

Compass 5 Partners, LLC
1329 State Street Cayce, SC 29033
803 765 0838 compass5partners.com

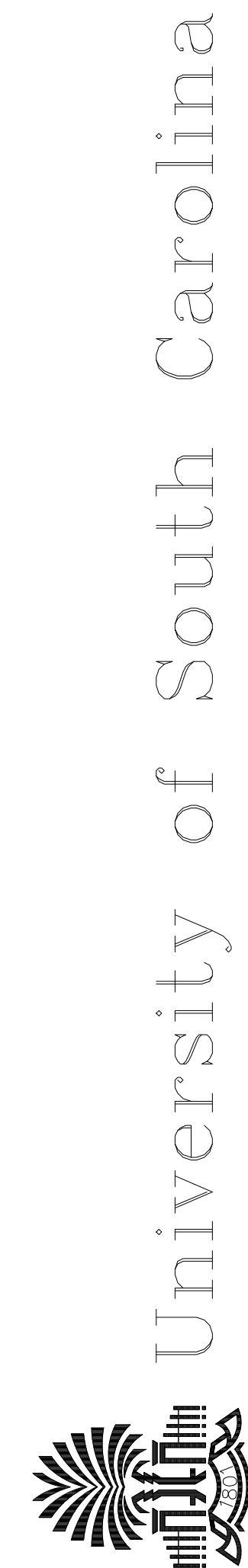


FIRE PROTECTION			
Swygert & Associates		1315 State Street Cayce, South Carolina 29033	803-791-9300 office
SHEET No.	DESCRIPTION		
FP100	FLOOR PLANS AND NOTES		

MECHANICAL			
Swygert & Associates		1315 State Street Cayce, South Carolina 29033	803-791-9300 office
SHEET No.	DESCRIPTION		
M100	FLOOR PLANS, NOTES, SCHEDULE, AND LEGEND		

ELECTRICAL			
Belka Engineering		1331 Elmwood Avenue, Suite 200 Columbia, South Carolina 29201	803-254-6302 office
SHEET No.	DESCRIPTION		
E101	ELECTRICAL PLANS		

PLUMBING			
Swygert & Associates		1315 State Street Cayce, South Carolina 29033	803-791-9300 office
SHEET No.	DESCRIPTION		
P100	FLOOR PLANS, DETAILS, NOTES, SCHEDULE, AND LEGEND.		



FY16 - E&GMR - Capstone Lobby - ADA Restroom
Columbia, SC H27-Z289 CP50003071

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Project Number:	16UM41
REVISONS	
COVER SHEET & INDEX	
Date:	5.23.16
Drawn:	IAP
Checked:	MEC
G000	

TABLE 5.6-1. DESIGN CODES AND STANDARDS

PROJECT DESIGNED IN ACCORDANCE WITH:

1. International Existing Building Code, 2012 Edition.

2. International Building Code, 2012 Edition.

3. International Energy Conservation Code, 2009 Edition.

4. International Fire Code, 2012 Edition.

5. International Fuel Gas Code, 2012 Edition.

6. International Mechanical Code, 2012 Edition.

7. International Plumbing Code, 2012 Edition.

8. National Electrical Code, NFPA 70, 2011 Edition

9. National Electrical Safety Code, IEEE-C2-2012 Edition.

11. State Fire Marshal Regulations, latest revision

12. ASHRAE/IESNA 90.1, Energy Standard for Buildings except Low-Rise Residential Buildings 2001 Edition.

13. ICC/ANSI-A117.1-2009, Accessible and Usable Buildings and Facilities.

TABLE 5-3 BASIC BUILDING CODE INFORMATION

CONSTRUCTION CLASSIFICATION	Type 1-B Assumed from review of original documents	(IBC 602)		
OCCUPANCY GROUP (indicate all) (Note IBC 506.5)	R-2(Highrise) Upper Floors 1st Floor A-2, A-3, B.	(IBC 302)		
OCCUPANCY GROUP (indicate most restrictive)	A-3	(IBC 503)		
Does building require Incidental Use Area Separation?	<input type="checkbox"/> no <input checked="" type="checkbox"/> yes	(IBC 509.1) Laundry (Sprinklered)		
Does building have accessory Occupancy (ies)? What percent of story is accessory occupancy?	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes	(IBC 508.2) ----SF ----%		
Mixed Occupancy	<input type="checkbox"/> no <input checked="" type="checkbox"/> yes	(IBC 508)		
Non Separated	<input type="checkbox"/> no <input checked="" type="checkbox"/> yes	(IBC 508.3)		
Separated	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes	(IBC 508.4) (IBC 506.5)		
OTHER FIRE PROTECTION SYSTEMS, DEVICES or FEATURES If the building has any special or notable fire protection or safety feature or hazard the designers should list them here, describe the performance characteristics and refer to location in construction documents. (e.g. fire extinguishers, smoke - evacuation/control/compartments. Note IBC 414.1.3.) NFPA 13 Sprinkler				
TABLE 5-4 BUILDING AREA				
AREA LIMIT BY TABLE 503 OF IBC (Do not indicate increases for sprinklers & street frontage.)	UL SF (area limitation per story)			
AREA MODIFICATION FROM EQUATION 5-1 OF IBC (Insert equation from IBC 506.1 with completed calculations in this box) (Equation 5-1) Aa = At + [At x If] + [At x Is] Aa = Allowable area per story (square feet) At = Tabular area per story in accordance with Table 503 If = Area increase factor due to frontage (percent) as calculated in accordance with Section 506.2. Is = Area increase due to sprinkler protection as calculated in accordance with Section 506.3 (Repeat equation for each story of differing occupancies, IBC 506.5.2)	Existing SF (maximum modified area per story)			
Total Allowed Area of Building (summary of all stories)	UL SF			
AREA AS DESIGNED PER STORY (Repeat for each story)	2-18: 8,161 SF Existing 1: 30,757 SF Existing B: 7,780 SF Existing			
Total Designed Area of Building	177,274 SF Existing			
TABLE 5-5 BUILDING HEIGHT				
	AS DESIGNED In Feet	In Stories	AS ALLOWED BY IBC In Feet	In Stories
With any Allowable Increase (per IBC Table 503)	159.33 Existing	18 Existing	160	11
Allowable Height Increase (per IBC 504.2)	N/A	N/A	20	1
Total Height including any Allowable Increase	159.33 Existing	18 Existing	180	12

