apply a preemergent to control weeds. DO NOT APPLY PREEMERGENT TO AREAS TO BE SEEDDED. All disturbed areas not designated as planting bed or sod shall be seeded. Seed for permanent stand of grass. Bare areas 8" diameter or greater shall be reseeded.
38. Apply a root stimulating fertilizer as per manufacturers recommendations.
39. Clean up site daily of all related materials in regards to landscape installation. Keep tools safely placed during daily progress.
40. Contractor shall maintain landscape throughout the installation until time of final acceptance.
41. Any plants that die or are found to be unacceptable shall be replaced within 6-8 weeks of notification, weather and planting conditions permitting.

PLANT LIST

ABBREVIATION	BOTANICAL NAME	COMMON NAME	SIZE	QTY
LIRI	LIRIODENDRON TULIPIFERA 'EMERALD CITY'	TULIP POPLAR	3" CAL	1
MISC	MISCANTHUS SINENSIS 'LITTLE KITTEN'	FOUNTAIN GRASS	3 GAL	26
NAND	NANDINA DOMESTICA 'HARBOR DWARF'	NANDINA	3 GAL	18
PITT	PITTIOSPORUM TOBIRA 'GLEN COMPACT'	COMPACT PITTOSPORUM	3 GAL	17
SABA	SABAL PALMETTO	PALMETTO	12' HT.	1
SPIR	SPIREA JAPONICA 'LITTLE PRINCESS'	SPIREA	3 GAL	10

NOTES:

- 1) CONTRACTOR TO REPAIR ANY SOD AREAS DAMAGED WITH NEW AS REQUIRED
- 2) HARDWOOD MULCH TO BE 2" THICK

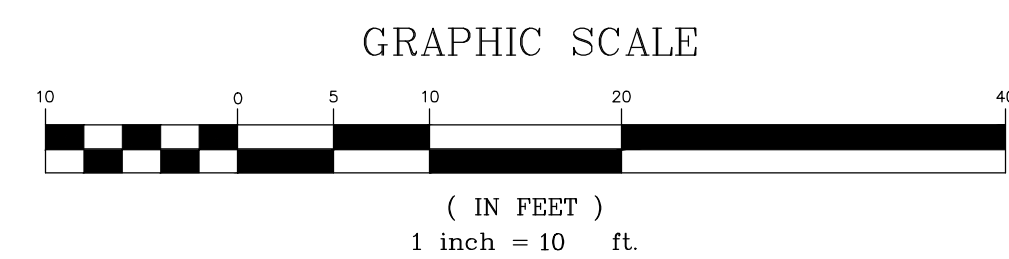
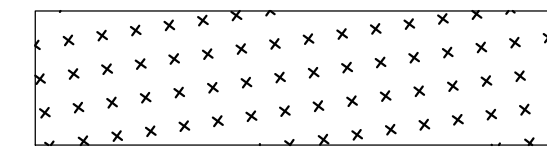


KEY NOTES

- 1) NEW 2" THICK HARDWOOD MULCH
- 2) NEW BERMUDA SOD (TIFWAY 419)
- 3) EXISTING IRRIGATION MAINLINE STUB-UP. ADD 1 VALVE FOR DRIP COVERAGE OF TREE AND SHRUBS AND 1 VALVE FOR SPRAY HEAD COVERAGE OF TURF. VALVES TO BE RAINBIRD PEB. DRIPLINE TO BE XERI-BUG EMITTERS; SPRAY HEADS TO BE 1800 SERIES BY RAINBIRD. PROVIDE 'TBOS' BATTERY-OPERATED CONTROLLER FOR NEW VALVES.

LANDSCAPE LEGEND

PROPOSED SOD  
 PROPOSED SHRUB  
 PROPOSED TREE



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PROJECT TITLE  
**BLATT PE CENTER - BIKE SHOP RAMP**

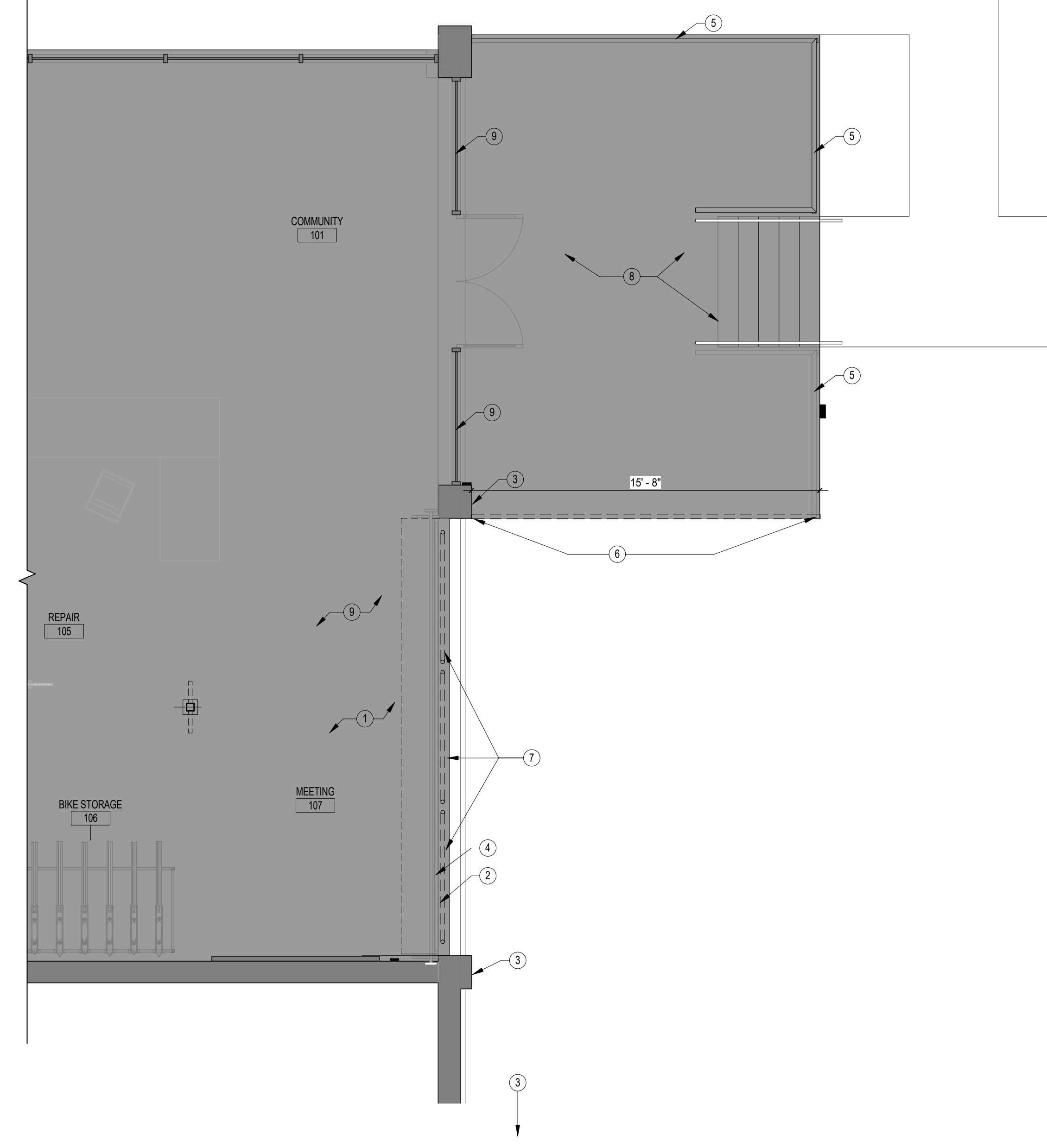
1300 Wheat Street  
 Columbia, SC 29208  
 Project No.: CP00424697

NO.	REVISIONS	DATE

DRAWN BY:	C.W.C.
CHECKED BY:	C.W.C.