TABLE 5-7 GENERAL FIRE PROTECTION REQUIREMENTS

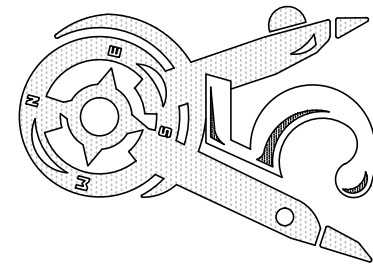
SEPERATIONS

Fireblocking Required	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes	per IBC Section 718		
Draftstopping Required	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes	per IBC Section 718		
Smoke Control System Required	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes	per IBC Section 909		
Smoke Barriers Required	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes	per IBC Section 407 and 408		
Smoke Partition Required	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes	per IBC Section 407 and 408		
Fire Partition Required	<input type="checkbox"/> no <input checked="" type="checkbox"/> yes	per IBC Section 708		
Fire Barrier Required	<input type="checkbox"/> no <input checked="" type="checkbox"/> yes	per IBC Section 707		
ALARM & DETECTION				
Fire Alarm System Required	<input type="checkbox"/> no <input checked="" type="checkbox"/> yes	per IFC Section 907		
Emergency Alarm System Required	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes	per IFC Section 908		
SUPPRESSION				
Standpipes Required	<input type="checkbox"/> no <input checked="" type="checkbox"/> yes	per IFC Section 905		
Sprinklers Required	<input type="checkbox"/> no <input checked="" type="checkbox"/> yes	per IFC Section 903		
Sprinklers Provided	<input type="checkbox"/> no <input checked="" type="checkbox"/> yes	per NFPA 13		
Portable extinguishers required	<input type="checkbox"/> no <input checked="" type="checkbox"/> yes	per IFC 906		
Other suppression systems required	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes	per IFC 904		
Smoke & heat vents required	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes	per IFC 910		
Other: (Indicate other provided fire and life safety features not listed above, if any)				
TABLE 5-8 FIRE RESISTANCE RATING OF BUILDING ELEMENTS				
BUILDING ELEMENT	Rating As Required (in hours)	Rating As Designed (in hours)	Testing Agency & Design No. (UL,FM,etc)	Designers Wall/Partition Key Code
Structural Frame (per IBC Table 601)	2	Existing		*
Bearing Walls Exterior Interior (per IBC Table 601)	2 2	Existing Existing		*
Nonbearing Walls & Partitions Exterior Interior (per IBC Table 601 & 602) Note: footnote "e" from table 601	0 0	Existing Existing		*
Floor Construction including supporting beams & joists (per IBC Table 601)	2	Existing		*
Roof Construction including supportin beams & joists (per IBC Table 601)	1	Existing		*
Fire Walls (per IBC Table 706)	N/A	N/A		*
Fire Barriers (per IBC Table 707)	1	Existing		*
Shaft Enclosures (per IBC Table 713)	2	Existing		* N/A
Fire Partitions (per IBC Table 708)	N/A	N/A		*
Openings & Protective Listing by Category (fire shutters, doors, etc. per IBC Section 716) Others (as required by Designer)	1/2 1 1/2, 3/4	Existing	UL	* N/A
* ALL REQUIRED FIRE PROTECTION ASSEMBLIES OUTSIDE THE SCOPE OF THE PROJECT				
TABLE 5-10 PLUMBING INFORMATION				
WATER SYSTEM EXISTING				
Service Line Size 6"				
Peak GPM 240				
Total Demand No. Fixture Units 1280				
SANITARY SEWER SYSTEM EXISTING				
Loading GPD EXISTING 50 GPD/RESIDENT				
Service Line Size Inches EXISTING 8"				
Slope min inches/ft EXISTING 1/8"/FT				
MINIMUM PLUMBING FIXTURES REQUIRED/PROVIDED (LOBBY ONLY)			per IPC Section 403 & Table 403.1	
	Male-Required	Male-Provided	Female-Required	Female-Provided
Water Closets	N/A	EXIST	N/A	EXIST
Lavatories	N/A	EXIST	N/A	EXIST
Unisex	1 Required		2 Provided	
OTHER FIXTURES	Required	Provided	per IPC Section 403 & Table 403.1 In Lobby Only	
Drinking Fountains	1	1		
Unisex toilet	0	1		
Service Sink	N/A	N/A		
Other (list)				
NOTES				
1. THE SCOPE OF THIS PROJECT INCLUDES THE ADDITION OF ONE BATHROOM IN FIRST FLOOR LOBBY.				

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STATE OF SOUTH CAROLINA

COMPASS 5 PARTNERS, LLC

Columbia, SC

C-100254

REGISTERED ARCHITECTS

STATE OF SOUTH CAROLINA

HANSEN

05-23-16

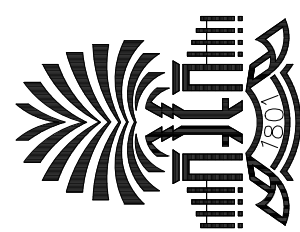
SANUZZARO

Columbia, SC

6798

REGISTERED ARCHITECT

University of South Carolina



FY16 - E&GMR - Capstone Lobby - ADA Restroom

50003071 Columbia, SC

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Project Number: 16UM41

REVISIONS

CODE REVIEW

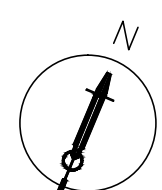
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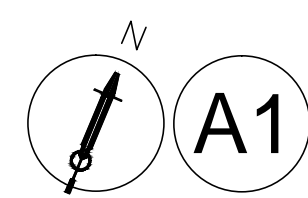
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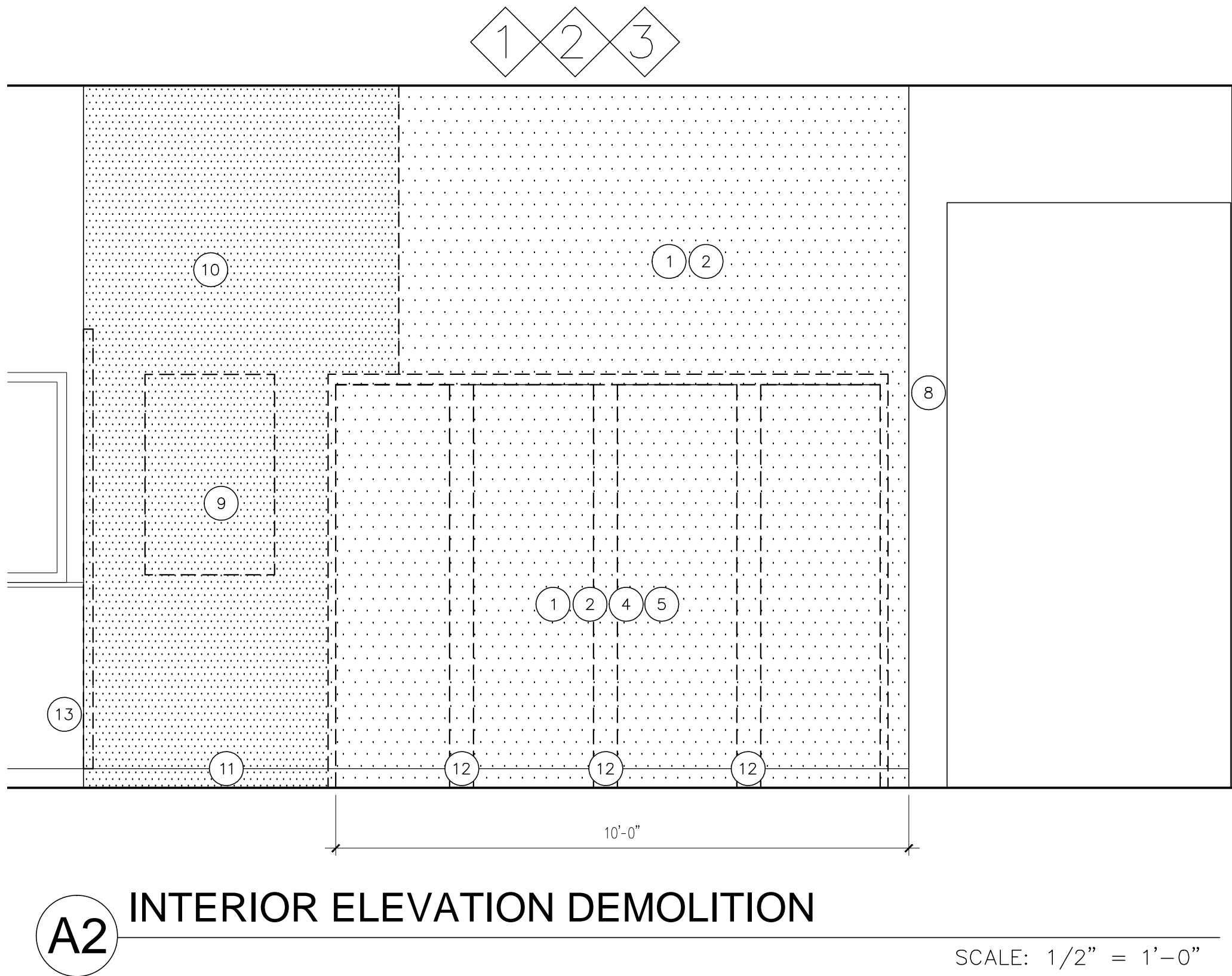
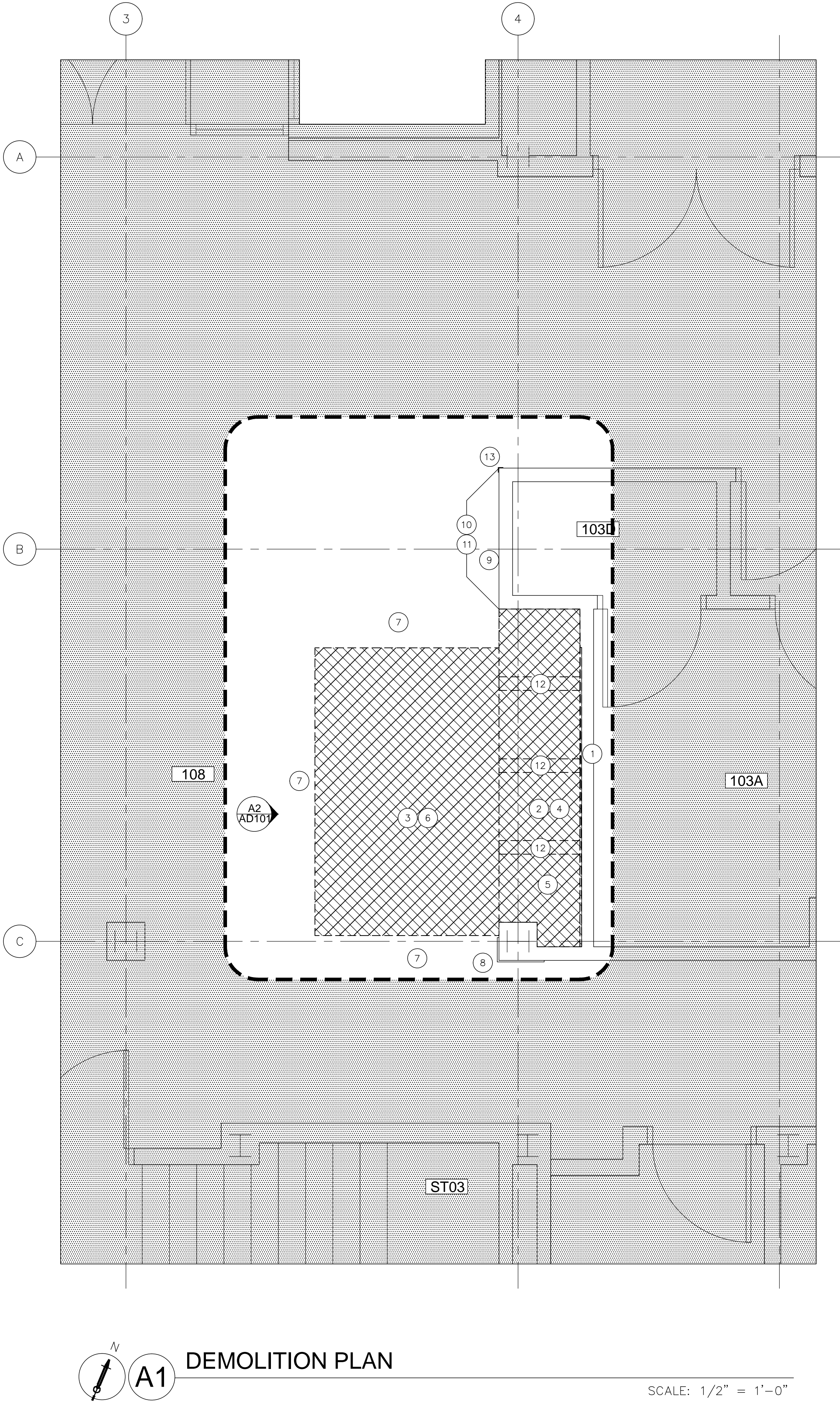
SCALE: 1/8" = 1'-0"

G100



SCALE: $1/8" = 1'-0"$

Date:	5.23.16	G200
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KEYED DEMOLITION NOTES

- EXISTING WALL FINISHES REMOVED BY USC TO EXISTING STUDS/MASONRY BLOCK BEYOND.
- REMOVE EXISTING SOFFIT SUPPORT FRAMING COMPLETE. DRYWALL TO BE REMOVED BY USC.
- REMOVE EXISTING ACOUSTICAL CEILING TILE, GRID, HANGERS, AND ACCESSORIES COMPLETE. COORDINATE SALVAGEABLE FIXTURES, SEE ELECTRICAL AND MECHANICAL.
- MILLWORK, COUNTERTOP, SHELVING ETC. REMOVED BY USC.
- ALL WALL APPURTENANCES AND/OR RECESSED WALL ITEMS REMOVED BY USC.
- PORTION OF FINISH FLOORING REMOVED BY USC. COORDINATE WITH USC.
- EXISTING FINISH CEILING TO REMAIN IN LOBBY. REMOVE CEILING AS REQUIRED TO INSTALL NEW PARTITIONS. COORDINATE EXTENT OF REMOVAL WITH RENOVATION DRAWINGS.
- PROTECT EXISTING WOOD PANEL WALL WITH RAM BOARD AND 20 MIN PLASTIC.
- USC TO REMOVE EXISTING TV AND BRACKET PRIOR TO ABATEMENT. STORE FOR REINSTALLATION REFER TO MEP FOR MORE INFORMATION.
- EXISTING WALL COVERING FROM CORNER TO CORNER REMOVED BY USC.
- EXISTING WALL BASE FROM CORNER TO CORNER REMOVED BY USC.
- REMOVE EXISTING METAL WALL FRAMING. METAL SILL TRACK AND FLOOR FASTENERS TO REMAIN. COORDINATE WITH USC TO REMOVE SILL TRACK, FASTENERS AND VCT UNDER WALL AFTER WALL FRAMING IS REMOVED.
- EXISTING CORNER GUARD REMOVED BY USC.

COORDINATION WITH USC
ABATEMENT DEMOLITION
CONTRACTOR

- GC TO COORDINATE ACCESS WITH USC ABATEMENT CONTRACTOR FOR REMOVAL OF ACM FLOOR MATERIAL AND ANY OTHER HAZARDOUS MATERIALS.
- GYPSUM WALL BOARD, APPLIED FINISHES, MILLWORK, SHELVING AND APPURTENANCES ON GYPSUM WALLBOARD THAT IS NOTED TO BE REMOVED WILL BE DONE BY USC IN ADVANCE IF COMMENCEMENT OF JOB.
- GC SCHEDULE AND WORK PLAN SHALL ALLOW FOR USC ABATEMENT CONTRACTOR PERFORM HAZARDOUS MATERIAL DEMOLITION AS REQUIRED.

PROTECTION OF EXISTING

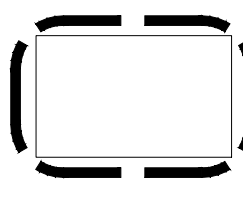
GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN RAM BOARD PANELS AND 6 MIL POLY BARRIER COMPLETE THROUGHOUT ALL CONTRACTOR ACCESS ROUTES, PATHWAYS TO TOILET, ACCESS TO DUMPSTER, ALONG CORRIDORS, AND ALL OTHER AREAS AFFECTED DURING DEMOLITION AND CONSTRUCTION. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT OF ALL EXISTING MATERIALS DAMAGED BY WORK PERFORMED IN THE SCOPE OF THIS PROJECT.