DRAWING TITLE  
**LANDSCAPE PLAN**

PROJECT NO.  
 CP00424697  
 DATE  
 07/21/18  
 DRAWING NO.  
**L1.0**



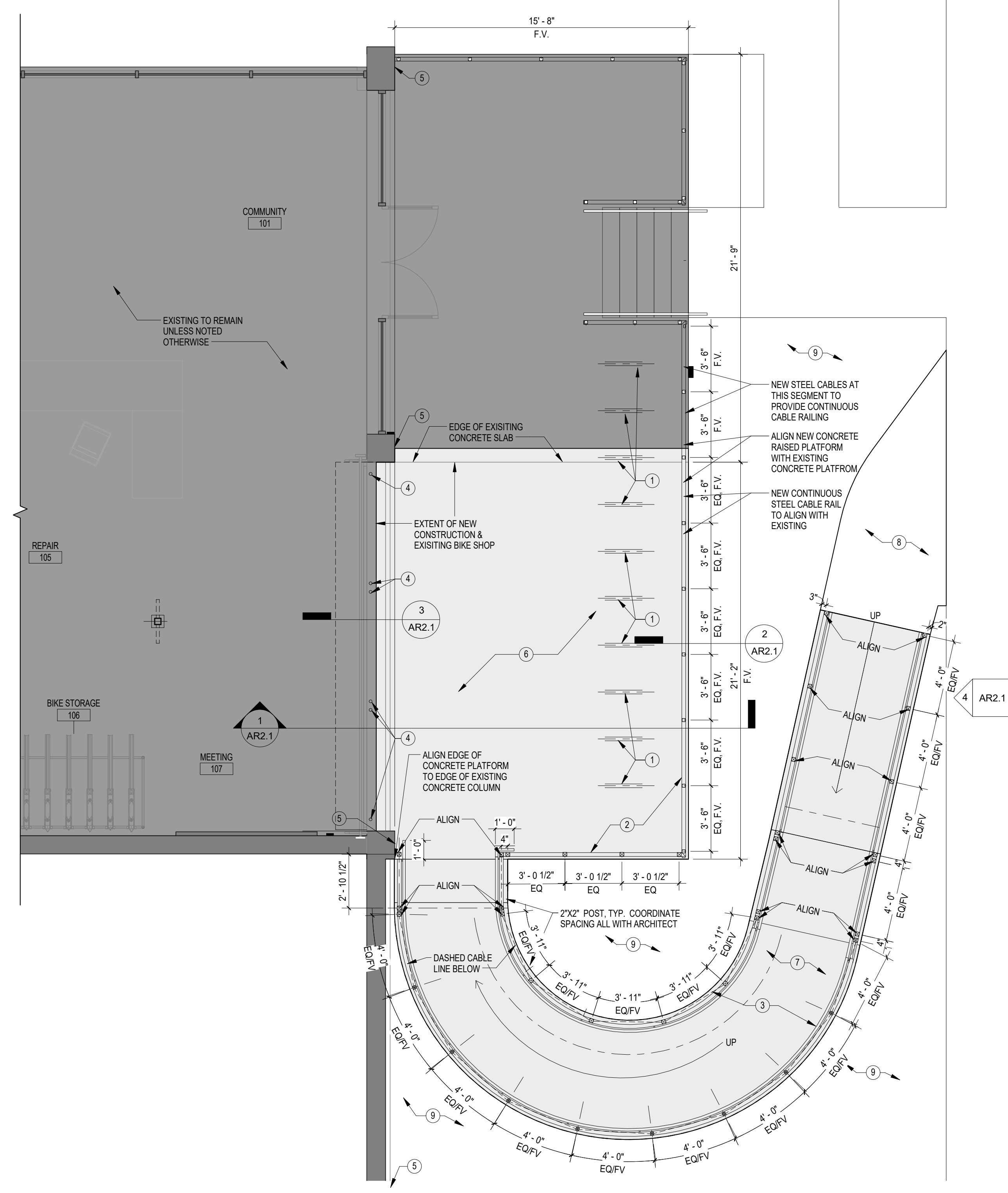
1 DEMO FIRST FLOOR PLAN  
AR1.1 1/4" = 1'-0" REFERENCED ON: A1.1

GENERAL NOTES - DEMO FIRST FLOOR PLAN

- FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. EXISTING BUILDING INFORMATION SHOWN IS BASED ON THE EXISTING DRAWINGS PROVIDED BY THE OWNER. GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION/DEMOLITION.
- PROVIDE AND INSTALL ALL SHORING AND SUPPORT SYSTEMS NECESSARY TO ENSURE EXISTING STRUCTURE TO REMAIN IS STABLE THROUGHOUT DEMOLITION AND NEW CONSTRUCTION.
- ALL DEMOLITION REQUIRED FOR FUTURE INSTALLATION OF MECHANICAL CHASES AND PIPING TO BE COORDINATED WITH MECHANICAL DRAWINGS, EQUIPMENT SPECIFICATIONS, AND STRUCTURAL DRAWINGS.
- CONTACT OWNER UPON DISCOVERY OF ANY SUSPECTED ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED WITHIN THE PROJECT SCOPE.
- CONTACT ARCHITECT IF ANY EXISTING MATERIALS TO BE DEMOLISHED ARE IN QUESTION. SEE CIVIL, STRUCTURAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL PHOTOGRAPH ALL SPACES PRIOR TO COMMENCEMENT OF RENOVATION/NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS. PROVIDE ARCHITECT WITH ELECTRONIC COPIES OF PHOTOGRAPHS.
- PROTECT EXISTING WOOD FLOORING TO REMAIN THROUGHOUT DEMOLITION AND NEW CONSTRUCTION.
- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING EXISTING COLUMNS AND BEAMS. PROTECT ALL EXISTING WALLS, COLUMNS, AND STRUCTURE TO REMAIN.
- INSTALL SELF-LEVELING FLOOR MATERIAL TO ALL FLOOR AREAS THAT ARE TO BE TO BE INFILLED WITH NEW SLABS TO ENSURE FLUSH, SMOOTH FINISH FLOOR PLANE CONDITIONS THROUGHOUT RENOVATED BUILDING.
- CORE DRILLING IN EXISTING SLAB FOR NEW UTILITY SERVICE IS NOT SHOWN ON THIS PLAN. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REQUIRED UTILITY ROUTING.
- PROTECT ALL EXISTING WATERPROOFING THROUGHOUT DEMOLITION & NEW CONSTRUCTION. PHOTOGRAPH ANY DISTURBED OR DAMAGED WATERPROOFING AREAS AND NOTIFY ARCHITECT OF CONDITIONS PRIOR TO INSTALLING NEW WORK OR BACKFILLING AREAS.
- ITEMS TO BE SALVAGED AND REMOVED BY OWNER WILL BE MOVED PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- PROTECT ALL EXISTING CONSTRUCTION TO REMAIN THROUGHOUT CONSTRUCTION/DEMOLITION.

KEYNOTES - DEMO FIRST FLOOR PLAN

- EXISTING WOOD FLOORING TO REMAIN. REPAIR / PROTECT FLOOR AS REQUIRED.
- EXISTING METAL THRESHOLD TO REMAIN. PROTECT AS REQUIRED.
- EXISTING LIGHTS TO BE REMOVED. SEE ELECTRICAL.
- EXISTING OVERHEAD DOOR TO REMAIN. PROTECT AS REQUIRED.
- EXISTING STAINLESS STEEL GUARDRAIL TO REMAIN. PROTECT AS REQUIRED.
- REMOVE, PROTECT AND REINSTALL PORTION OF EXISTING GUARDRAIL IN RENOVATED CONFIGURATION.
- REMOVE EXISTING REMOVABLE GUARDRAIL. GO TO CUT/SAND/REMOVE EXISTING SLEEVES TO PREPARE EXISTING CONCRETE TO BE FILLED AND PROVIDE FLUSH SURFACE.
- EXISTING RAISED CONCRETE PATIO AND STAIRS TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- PROTECT ALL EXISTING TO REMAIN, UNLESS OTHERWISE NOTED.



2 FIRST FLOOR PLAN  
AR1.1 1/4" = 1'-0" REFERENCED ON: A1.1

GENERAL NOTES - FIRST FLOOR PLAN

- SEE T1.1 FOR MINIMUM REQUIRED ADA MANEUVERING CLEARANCES.
- DIMENSIONS INDICATED ON THESE DRAWINGS ARE TO FACE OF CMU WALL, FACE OF EXTERIOR VENEER, FACE OF STUD WALL, FACE OF CONCRETE OR CENTERLINE OF COLUMN UNLESS OTHERWISE INDICATED. COORDINATE ALL DIMENSIONS WITH STRUCTURAL DIMENSION PLANS, ENLARGED PLANS, SECTION AND DETAIL DRAWINGS, AND STRUCTURAL DRAWINGS AND VERIFY EXACT LOCATIONS. COORDINATE ALL FLOOR SLAB PENETRATIONS WITH SYSTEM DRAWINGS (SS, MS, FS AND ES) AND ACTUAL PRODUCT TO BE INSTALLED AND VERIFY LOCATIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO INSTALLATION.
- ALL EXISTING COLUMNS ARE TO REMAIN.
- PATCH ALL EXISTING HOLES IN CONCRETE STRUCTURE TO REMAIN, SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- CONTACT OWNER UPON DISCOVERY OF ANY SUSPECTED ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED WITHIN THE PROJECT SCOPE.

KEYNOTES - FIRST FLOOR PLAN

- INVERTED U BIKE RACK, OWNER PROVIDED, OWNER INSTALLED. QUANTITY: 10
- NEW CONTINUOUS STEEL CABLE RAILING WITH STAINLESS STEEL POSTS AND TOP PLATE TO MATCH ADJACENT EXISTING.
- NEW CONTINUOUS STEEL CABLE RAILING WITH STAINLESS STEEL POSTS AND TOP PLATE TO MATCH EXISTING AND 1 1/2" DIAMETER HANDRAIL WELDED TO VERTICAL POSTS.
- INFILL EXISTING CONCRETE HOLES AT REMOVABLE GUARDRAIL AT OVERHEAD DOOR. G.C. TO CUT/SAND/REMOVE EXISTING GUARDRAIL SLEEVES TO ENSURE FLUSH SURFACE.
- NEW WALL MOUNTED LIGHT FIXTURE. SEE ELECTRICAL.
- NEW RAISED CONCRETE PATIO. SEE CIVIL AND STRUCTURAL MATCH CONCRETE FINISH TO EXISTING RAISED CONCRETE PATIO.
- NEW CONCRETE RAMP. SEE CIVIL AND STRUCTURAL. MATCH CONCRETE FINISH TO EXISTING RAISED CONCRETE PATIO.
- SEE CIVIL FOR NEW SIDEWALK.
- SEE LANDSCAPE PLAN PLANTINGS REQUIRED IN SCOPE OF THIS PROJECT.