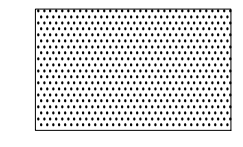
GENERAL DEMOLITION NOTES

- BEFORE BEGINNING CONSTRUCTION OR DEMOLITION, THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY EXISTING CONDITIONS, COMPARE RESULTS WITH INFORMATION GIVEN IN THE CONTRACT DOCUMENTS AND REPORT INCONSISTENCIES TO THE OWNER & ARCHITECT IMMEDIATELY.
- THE EXTENT OF DEMOLITION INDICATED IS BASED ON RECORD DRAWINGS PROVIDED BY THE OWNER AND FIELD OBSERVATIONS. ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE INDICATED ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT AS SOON AS DISCREPANCIES ARE DISCOVERED.
- THIS DRAWING SHOWS THE GENERAL EXTENT OF DEMOLITION TO BE PERFORMED. ALL ITEMS DASHED ARE TO BE REMOVED COMPLETE, EVEN IF REMOVAL EXTENDS BEYOND THE DESIGNATED SPACE AND/OR PROJECT BOUNDARY. CONTRACTOR SHALL INCLUDE ALL DEMOLITION, CUTTING AND PATCHING REQUIRED FOR NEW CONSTRUCTION. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION PLANS FOR ADDITIONAL ITEMS TO BE REMOVED OR RELOCATED.
- REFER TO FIRE PROTECTION, MECHANICAL, ELECTRICAL, AND PLUMBING FOR DEMOLITION AND COORDINATION.
- REFER TO PROJECT MANUAL FOR SITE ACCESS, DEBRIS REMOVAL AND SAFETY PRECAUTIONS.
- REFER TO PROJECT MANUAL FOR OWNER REQUIREMENTS FOR UTILITY OUTAGES. CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL INTERRUPTION OF UTILITIES AND/OR DAILY OPERATIONS WITH THE OWNER IN WRITING.
- DEMOLITION WORK WHICH REQUIRES ACCESS TO OCCUPIED SPACES OUTSIDE OF THE PROJECT AREA SHALL BE SCHEDULED WITH THE OWNER. REFER TO PROJECT MANUAL FOR WRITTEN NOTICE REQUIREMENTS.
- THE OWNER WILL ABATE OR CONTAIN KNOWN ASBESTOS CONTAINING MATERIALS IN THE WORK AREA PRIOR TO COMMENCEMENT OF THIS WORK. CONTRACTOR SHALL NOT DISTURB FIRE PROOFING ON EXISTING STRUCTURAL MEMBERS THAT HAS A CONTAINMENT MEMBRANE INSTALLED.
- IF THE CONTRACTOR ENCOUNTERS MATERIAL BELIEVED TO BE ASBESTOS OR LEAD, WORK SHALL IMMEDIATELY STOP IN THE AFFECTED AREA. THE CONDITION SHALL BE IMMEDIATELY REPORTED TO THE OWNER AND ARCHITECT IN WRITING. WORK IN THE AFFECTED AREA SHALL NOT BE RESUMED EXCEPT BY WRITTEN AGREEMENT BETWEEN THE OWNER AND CONTRACTOR IF THE MATERIAL IN QUESTION IS ASBESTOS OR LEAD AND HAS NOT BEEN DECLARED HARMLESS.
- THE CONTRACTOR SHALL INSPECT BOTH SIDES OF EXISTING WALLS, CEILINGS AND FLOOR ASSEMBLIES AND REPAIR/REPLACE AS REQUIRED TO MAINTAIN EXISTING RATINGS. REFER TO G100 LIFE SAFETY PLAN FOR LOCATIONS OF RATED WALLS AND SMOKE RESISTIVE CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE NEW OPENINGS IN EXISTING WALLS OR FLOORS WITH APPLICABLE FIRE PROTECTION, ABATEMENT DEMOLITION, ELECTRICAL, MECHANICAL, PLUMBING, EQUIPMENT AND/OR PIPING DRAWINGS.
- THE CONTRACTOR IS TO SEAL ALL HOLES LEFT AFTER REMOVAL/REPLACEMENT OF PIPES, CONDUITS AND DUCTS ETC. WITH MATERIALS TO MATCH EXISTING CONSTRUCTION AND SEALANTS.
- ALL REMAINING MATERIALS ADJACENT TO AREAS OF DEMOLITION ARE TO BE LEFT NEATLY PATCHED, PAINTED AND REPAIRED TO MATCH EXISTING FINISHES. NOTE: FINISHES NEED TO EXTEND TO A LOGICAL STOPPING POINT (I.E. CORNER, EDGE OF WALL, FLOOR, CEILING ETC).
- WHERE EXISTING WALL OR FLOOR SYSTEMS ARE TO REMAIN AND ARE DISTURBED BY DEMOLITION, THEY SHALL BE REPAIRED AS REQUIRED TO MATCH ORIGINAL INTEGRITY AND ADJACENT CONSTRUCTION.
- ITEMS TO BE REMOVED OF SALVAGEABLE VALUE ARE TO REMAIN THE PROPERTY OF THE OWNER TO BE DISPOSED OF AT THEIR DISCRETION. ANY SALVAGEABLE ITEMS GIVEN TO THE CONTRACTOR MUST BE REMOVED FROM THE SITE. ITEMS TO REMAIN THE PROPERTY OF THE OWNER SHALL BE STORED ON-SITE BY THE CONTRACTOR AS DIRECTED BY THE OWNER.
- INTERIM FIRE-STOPPING IS TO BE PROVIDED FOR ALL ABANDONED OR NEWLY CREATED PENETRATIONS THROUGH THE EXISTING FLOOR SLAB OR STRUCTURAL DECK ABOVE AND SHALL BE MAINTAINED UNTIL PERMANENT FIRE-STOPPING IS IN PLACE. THE LOCATION AND QUANTITY ADDRESSED IN THESE NOTES SHALL BE GENERALLY INFERRED BASED ON THE CONTENT AND EXTENT OF WORK DEPICTED IN THE DRAWINGS AND SPECIFICATIONS.
- EXISTING FIRE-RATED ASSEMBLIES SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THIS PROJECT. REPAIR OF EXISTING HOLES, CRACKS OR OTHER BREACHES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. REPAIRS SHALL CONFORM TO THE APPROPRIATE UL RATED ASSEMBLY CONSISTENT WITH THE REQUIRED RATING IN THE AREA OF CONSTRUCTION AND/OR ADJACENT AREAS.
- ALL EXISTING ITEMS SCHEDULED TO REMAIN (ANY DISCIPLINE) WHICH ARE EXPOSED DUE TO DEMOLITION SHALL BE RELOCATED TO REMAIN COVERED BY FINISHED WORK.
- CONTRACTOR TO REMOVE ALL ABANDONED MATERIALS OR FIXTURES TO INCLUDE UNNECESSARY PIPING, DUCT, WIRING AND/OR CONDUIT COMPLETE, EVEN IF REMOVAL EXTENDS BEYOND THE DESIGNATED SPACE AND/OR PROJECT BOUNDARIES. THE LOCATION AND QUANTITY ADDRESSED IN THESE NOTES SHALL BE GENERALLY INFERRED BASED ON THE CONTENT AND EXTENT OF WORK DEPICTED IN THE DRAWINGS AND SPECIFICATIONS.
- AREAS SHOWING THE REMOVAL OF WALLS SHALL BE PROPERLY SHORED UP IF NECESSARY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING WHICH AREAS ARE TO BE SHORED.
- REMOVE ALL EXISTING APPURTENANCES (TOWEL DISPENSERS, TOILETS ACCESSORIES, HOOKS, GRAB BARS, ETC.) IN THE AREA OF CONSTRUCTION AND TURN OVER TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR WRAPPING AND PROTECTING EXISTING TO REMAIN FINISHES AND RELATED ITEMS COMPLETE.

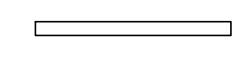
LEGEND



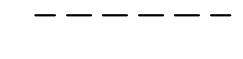
AREA OF RENOVATION



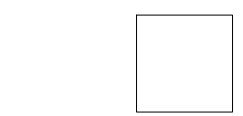
EXISTING AREA NOT IN SCOPE OF WORK
(W/ EXCEPTION OF ACCESS REQUIRED FOR
MEP/INFRASTRUCTURE ACCESS -- REFER TO MEP).



EXISTING WALL CONSTRUCTION



EXISTING CONSTRUCTION TO BE
REMOVED/ALTERED.



EXISTING FLOOR FINISH



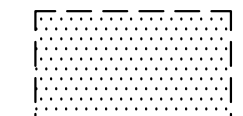
FINISH CEILING/BULKHEAD TO BE REMOVED.
REFER TO KEYED NOTES.



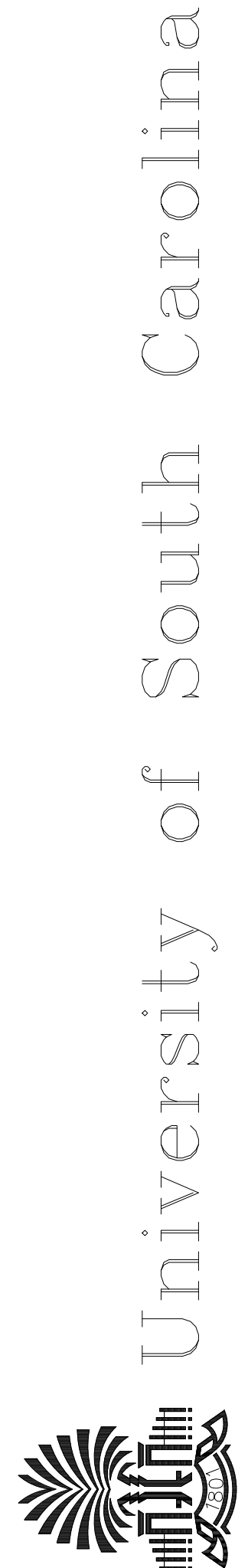
HATCH INDICATES EXISTING FLOOR FINISHES
SCOPE REMOVED BY USC REFER TO KEYED
NOTES FOR ADDITIONAL INFORMATION.



HATCH INDICATES EXISTING WALL COVERING,
WALL BASE & GYPSUM WALL BOARD TO BE
REMOVED BY USC. REFER TO KEYED NOTES
FOR ADDITIONAL INFORMATION.



HATCH INDICATES EXISTING WALL COVERING
& WALL BASE TO BE REMOVED BY USC.
REFER TO KEYED NOTES FOR ADDITIONAL
INFORMATION.