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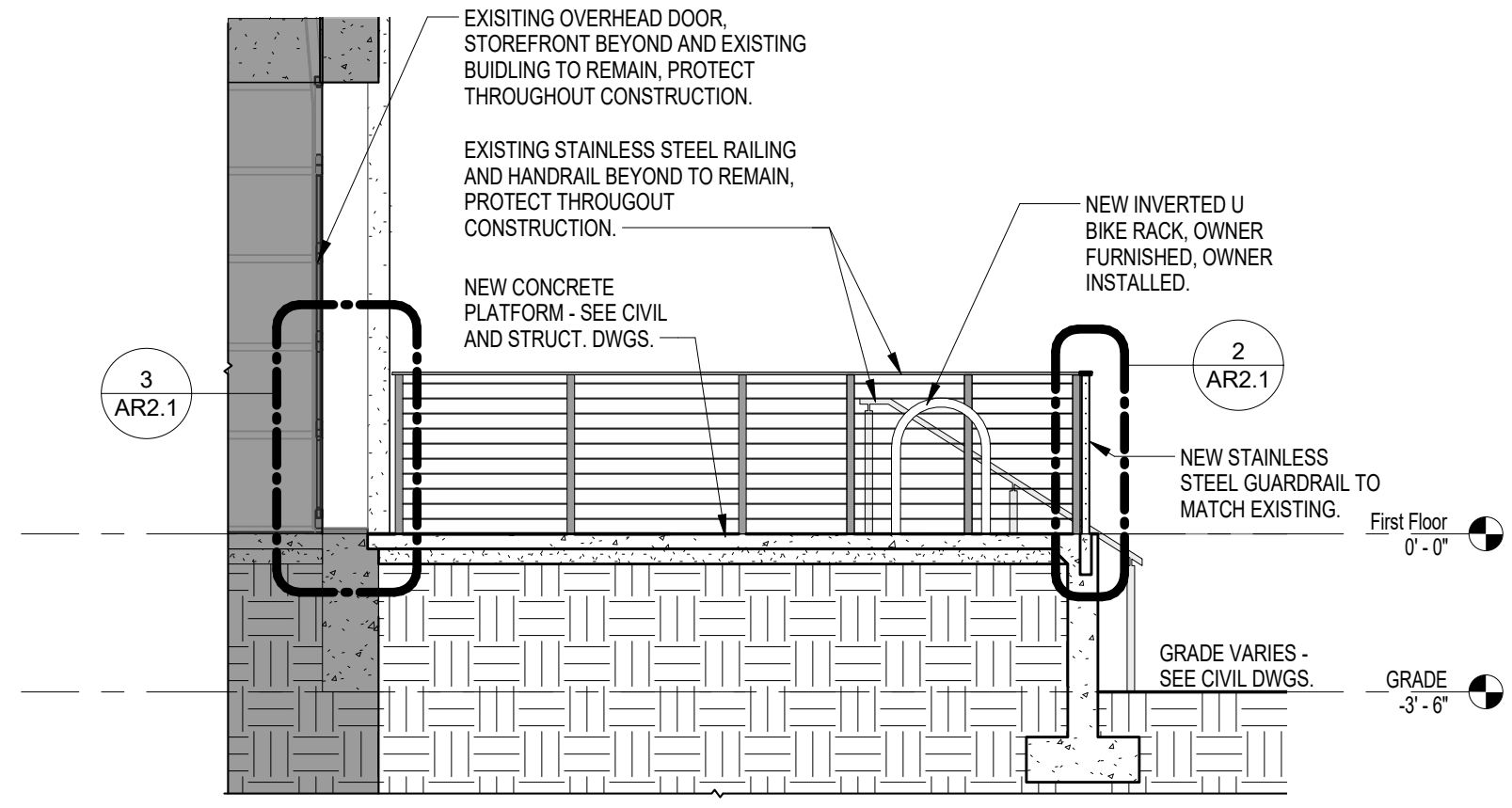
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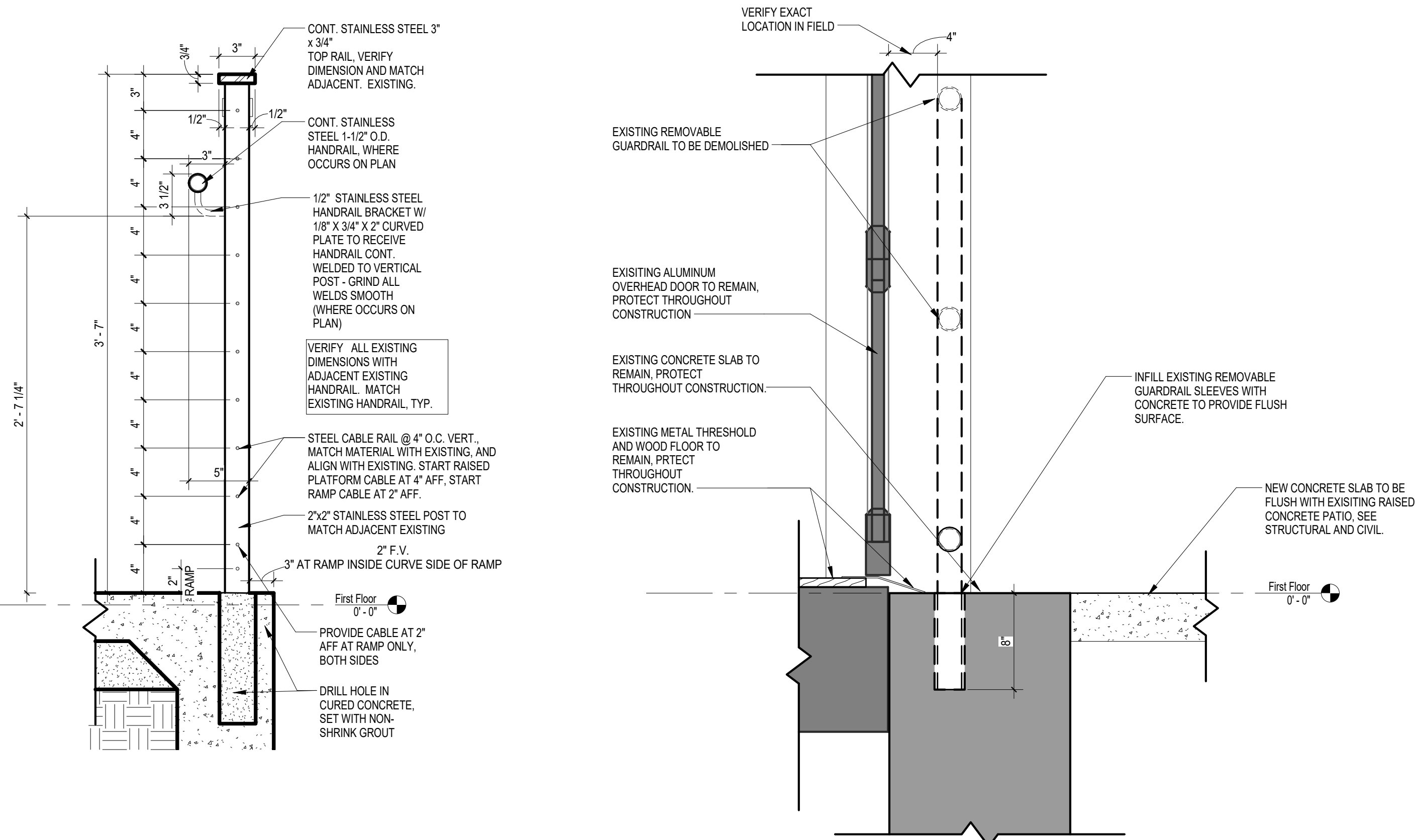
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FIRST FLOOR PLAN & FIRST FLOOR DEMO PLAN

**PROJECT NO.**  
CP00424697  
**DATE**  
07.01.16  
**DRAWING NO.**  
AR1.1



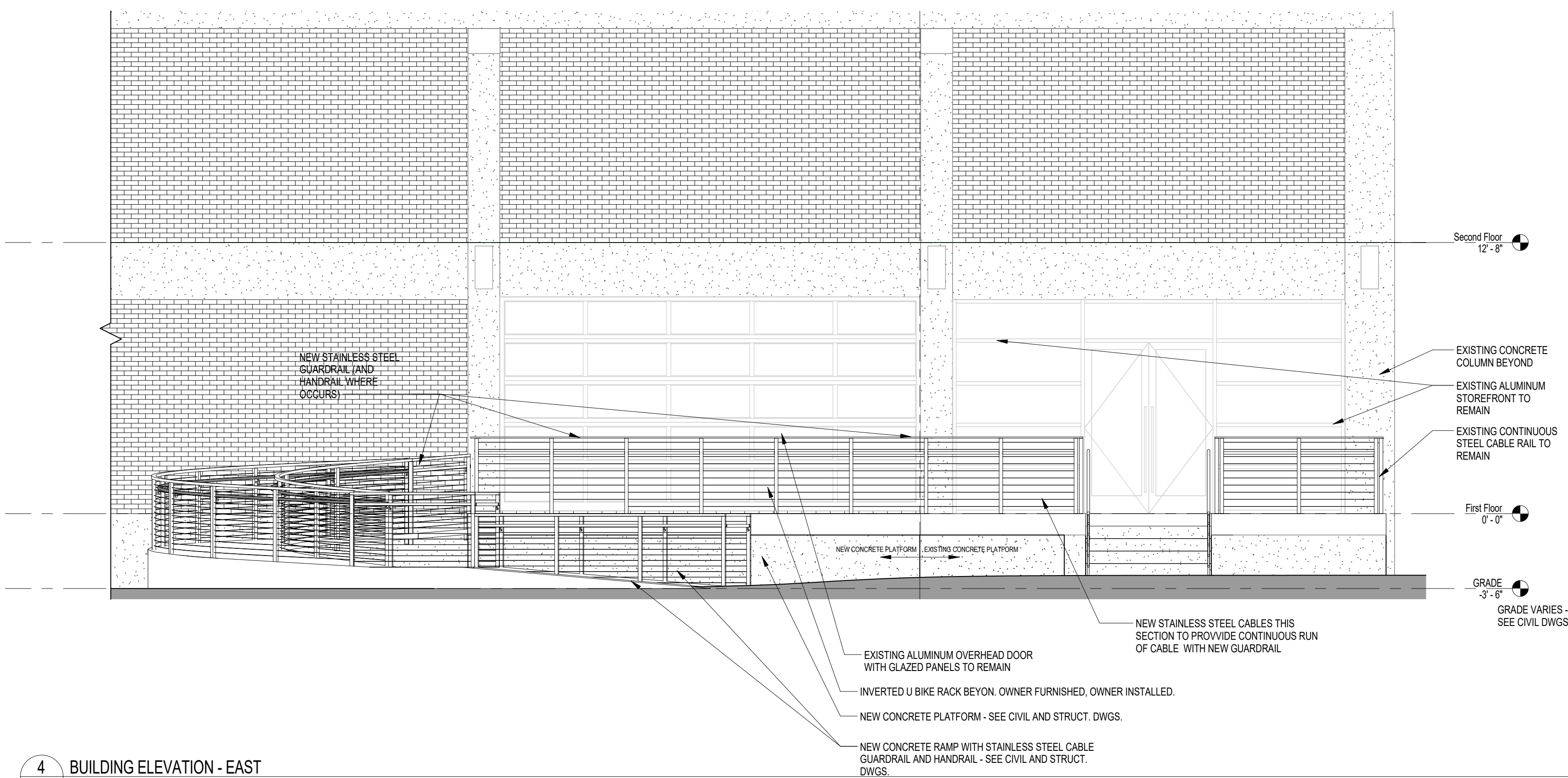


1 BUILDING SECTION  
AR2.1 1/4" = 1'-0"  
REFERENCED ON: A1.1



2 TYPICAL STAINLESS STEEL RAILING DETAIL  
AR2.1 1 1/2" = 1'-0"  
REFERENCED ON: A4.1

3 SECTION DETAIL @ EXISTING OVERHEAD DOOR  
AR2.1 1 1/2" = 1'-0"  
REFERENCED ON: A1.1



4 BUILDING ELEVATION - EAST  
AR2.1 1/4" = 1'-0"  
REFERENCED ON: A1.1

NO.	REVISIONS	DATE

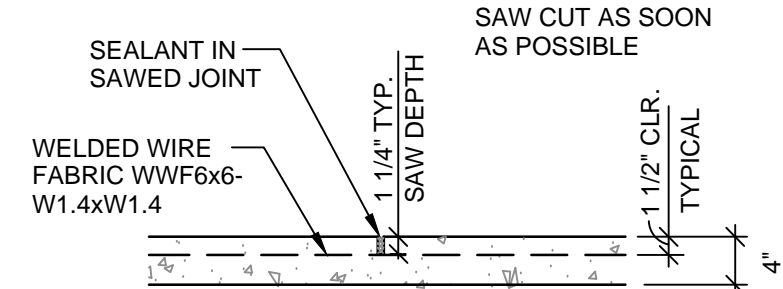
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<small>THIS DRAWING IS THE PROPERTY OF GARVIN DESIGN GROUP. IT IS TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GARVIN DESIGN GROUP, INC.</small>	

**GENERAL NOTES:**

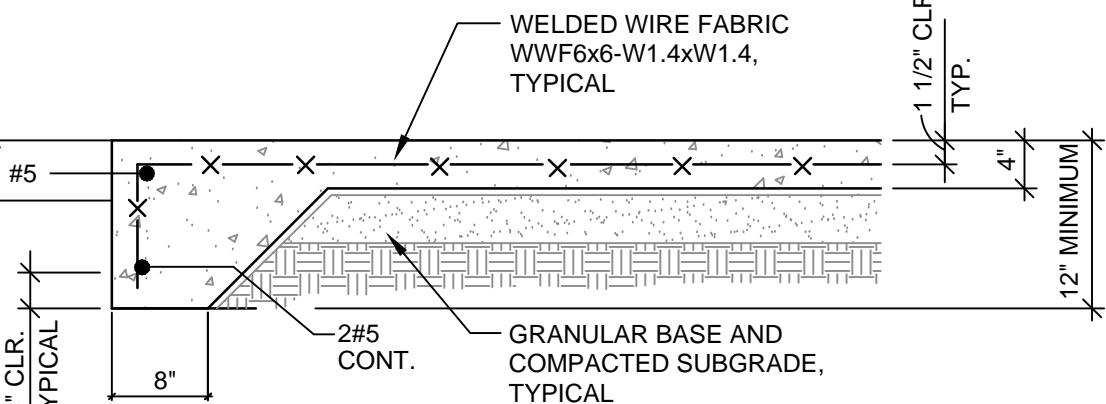
1. LOADS:
  - A. LIVE LOADS:
    - ASSEMBLY AREAS..... 100 PSF; 2000 LB CONCENTRATED
  - B. DEAD LOADS: ACTUAL WEIGHTS OF MATERIALS, EQUIPMENT, AND ETC.
  - C. WIND LOAD:
    - (1) BASIC WIND SPEED 115 MPH
    - (2) RISK CATEGORY II
    - (3) WIND EXPOSURE C
    - (4) INTERNAL PRESSURE COEFFICIENT  $C_{pi} = +/- 0.00$
    - (5) DESIGN PRESSURES FOR COMPONENTS AND CLADDING ROOF LOAD
      - CORNER ZONE OR ZONE 3 USE +/- 57.0 PSF
      - EDGE/RIDGE ZONES OR ZONE 2 USE +/- 44.0 PSF
      - INTERIOR ZONE OR ZONE 1 USE +/- 28.5 PSF
- D. SEISMIC DESIGN DATA
  - (1) RISK CATEGORY II
  - (2) MAPPED SPECTRAL RESPONSE ACCELERATIONS:
    - $S_{0.05} = 0.55$ ;  $S_{0.15} = 0.15$
  - (3) SITE CLASS C
  - (4) SPECTRAL RESPONSE COEFFICIENTS:
    - $S_{0.4} = 0.43$ ;  $S_{1.0} = 0.16$
  - (5) SEISMIC DESIGN CATEGORY C
  - (6) BASIC STRUCTURAL SYSTEM AND SEISMIC RESISTING SYSTEM, BEARING WALL WITH ORDINARY REINFORCED CONCRETE SHEAR WALLS.
  - (7) DESIGN BASE SHEAR:  $V = 3.5$  KIPS
  - (8) SEISMIC RESPONSE COEFFICIENT:  $C_s = 0.108$
  - (9) RESPONSE MODIFICATION FACTOR:  $R = 4$
  - (10) ANALYSIS PROCEDURE - EQUIVALENT LATERAL FORCE PROCEDURE
2. BUILDING CODE - INTERNATIONAL BUILDING CODE 2012
3. CAST-IN-PLACE CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS:
  - NORMAL WEIGHT (150 PCF) 4000 PSI FOR ALL CONCRETE.
  - LIMIT FLY ASH CONTENT TO 25% MAXIMUM BY WEIGHT.
4. ALL REINFORCING BARS TO HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI.
5. CONCRETE FORMWORK:
  - A. ALL FORMWORK SHALL BE DESIGNED, ERECTED, SUPPORTED, BRACED, AND MAINTAINED ACCORDING TO ACI STANDARD 347 RECOMMENDED PRACTICE FOR CONCRETE FORMWORK.
  - B. RESPONSIBILITY: THE DESIGN, CONSTRUCTION, AND SAFETY OF ALL FORMWORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL FORM, SHORES, BACKSHORES, FALSEWORK, BRACING, AND OTHER TEMPORARY SUPPORTS SHALL BE ENGINEERED TO SUPPORT ALL LOADS IMPOSED INCLUDING THE WET WEIGHT OF CONCRETE, CONSTRUCTION EQUIPMENT, LIVE LOAD, LATERAL LOADS DUE TO WIND AND WET CONCRETE IMBALANCE. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
  - C. TOLERANCE, UNLESS SPECIFIED OTHERWISE, ALL TOLERANCES FOR CONCRETE FORMWORK SHALL CONFORM TO ACI STANDARD 117, STANDARD TOLERANCE FOR CONCRETE CONSTRUCTION AND MATERIALS.
  - D. ALL PERMANENTLY VISIBLE EDGES OF CONCRETE SHALL HAVE A 3/4" CONTINUOUS CHAMFER. THIS INCLUDES ALL SLABS, BEAMS, COLUMNS, AND WALLS.
6. CHECK WITH VARIOUS TRADES FOR SLEEVES, OPENINGS, CONDUITS, ETC. BEFORE POURING CONCRETE.
7. VERIFY ALL ELEVATIONS AND DIMENSIONS WITH EXISTING CONDITIONS.
8. SEE ARCHITECTURAL DRAWINGS FOR MISCELLANEOUS DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
9. PROVIDE AND INSTALL ALL TEMPORARY BRACING AS REQUIRED FOR SAFETY/STABILITY OF THE STRUCTURE UNTIL STRUCTURE IS COMPLETE.
10. DRAWINGS INDICATE GENERAL ARRANGEMENT AND DIMENSIONS AND ARE GENERALLY DRAWN TO SCALE. HOWEVER, SCALE DIMENSIONS SHALL NOT BE USED. OBTAIN DIMENSIONS FROM ARCHITECT, WHEN NOT GIVEN IN FIGURES. REFER TO THE ARCHITECT AND ENGINEER IF ANY INCONSISTENCIES ARE FOUND.
11. WHERE CONFLICTS EXIST BETWEEN STRUCTURAL AND ARCHITECTURAL, USE STRUCTURAL FOR ITEMS RELATING TO STRUCTURAL STRENGTH SUCH AS VERTICAL REINFORCING IN CONCRETE WALLS, FOOTING SIZE, FOOTING ELEVATION, REINFORCING, MEMBER SIZE, ETC.