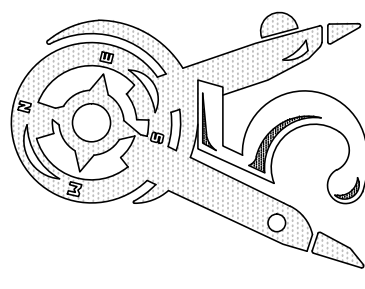
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Project Number: 16UM41

REVISIONS

DEMOLITION
FLOOR PLAN

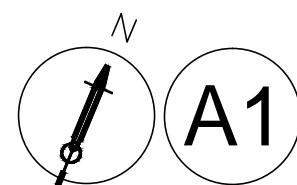
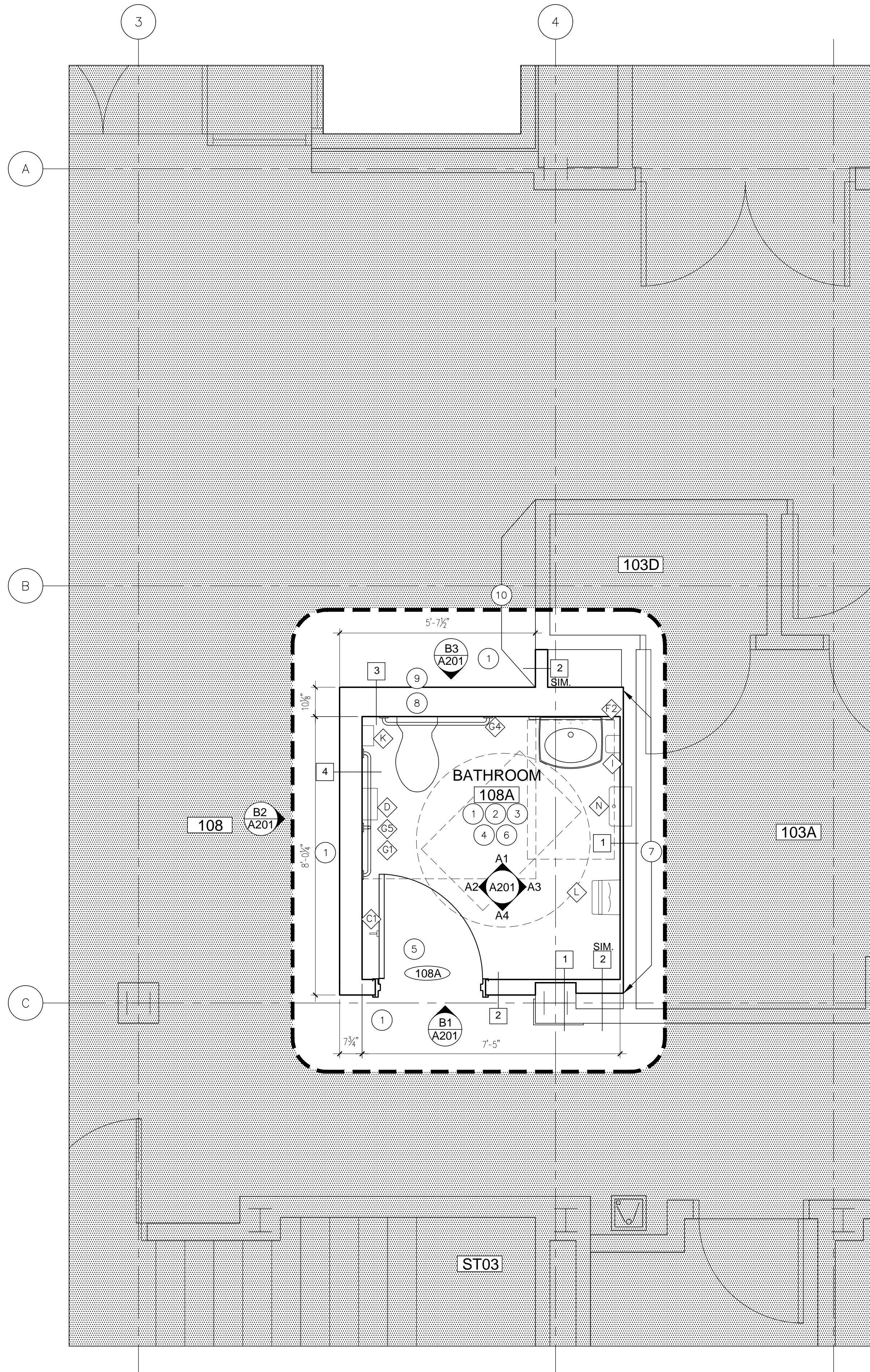
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803 765 0838 compasspartners.com



FY16 - E&GMR - Capstone Lobby - ADA Restroom
50003071 Columbia, SC

AD101



RENOVATION PLAN

SCALE: 1/2" = 1'-0"

1 KEYED RENOVATION NOTES

1. PROVIDE NEW WALL COVERING & TILE WALL FINISHES. PROVIDE NEW GWB AND SUBSTRATES. SEE WALL TYPES. COORDINATE ALL NECESSARY BLOCKING WITH ACCESSORIES, FIXTURES, ETC. SEE FINISH DRAWINGS, ELEVATIONS, AND DETAILS FOR ADDITIONAL INFORMATION.
2. INSTALL NEW TILE FLOOR FINISHES. SEE FINISH DRAWINGS AND PLANS FOR ADDITIONAL INFORMATION.
3. INSTALL NEW ACOUSTICAL CEILING TILE, GRID, HANGERS, AND ACCESSORIES COMPLETE.
4. INSTALL COMPLETE WATERPROOF SUBSTRATE SYSTEM PER MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL WALLS AND FLOORING APPLICATIONS BEHIND TILE. SEE SPECIFICATIONS AND DETAILS FOR ADDITIONAL INFORMATION.
5. INSTALL NEW WOOD DOOR, METAL FRAMES, AND THRESHOLD. REFER TO DOOR SCHEDULE AND FINISH DRAWINGS FOR ADDITIONAL INFORMATION.
6. PROVIDE NEW ACCESSORIES. REFER TO ACCESSORIES LEGEND. PROVIDE 6" WIDE, 16 GAUGE METAL BLOCKING BEHIND ALL WALL MOUNTED ACCESSORIES.
7. EXTEND EXISTING PARTITIONS TO DECK ALONG NEW BATHROOM WALLS.
8. PROVIDE CLEARANCE FOR HORIZONTAL ADJUSTABLE CARRIER. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
9. REINSTALL EXISTING TV AND BRACKET AT NEW LOCATION. PROVIDE BLOCKING.
10. PROVIDE WALL COVERING AND WALL BASE FROM CORNER TO CORNER.

ALTERNATE #1

1. DELETE HAND DRYER REFER TO ELECTRICAL SHEET E101.

ALTERNATE #2

1. DELETE WALL COVERING INSIDE BATHROOM
2. DELETE ALL DECORATIVE WALL TILE.
3. PROVIDE PAINT FINISH 6' HEIGHT CERAMIC TILE.

SEE A101, A201, A701 FOR WORK INCLUDED IN THIS ALTERNATE. SEE SPECIFICATIONS

GENERAL RENOVATION NOTES

- A. PROVIDE A MINIMUM 16 GAUGE SHEET METAL BLOCKING FOR ALL WALL MOUNTED CABINETS, SHELVES, EQUIPMENT, ACCESSORIES, SOAP DISPENSERS, PAPER TOWEL DISPENSERS, TOILET PARTITIONS AND RELATED ITEMS. COORDINATE WITH OWNER AND ARCHITECT FOR ALL SUPPLEMENTARY BLOCKING.
- B. CONTRACTOR TO COORDINATE WITH ALL EQUIPMENT VENDORS. FOR ALL LOCATIONS OF BOXES, PIPES, CONDUITS, ETC. PRIOR TO COMMENCING WORK.
- C. COMPLETELY PATCH, TRIM, BRUSH, REPAIR, AND REFINISH ANY DAMAGED OR IMPERFECT COLUMNS, SURFACES, OR SIMILAR CONDITIONS AFFECTED PRIOR TO, DURING, OR AS A RESULT OF CONSTRUCTION OR DEMOLITION.
- D. VERIFY EXISTING DIMENSIONS, CONDITIONS, AND CLEARANCES PRIOR TO THE SUBMISSION OF SHOP DRAWINGS.
- E. SEE FLOOR FINISH PLAN AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- F. COORDINATE RENOVATION WITH ABATEMENT, FIRE PROTECTION, PLUMBING, MECHANICAL, AND ELECTRICAL DOCUMENTS.
- G. EXISTING STRUCTURAL COLUMNS, BEAMS, FLOORS, AND FRAMING TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION UNLESS OTHERWISE NOTED.
- H. REFER TO SHEET G100 FOR PARTITION TYPES, PARTITION DIMENSIONS, NOTES AND DETAILS.
- I. REFER TO SHEET A201 FOR STANDARD MOUNTING HEIGHTS.
- J. REFER TO INTERIOR ELEVATIONS AND FINISH PLANS FOR EXTENT OF TILE INSTALLATION.