**SOIL NOTES:**

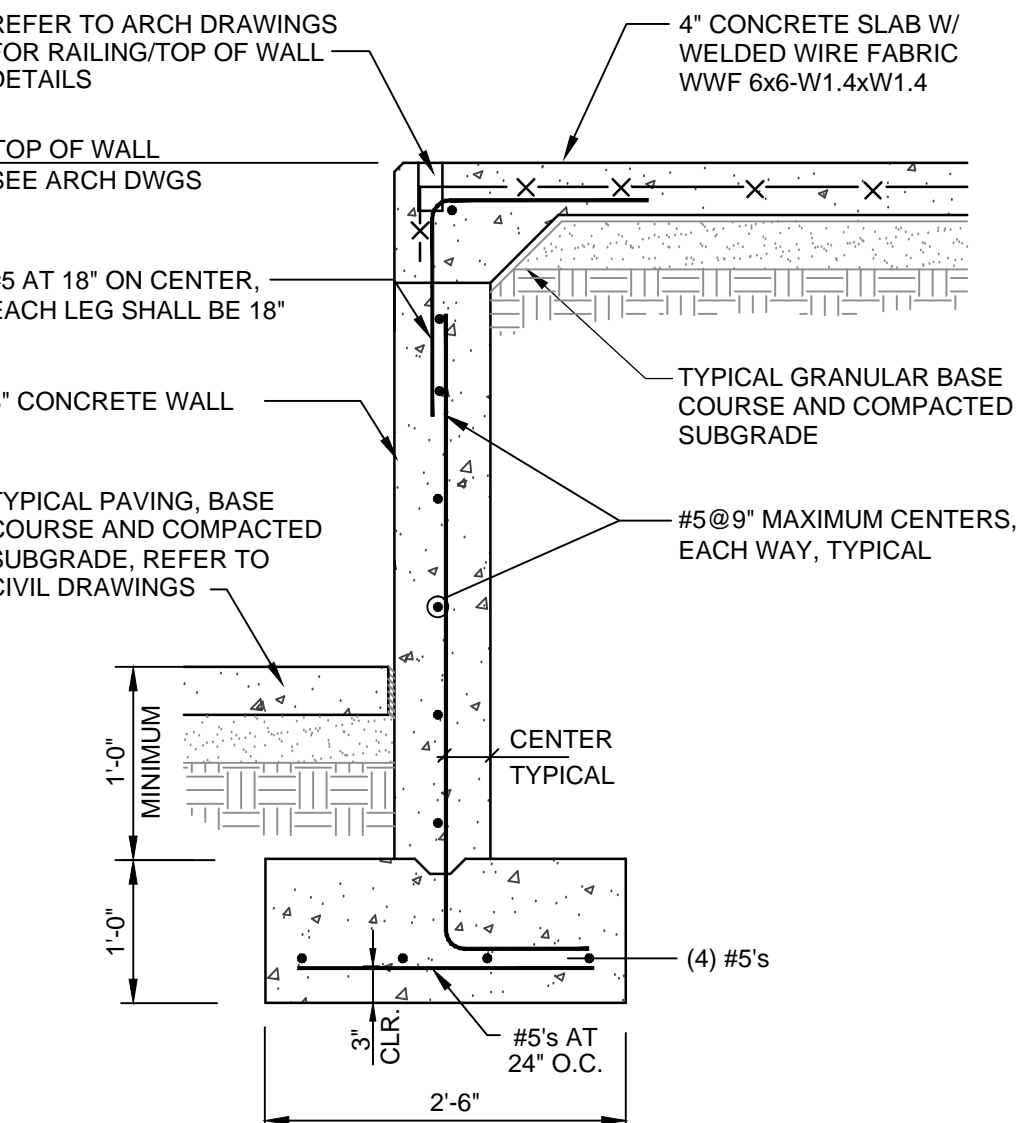
1. FOOTINGS DESIGNED FOR AN ASSUMED SOIL BEARING VALUE OF 2000 PSF. GEOTECHNICAL ENGINEER/TESTING LABORATORY SHALL VERIFY BEARING VALUE PRIOR TO FOOTING PLACEMENT.
2. BEFORE ANY CONSTRUCTION, THE ENTIRE SITE AREA SHALL BE STRIPPED OF ANY ROOT SYSTEMS, SURFACE VEGETATION, ORGANIC SURFACE SOILS, EXISTING CONCRETE SLABS, FOOTINGS, BURIED FUEL TANKS, UNDERGROUND UTILITIES, AND ANY OTHER UNSUITABLE NEAR SURFACE MATERIALS. ALSO, ALL EXISTING MATERIAL BENEATH THE BUILDING AREAS SHALL BE COMPLETELY REMOVED TO A DEPTH DETERMINED BY THE TESTING LABORATORY NECESSARY TO OBTAIN THE REQUIRED BEARING VALUE. THE UNDERCUTTING SHALL EXTEND AT LEAST FIVE FEET OUTSIDE THE BUILDING AREA. AFTER STRIPPING AND UNDERCUTTING, THE EXPOSED SUBGRADE SHALL BE EVALUATED BY THE GEOTECHNICAL ENGINEER TO CONFIRM THAT ALL UNSUITABLE MATERIALS HAVE BEEN REMOVED. THE EXPOSED SUBGRADE SHALL THEN BE DENSIFIED, TO 95% OF STANDARD PROCTOR DENSITY IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER, WITH APPROVED EQUIPMENT.
3. ALL EXISTING FOUNDATIONS, UTILITIES, TANKS, ETC. WITHIN THE PROPOSED BUILDING AREA SHALL BE REMOVED. IF EXISTING UTILITIES, FOUNDATIONS, TANKS, ETC. ARE LOCATED BELOW THE PROPOSED FOOTINGS, THEY SHALL BE BACKFILLED WITH A WELL COMPACTED CRUSHED STONE.
4. ONCE THE EXPOSED SUBGRADE AREAS HAVE BEEN SATISFACTORILY STABILIZED/DENSIFIED, THE PLACED FILL SOILS SHALL BE COMPACTED IN LIFTS NOT EXCEEDING EIGHT (8) INCHES IN LOOSE THICKNESS. AN IN PLACE DRY DENSITY OF APPROXIMATELY NINETY FIVE PERCENT (95%) OF THE MAXIMUM STANDARD PROCTOR DENSITY (ASTM D-698) SHALL BE OBTAINED IN EACH LIFT. ALL FILL MATERIAL SHALL BE TESTED BY LABORATORY PERSONNEL TO VERIFY ITS SUITABILITY FOR USE AS A STRUCTURAL FILL.
5. THE TESTING LABORATORY SHALL DO A SUFFICIENT NUMBER OF IN PLACE DENSITY TESTS TO CONFIRM THAT THE REQUIRED DEGREE OF COMPACTION IS OBTAINED.
6. EACH FOOTING EXCAVATION SHALL BE THOROUGHLY TAMPED USING A MECHANICAL TAMPER BEFORE PLACING ANY STEEL OR CONCRETE. ALL SOFT, LOOSE, OR OTHERWISE QUESTIONABLE SOILS SHALL BE STABILIZED BY COMPACTING IN PLACE OR BY REMOVING AND REPLACING SUCH UNSUITABLE SOILS. IN AREAS THAT ARE DIFFICULT TO STABILIZE, A COURSE CRUSHED AGGREGATE SHALL BE USED TO STABILIZE THE EXCAVATIONS. TESTING LABORATORY SHALL VERIFY THAT THE FOOTING EXCAVATIONS HAVE BEEN COMPACTED AND THAT THE BEARING CAPACITY HAS BEEN ACHIEVED.
7. CONTRACTOR SHALL ESTABLISH AND MAINTAIN GOOD SITE DRAINAGE THROUGHOUT CONSTRUCTION.
8. IT IS REQUIRED THAT ALL FOOTINGS BE CONSTRUCTED AS SOON AS POSSIBLE AFTER EXCAVATION TO BEARING SOILS IS COMPLETED. IF THE BEARING SOILS ARE EXPOSED TO SURFACE OR RAIN WATER, THE SOFTENED SOIL SHALL BE THOROUGHLY REMOVED PRIOR TO PLACEMENT OF CONCRETE. IF IT IS ANTICIPATED THAT FOOTING EXCAVATIONS WILL REMAIN EXPOSED FOR MORE THAN 24 HOURS OR IF RAIN IS IMMINENT WHILE BEARING SOILS ARE EXPOSED, A 2 TO 4 INCH THICKNESS OF 2000 PSI MINIMUM STRENGTH CONCRETE MAY BE PLACED OVER BEARING SOILS FOR PROTECTION.
9. IMMEDIATELY PRIOR TO CONSTRUCTING THE FLOOR SLAB OR PAVEMENT BASE COURSE, THE SUBGRADE SHALL BE RECOMPACTED TO REPAIR ANY SUBGRADE SOILS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION. AFTER COMPACTION OF THE SUBGRADE, FIELD DENSITY TESTING AND PROPPOLLING SHALL BE PERFORMED TO EVALUATE THE CONDITIONS OF THE SUBGRADE BEFORE PLACING THE SLAB OR PAVING BASE COURSE.
10. THE COMPACTION RECOMMENDATIONS GIVEN ABOVE ALSO APPLY TO BACKFILL FOR UTILITY TRENCHES WITHIN THE BUILDING AND PAVED AREAS. FIELD DENSITY TESTING SHALL BE PERFORMED THROUGHOUT THE BACKFILLING PROCESS TO DOCUMENT THE CONTRACTOR'S COMPACTION PERFORMANCE IN THE UTILITY TRENCH BACKFILL.
11. PROVIDE 4" COMPACTED GRANULAR AGGREGATE BASE BENEATH SLABS.