A TOILET ROOM ACCESSORIES

1. BASIS OF DESIGN IS BOBRICK EXTRA HEAVY DUTY ACCESSORIES UNLESS NOTED OTHERWISE.
2. PENETRATIONS THROUGH THE WATERPROOF WALLS REQUIRE KERDI-FIX PLUG. INSTALL PER MANUFACTURERS INSTALLATION INSTRUCTIONS. COORDINATE WITH TILE INSTALLER.
3. SEE ELEVATIONS FOR DIMENSIONED LOCATIONS, ADDITIONAL INFORMATION AND MOUNTING HEIGHTS.

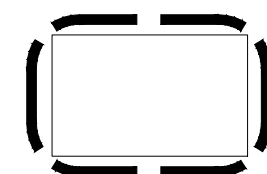
TAG	FURNISH/INSTALL	DESCRIPTION
A	CFCI	NOT USED
B	CFCI	NOT USED
C1	CFCI	(1) B-6727 DOUBLE ROBE HOOK
C2	CFCI	NOT USED
D	OFCI	4217 CASCADES TOILET TISSUE DISPENSER
E1	CFCI	NOT USED
E2	CFCI	NOT USED
F1	CFCI	NOT USED
F2	CFCI	B-290 18X36 PLATE MIRROR WITH WM1, WM2 AND CT2
G1	CFCI	B-5806 X 18 ACCESSIBLE GRAB BAR
G2	CFCI	NOT USED
G3	CFCI	NOT USED
G4	CFCI	B-5806 X 36 ACCESSIBLE GRAB BAR
G5	CFCI	B-5806 X 42 ACCESSIBLE GRAB BAR
H	OFOI	NOT USED
I	OFCI	GOJO 1919-04 LTX 12" SOAP DISPENSER BCK/CRM WITH BLK SHIELD 1045-BLK-12
J	CFCI	NOT USED
K	CFCI	B-270 SURFACE MOUNTED SANITARY NAPKIN DISPOSAL
L	CFCI	DYSON AIR BLADE AB14 dB HAND DRYER, ADA COMPLIANT
M	CFCI	NOT USED
N	OFCI	GA. PACIFIC 59466 RECESSED PAPER TOWEL DISPENSER
O	CFCI	NOT USED
P	CFCI	NOT USED
Q	CFCI	NOT USED

PROTECTION OF EXISTING

GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN RAM BOARD PANELS AND 6 MIL POLY BARRIER COMPLETE THROUGHOUT ALL CONTRACTOR ACCESS ROUTES, PATHWAYS TO TOILET, ACCESS TO DUMPSTER, ALONG CORRIDORS, AND ALL OTHER AREAS AFFECTED DURING DEMOLITION AND CONSTRUCTION. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT OF ALL EXISTING MATERIALS DAMAGED BY WORK PERFORMED IN THE SCOPE OF THIS PROJECT.

LEGEND



AREA OF RENOVATION

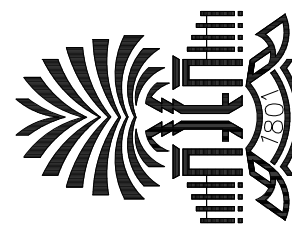
EXISTING AREA NOT IN SCOPE OF WORK (W/ EXCEPTION OF ACCESS REQUIRED FOR MEP/INFRASTRUCTURE ACCESS - REFER TO MEP)

EXISTING WALL CONSTRUCTION

NEW WALL CONSTRUCTION



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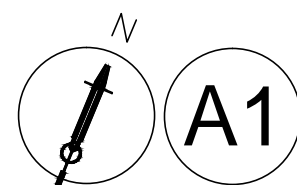
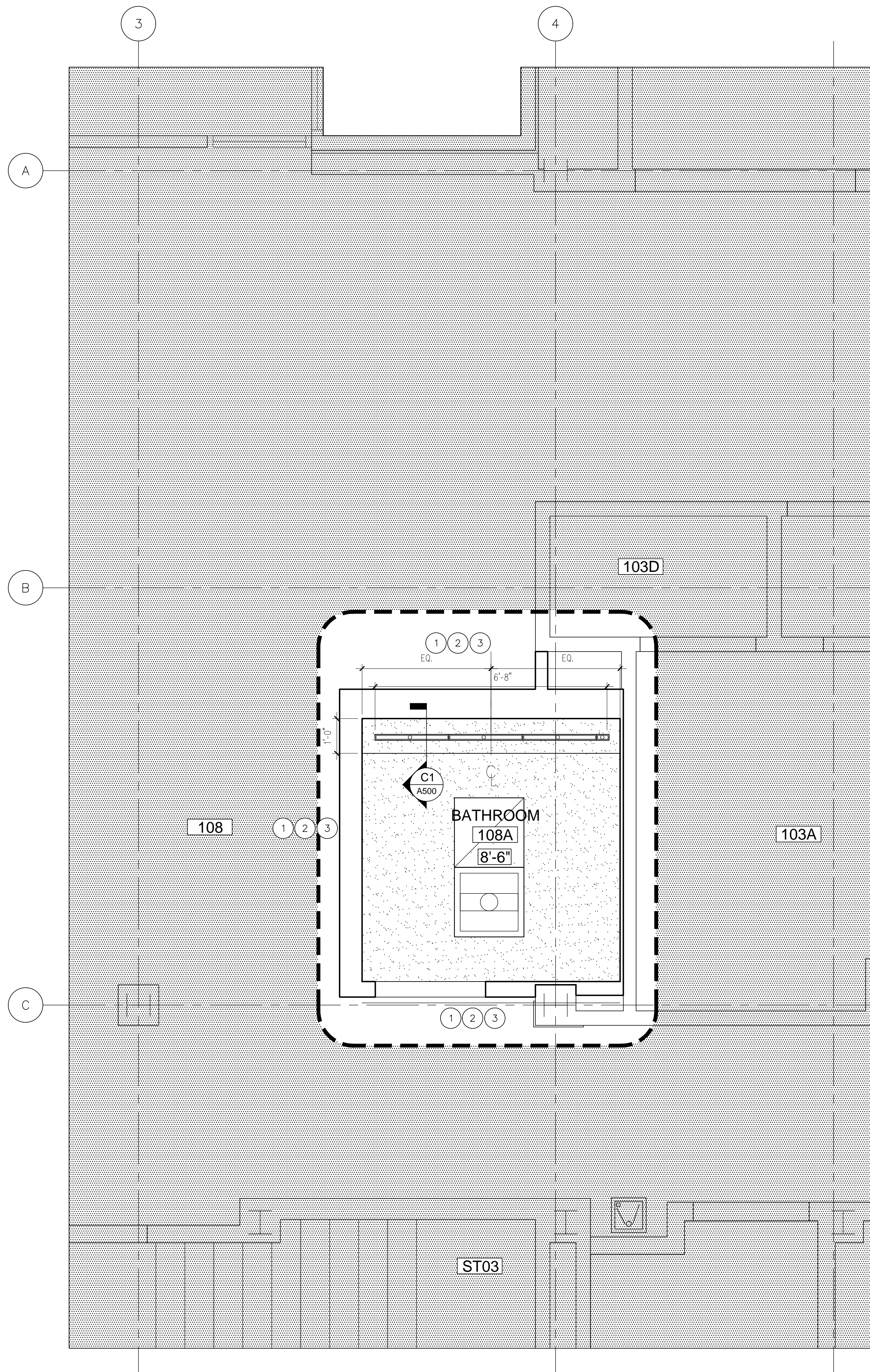
RENOVATION FLOOR PLAN

Date: 5.23.16

Drawn: IAP

Checked: MEC

A101



A1

REFLECTED CEILING PLAN

SCALE: 1/2" = 1'-0"

GENERAL CEILING NOTES

- A. SEE FINISH LEGEND AND FINISH SCHEDULE FOR CEILING TYPES AND MATERIALS.
- B. CEILING GRIDS OR TILES TO BE CENTERED IN ALL ROOMS IN BOTH DIRECTIONS UNLESS NOTED OTHERWISE. COORDINATE WITH CEILING TRANSITION DETAIL A1/A500. PARTIAL CEILING TILES SHALL NOT BE LESS THAN 6" IN EITHER DIMENSION. PARTIAL TILES SHALL BE CUT FROM TILES OF THE SAME TYPE. REGULAR PROFILE SHALL BE CUT IN AT ALL CUT TILES.
- C. COORDINATE REFLECTED CEILING PLANS WITH ELECTRICAL, MECHANICAL, AND ROOM FINISH INFORMATION.
- D. IN THE CASE OF MINOR DISCREPANCIES IN LOCATION OF CEILING MOUNTED COMPONENTS, THE REFLECTED CEILING PLAN SHALL GOVERN. IN THE CASE OF MAJOR DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED BEFORE PROCEEDING WITH THE WORK.
- E. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR MOUNTING LOCATIONS OF ITEMS WHERE NO CEILING IS REQUIRED OR INDICATED.
- F. ALL CEILING HEIGHTS ARE AS SHOWN ON THE REFLECTED CEILING PLANS UNLESS NOTED OTHERWISE.
- G. CONTRACTOR TO VERIFY ALL PREVIOUSLY INSTALLED CONSTRUCTION CONDITIONS PRIOR TO FABRICATION OR STARTING OF CEILING CONSTRUCTION.
- H. LIGHTS, DIFFUSERS, AND MISCELLANEOUS DEVICES SHALL BE CENTERED IN THE CEILING TILES IN WHICH THEY OCCUR, UNLESS NOTED OTHERWISE. REFER TO MECHANICAL AND ELECTRICAL FOR LOCATION.
- I. CEILING SEISMIC DETAILS ARE PROVIDED TO ILLUSTRATE THE GENERAL REQUIREMENTS OF DISCA GUIDELINES FOR SEISMIC C RESTRAINT AND IBC CHAPTER 16. CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE PROVISIONS OF THESE STANDARDS. IN CASE OF CONFLICT, THE MORE STRINGENT STANDARD WILL PREVAIL. REFER TO SHEET A500.
- J. REFER TO LIFE SAFETY PLAN, G100, FOR WALL FIRE RATINGS.
- K. PREP, PATCH, AND REPAIR EXISTING CEILINGS TO REMAIN AS NECESSARY TO RECEIVE NEW WORK. EXISTING DRYWALL CEILINGS TO REMAIN TO RECEIVE SKIM COAT AND REFINEMENT TO LEVEL 5 FINISH.

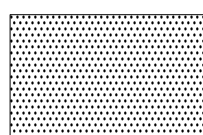
KEYED CEILING NOTES

- 1 EXISTING FINISH CEILING TO REMAIN. RECONFIGURE ACT AND FIXTURES AS REQUIRED. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
- 2 PROVIDE WALL MOULD, CLIPS, GRID TEES, AND ACT AS NECESSARY AT EDGES OF EXISTING ACT CEILING TO REMAIN WHERE ABUTTING NEW WALLS. REPAIR/PROVIDE NEW GRID AND FINISH ACT AS NEEDED TO MATCH EXISTING.
- 3 GC SHALL USE EXISTING STORED TILE TO REINSTALL WHERE CEILING WAS REMOVED AND CLEANED BY USC IN LOBBY TO PERFORM THE WORK.

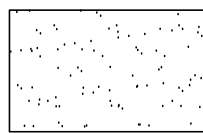
LEGEND



AREA OF RENOVATION



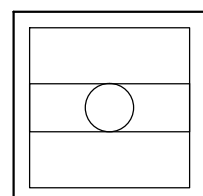
EXISTING AREA NOT IN SCOPE OF WORK (W/ EXCEPTION OF ACCESS REQUIRED FOR MEP/INFRASTRUCTURE ACCESS - REFER TO MEP).



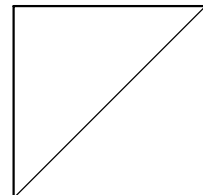
NEW GYPSUM BOARD FINISH CEILING

8'-6"

HEIGHT ABOVE FINISHED FLOOR



2x2 FLUORESCENT LED FIXTURE



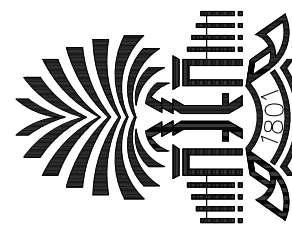
2'x2' EXHAUST



LED RECESSED LINE AT SLOT FIXTURE



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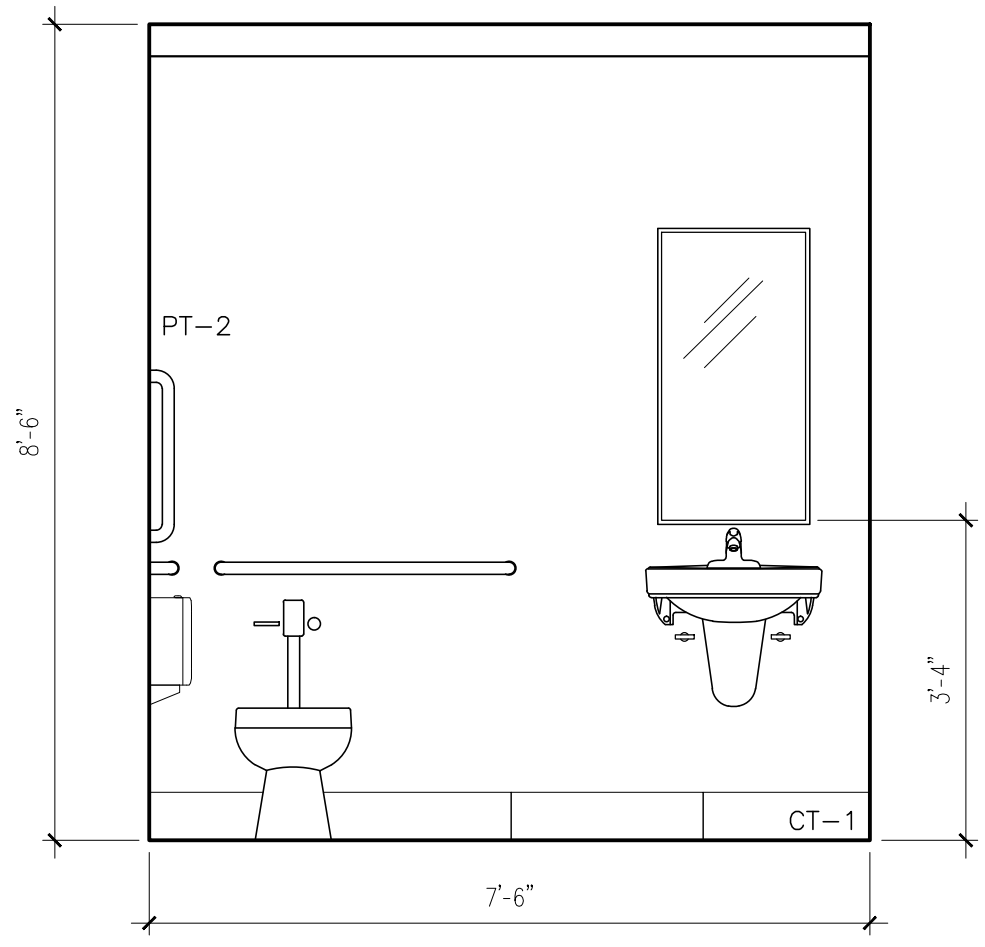
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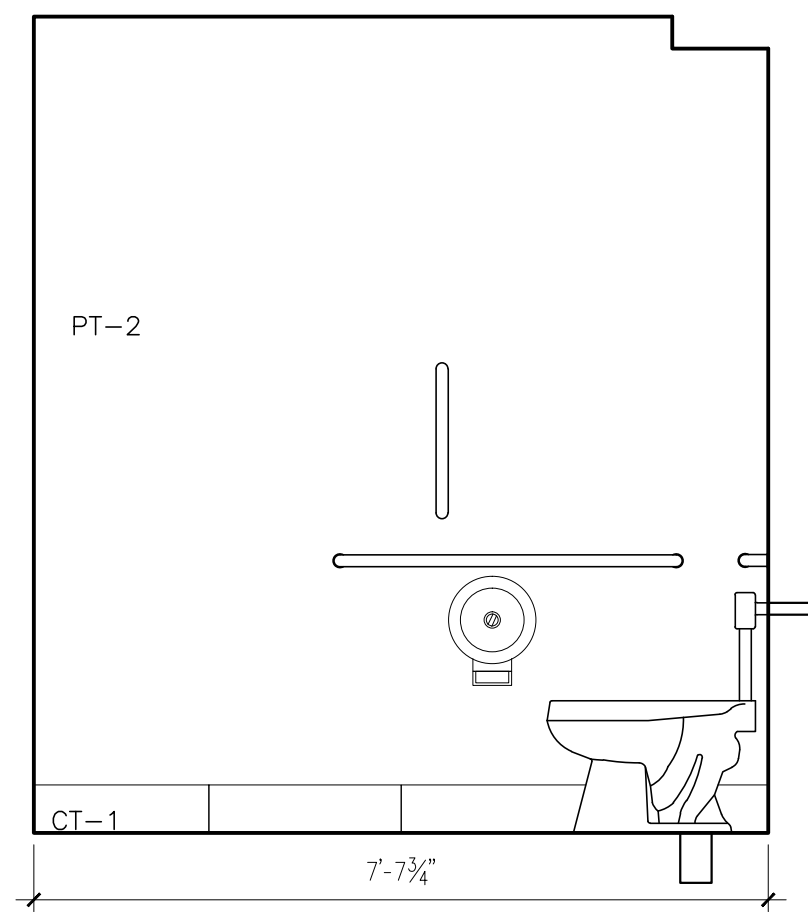
REFLECTED CEILING PLAN