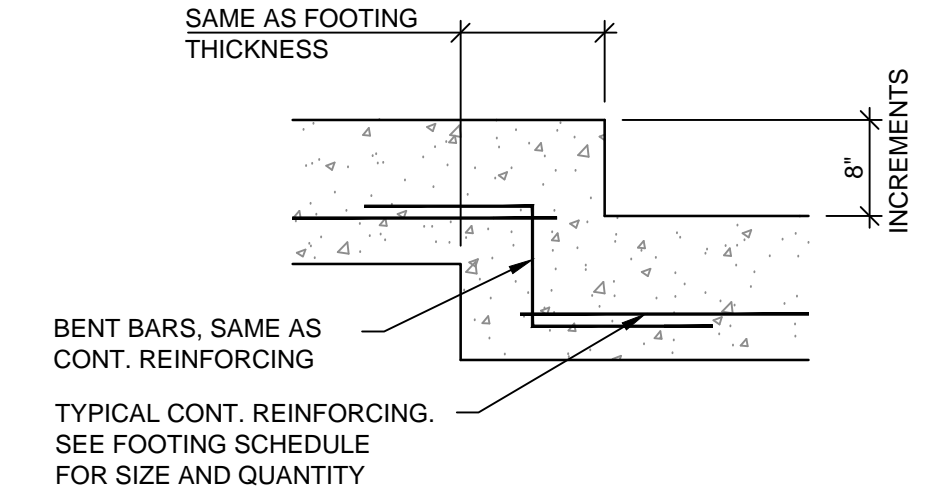
**TYPICAL SAW JOINT (S.J.)**  
SCALE: 3/4"=1'-0"



**TOE FOOTING AT END OF RAMP**  
SCALE: 3/4"=1'-0"

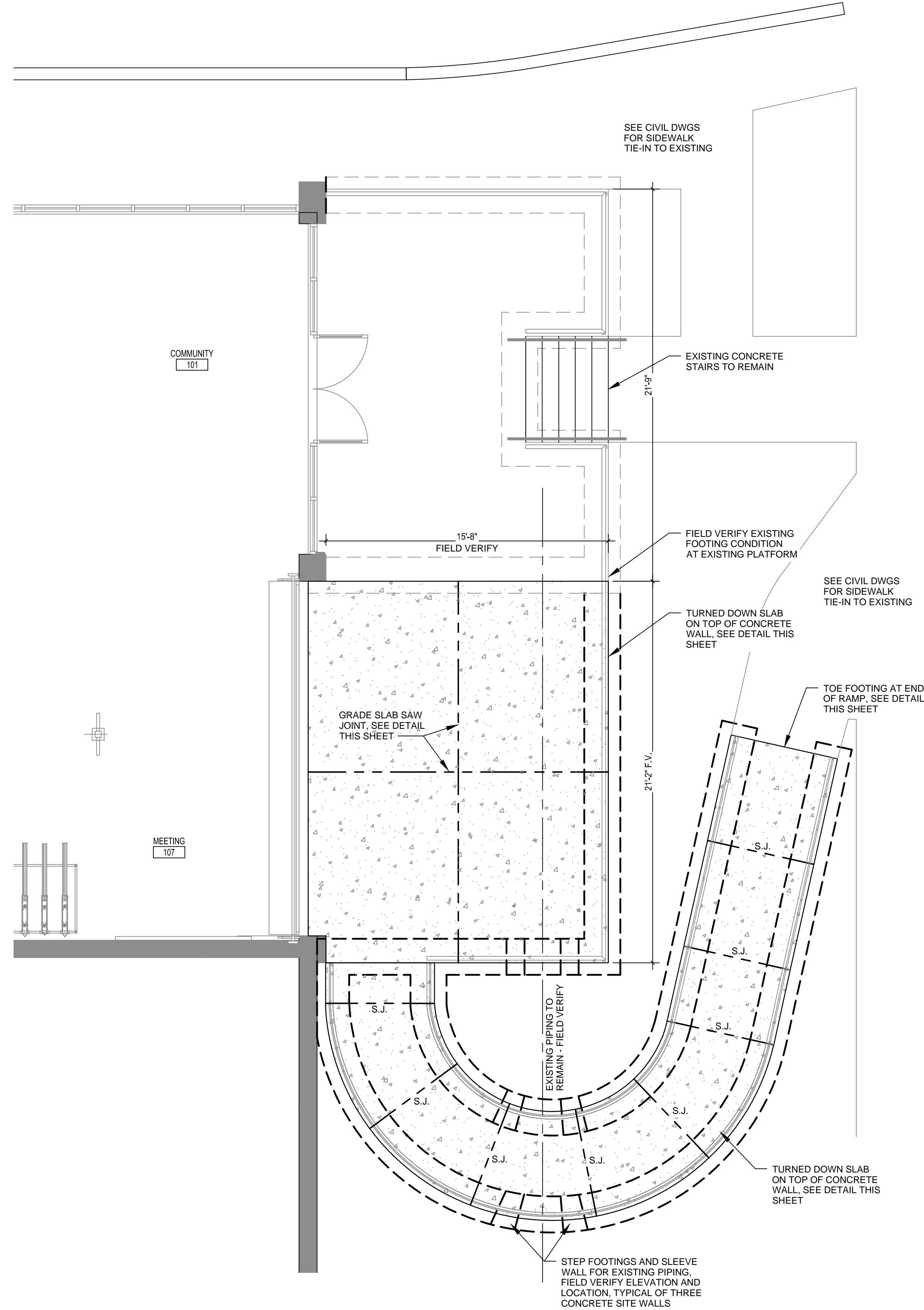


**TYPICAL CONCRETE WALL**  
SCALE: 3/4"=1'-0"



**TYPICAL STEPPED FOOTING DETAIL**  
SCALE: 3/4"=1'-0" 24" MAXIMUM STEP

**FOUNDATION PLAN**  
SCALE: 1/4"=1'-0"



**GARVIN DESIGN GROUP**  
803.212.1074 F  
Columbia, SC 29202  
1209 Lincoln Street P.O. Box 18

**SOUTH CAROLINA REGISTERED PROFESSIONAL ENGINEER**  
No. 17457  
*John A. Mabry*  
**SOUTH CAROLINA REGISTERED PROFESSIONAL ENGINEER**  
MABRY ENGINEERING ASSOCIATES, INC.  
No. C034889

**PROJECT TITLE**  
**BIKE SHOP RAMP**  
1300 Wheat Street  
Columbia, SC 29208  
Project No.: CP00424697

NO.	REVISIONS	DATE

<b>DRAWN BY:</b>	AAS
<b>CHECKED BY:</b>	AAS

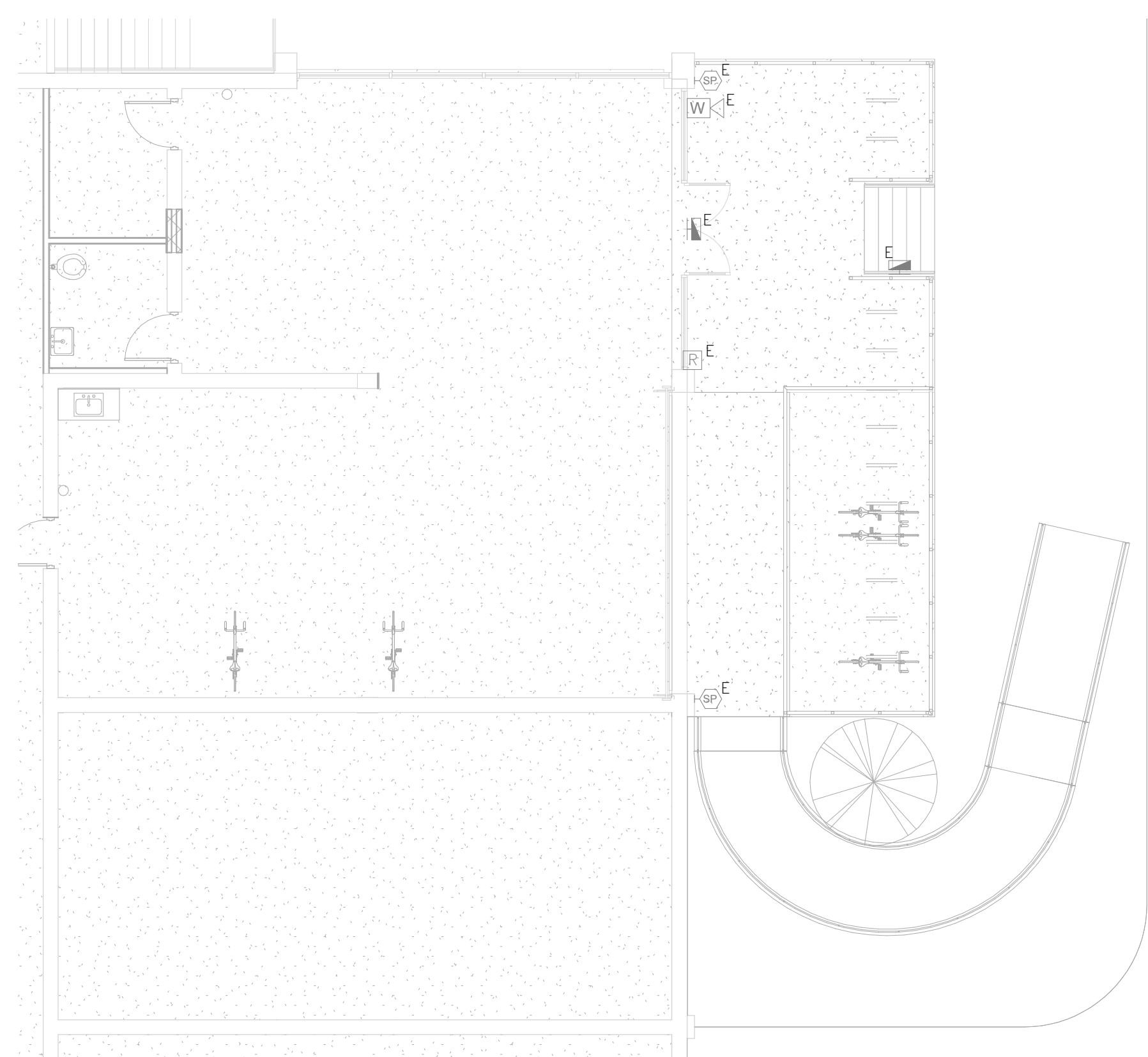
**DRAWING TITLE**  
**FOUNDATION PLAN, NOTES, AND DETAILS**

**PROJECT NO.**  
CP00424697

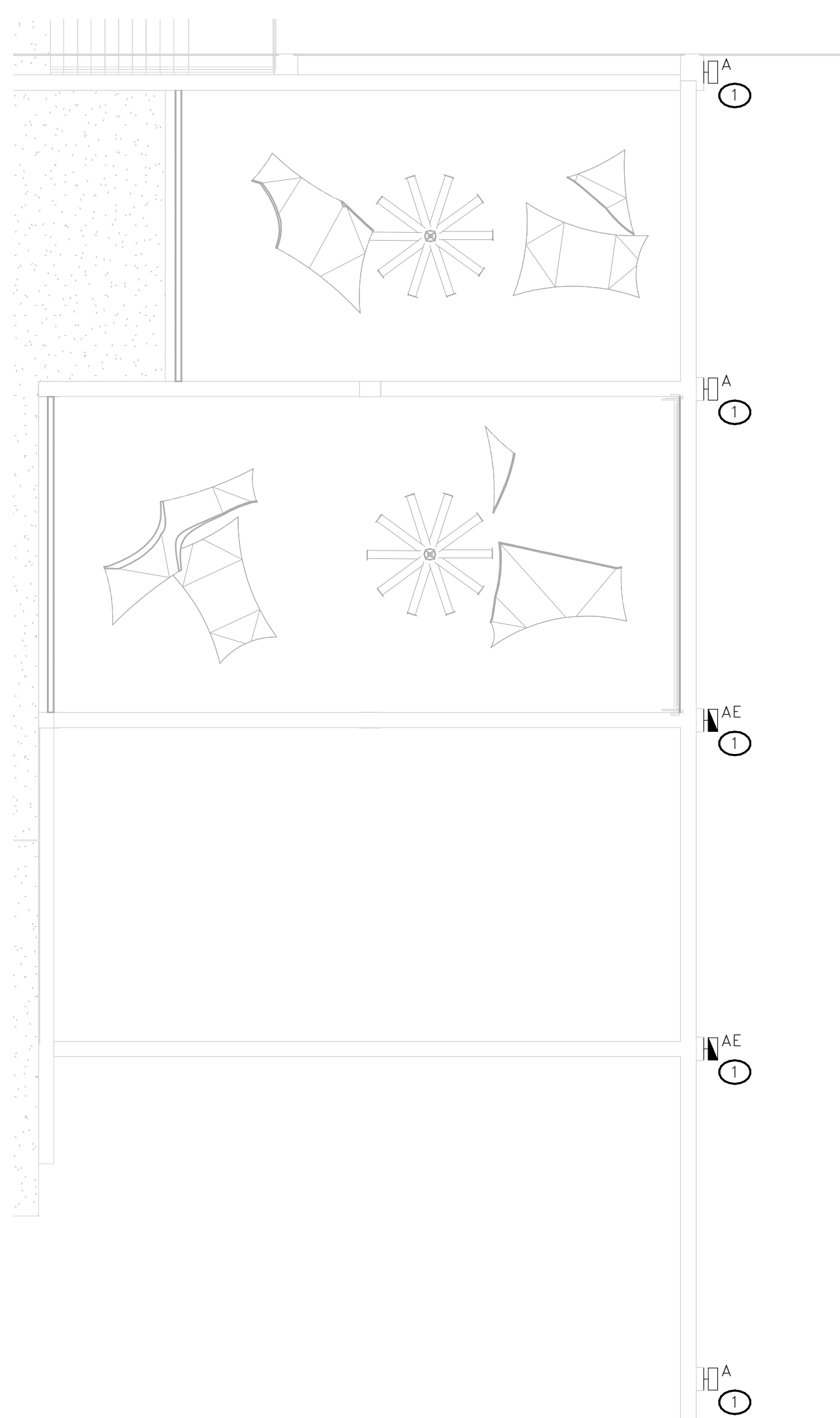
**DATE**  
07.01.16

**DRAWING NO.**  
**S1.1**

**Mabry Engineering Associates, Inc.**  
Structural Engineers  
840 Shull Street  
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West Columbia, SC 29169  
(803) 926-0000  
FAX (803) 926-7800  
MEAG 16-1092



1 FIRST FLOOR ELECTRICAL RENOVATION PLAN  
ER1.1 SCALE: 1/8" = 1'-0"



2 SECOND FLOOR ELECTRICAL RENOVATION PLAN  
ER1.1 SCALE: 1/8" = 1'-0"

ELECTRICAL SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	JUNCTION BOX (WALL MTD)
	SECURITY CARD READER
	CCTV CAMERA (WALL MOUNTED)
	SPEAKER (WALL MOUNTED)
	PANELBOARD (SURFACE MOUNTED)

KEY NOTES

1 EXISTING FIXTURES SHALL BE REMOVED BY ELECTRICAL CONTRACTOR. RETAIN CIRCUIT FOR USE WITH TYPE "A" & "AE" FIXTURES. TYPE "A" & "AE" FIXTURES SHALL BE INSTALLED IN SAME LOCATION AS DEMOLISHED FIXTURES. RE-USE EXISTING CIRCUIT.

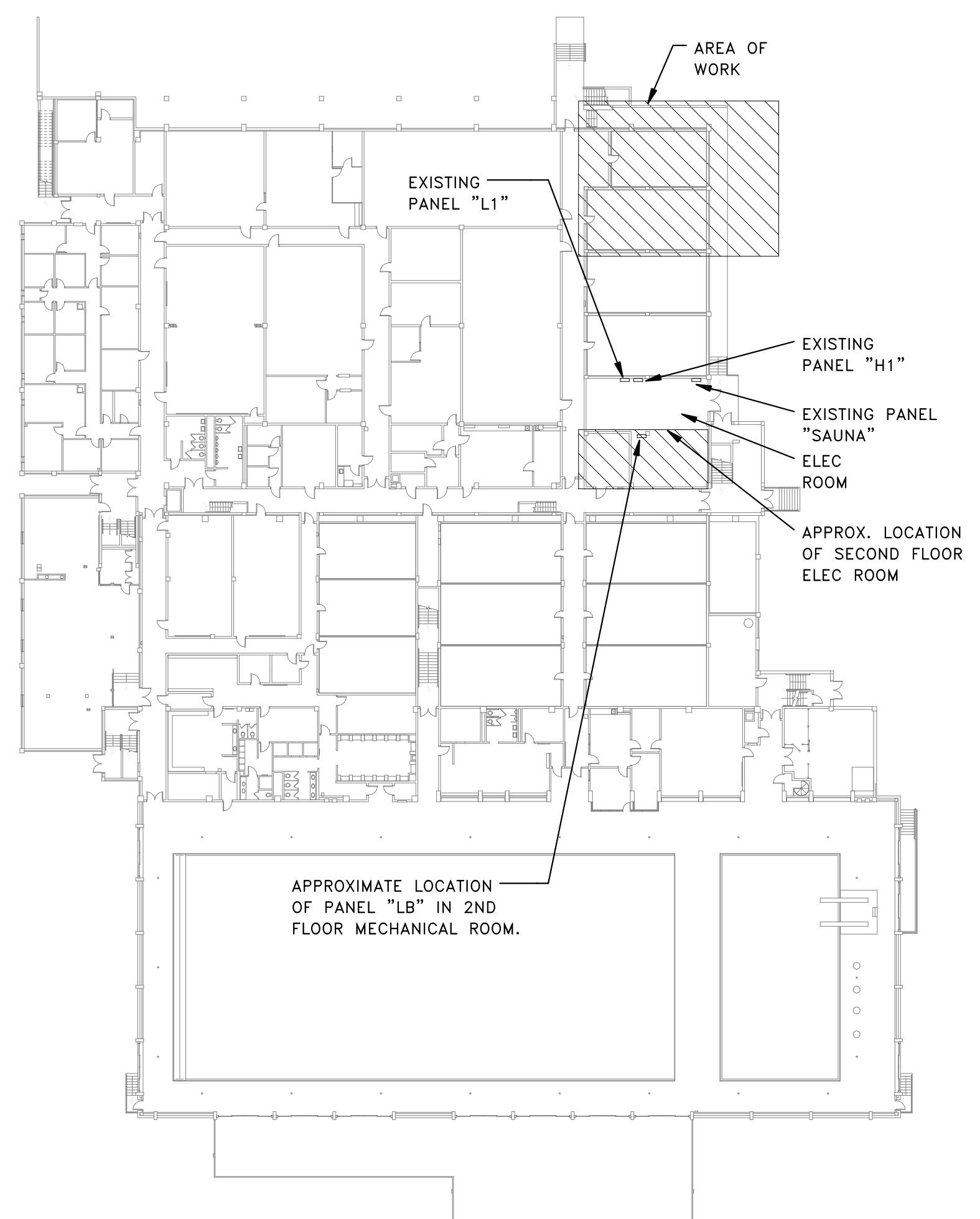
GENERAL NOTES

1 FIELD VERIFY SOURCE OF EXISTING BRANCH CIRCUITS PRIOR TO WORK.

LIGHT FIXTURE SCHEDULE											
SYMBOL	FIXTURE SPECIFICATIONS				LAMPING		ELECTRICAL		MOUNTING	REMARKS	NOTES
	TYPE	DESCRIPTION	MANUFACTURER	CAT. #	NO.	LAMP TYPE	FIXT. LOAD	VOLTS			
	A	LED WALL MOUNT DOWNLIGHT	LIGMAN	UTA-31871-28W-T4-W30-120V/277V-06-F-SCE	-	LED (1987 LUMENS, 3000K)	28	277 V		WALL	
	AE	SAME AS TYPE "A", WITH BATTERY PACK	LIGMAN	UTA-31871-28W-T4-W30-120V/277V-06-F-SCE-EMG	-	LED (1987 LUMENS, 3000K)	28	277 V		WALL	
	E	EXISTING FIXTURE TO REMAIN									

LIGHT FIXTURE SCHEDULE NOTES

- LUMENS LISTED IN SCHEDULE REPRESENT DELIVERED LUMENS OF FIXTURES.
- THREE DIGIT NUMBERS LISTED IN LAMP COLUMN REPRESENT CRI AND COLOR TEMPERATURE. FIRST DIGIT INDICATES MINIMUM CRI AND LAST TWO DIGITS INDICATE COLOR TEMPERATURE. EXAMPLE: 830 INDICATES MINIMUM CRI OF 80 AND A COLOR TEMPERATURE OF 3000K.
- SEE ARCHITECTURAL RCP AND ELEVATIONS FOR EXACT LOCATION AND MOUNTING HEIGHTS.
- CONFIRM QUANTITIES OF FIXTURES SHOWN IN RCP MATCH QUANTITIES SHOWN ON ELECTRICAL PLANS PRIOR TO BID. IF NO DISCREPANCIES ARE NOTED PRIOR TO BID THE HIGHEST QUANTITY OF EACH FIXTURE TYPE SHOWN SHALL BE PROVIDED.
- FOR EACH FIXTURE LISTED IN THE LIGHTING FIXTURE SCHEDULE THE FIRST MANUFACTURER LISTED IS THE BASIS OF DESIGN. MODEL NUMBERS LISTED ARE FOR THE BASIS OF DESIGN MANUFACTURER ONLY. ANY OTHER MANUFACTURER'S LISTED INDICATE THAT THEY MAY BE CONSIDERED AS A PRIOR APPROVED EQUAL. PRIOR APPROVED EQUAL SHALL BE DEFINED AS THE ABILITY TO PROVIDE AN EQUAL FIXTURE TO THE BASIS OF DESIGN.
- CONTRACTORS MAY SUBMIT PROPOSED EQUALS FOR ANY FIXTURES LISTED TO ENGINEER FOR REVIEW 10-DAYS PRIOR TO BID.



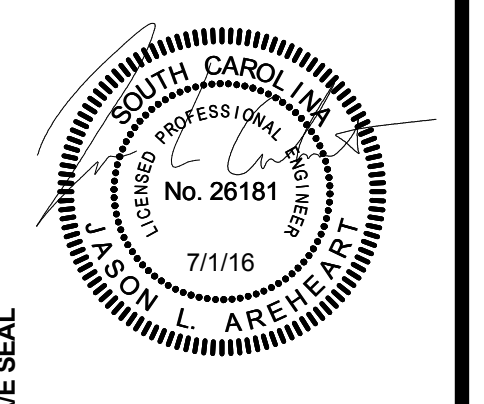
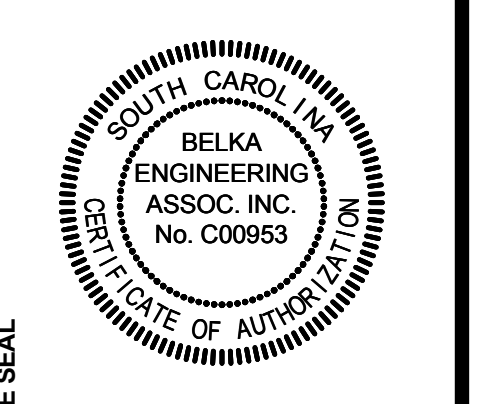
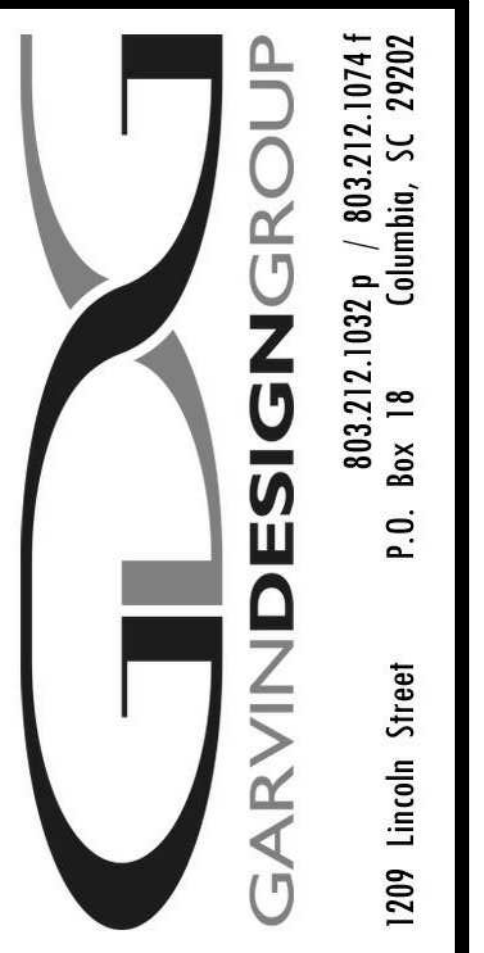
4 KEYPLAN  
ER1.1 SCALE: NOT TO SCALE

**DEMOLITION/RENOVATION NOTATION**  
IF NO ANNOTATION IS SHOWN ASSUME EXISTING TO REMAIN IN PLACE FOR SOLID LINES AND DEMOLISH FOR DASHED LINES. DEVICES AND EQUIPMENT NOT SHOWN SHALL BE ASSUMED TO BE EXISTING TO REMAIN IN PLACE.  
E EXISTING FIXTURE OR DEVICE TO REMAIN IN PLACE. REPLACE ANY BROKEN DEVICES OR PLATES; COLOR TO MATCH EXISTING.  
R EXISTING FIXTURE OR DEVICE TO BE REMOVED BY THE ELECTRICAL CONTRACTOR. MAINTAIN CONTINUITY OF REMAINING PORTIONS OF BRANCH CIRCUIT.  
RE EXISTING DEVICE TO BE REMOVED BY THE ELECTRICAL CONTRACTOR. EXISTING CIRCUIT SHALL BE RETAINED. PROVIDE NEW DEVICE AS SHOWN ON RENOVATION PLANS.  
RN RELOCATED FIXTURE (NEW LOCATION).  
RR EXISTING FIXTURE TO BE RELOCATED BY THE ELECTRICAL CONTRACTOR TO NEW LOCATION SHOWN ON RENOVATION PLAN.

#	ELECTRICAL DRAWING INDEX SHEET NAME
ER1.1	BIKE RAMP ELECTRICAL PLANS



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PROJECT TITLE  
**BLATT PE CENTER - BIKE SHOP RAMP**  
1300 Wheat Street  
Columbia, SC 29208  
Project No.: CP00424697

NO.	REVISIONS	NAME	DATE

DRAWN BY: JJA  
CHECKED BY: JJA  
DATE: 07.01.18

DRAWING TITLE  
**BIKE RAMP ELECTRICAL PLANS**

PROJECT NO.: CP00424697  
DATE: 07.01.18  
DRAWING NO.: **ER1.1**

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