Date: 5.23.16
Drawn: IAP
Checked: MEC

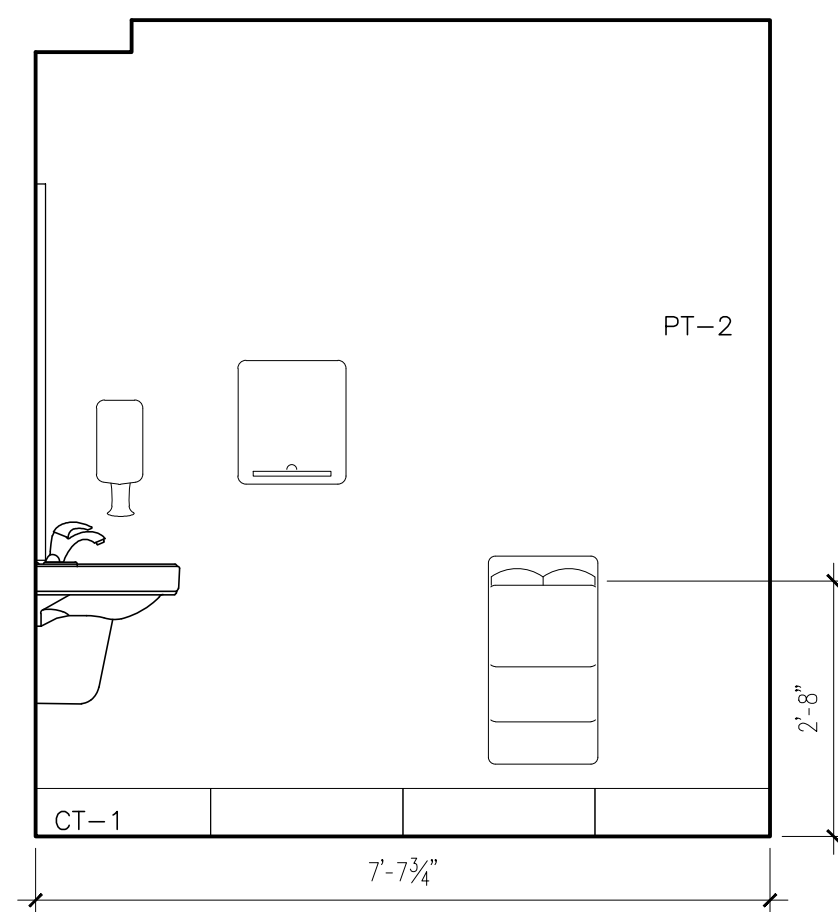
A121



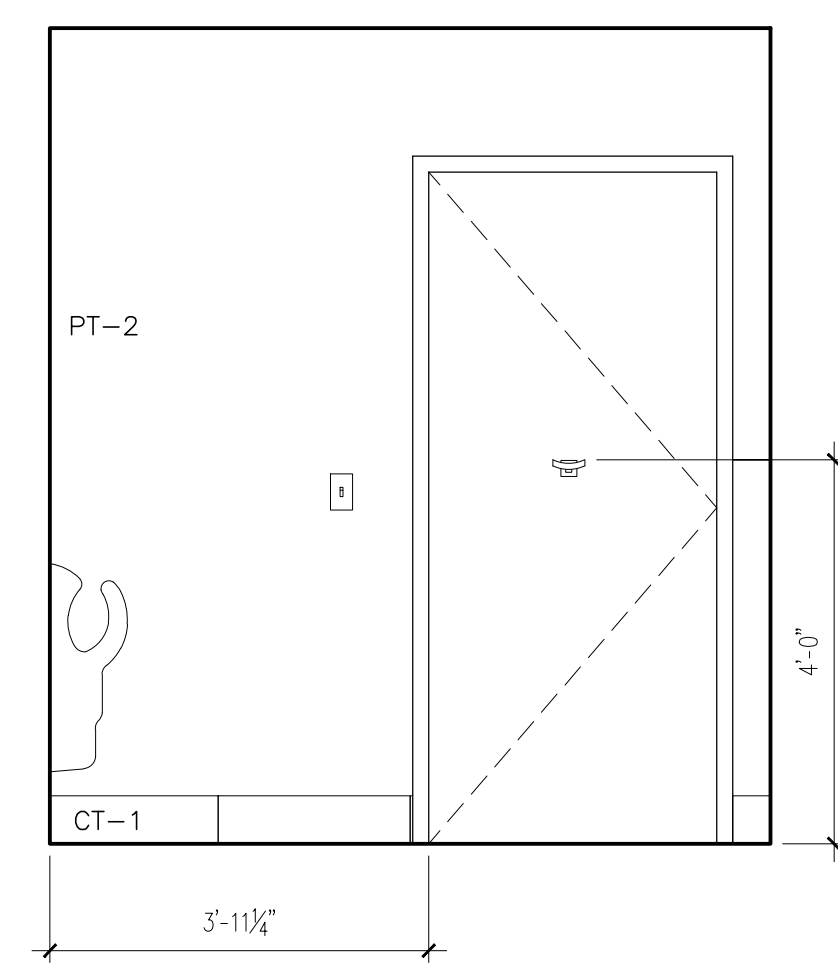
A1 INTERIOR ELEVATION ALTERNATE #2
SCALE: 1/2" = 1'-0"



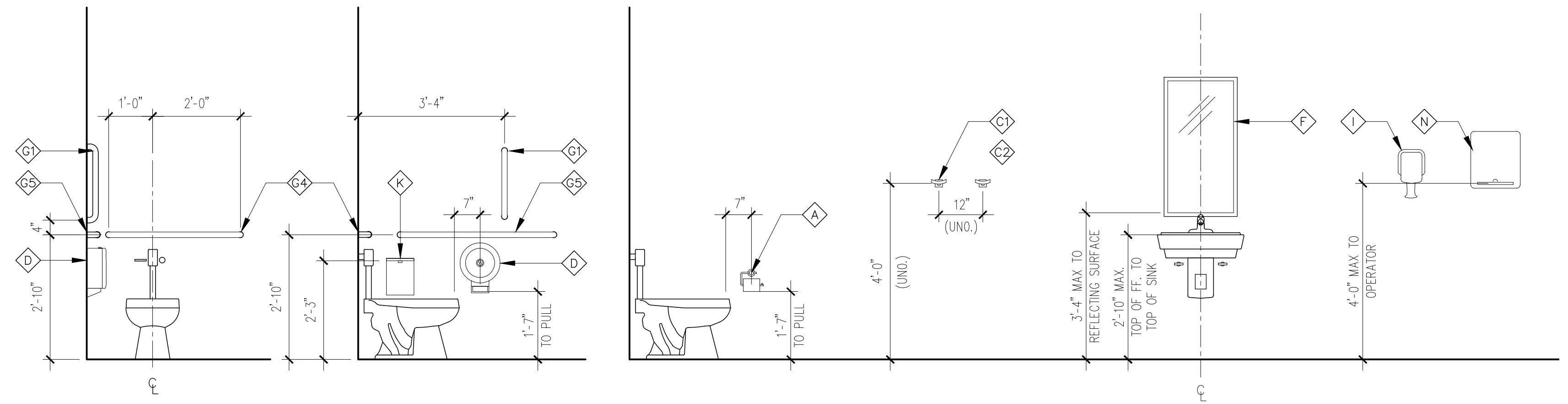
A1 INTERIOR ELEVATION ALTERNATE #2
SCALE: 1/2" = 1'-0"



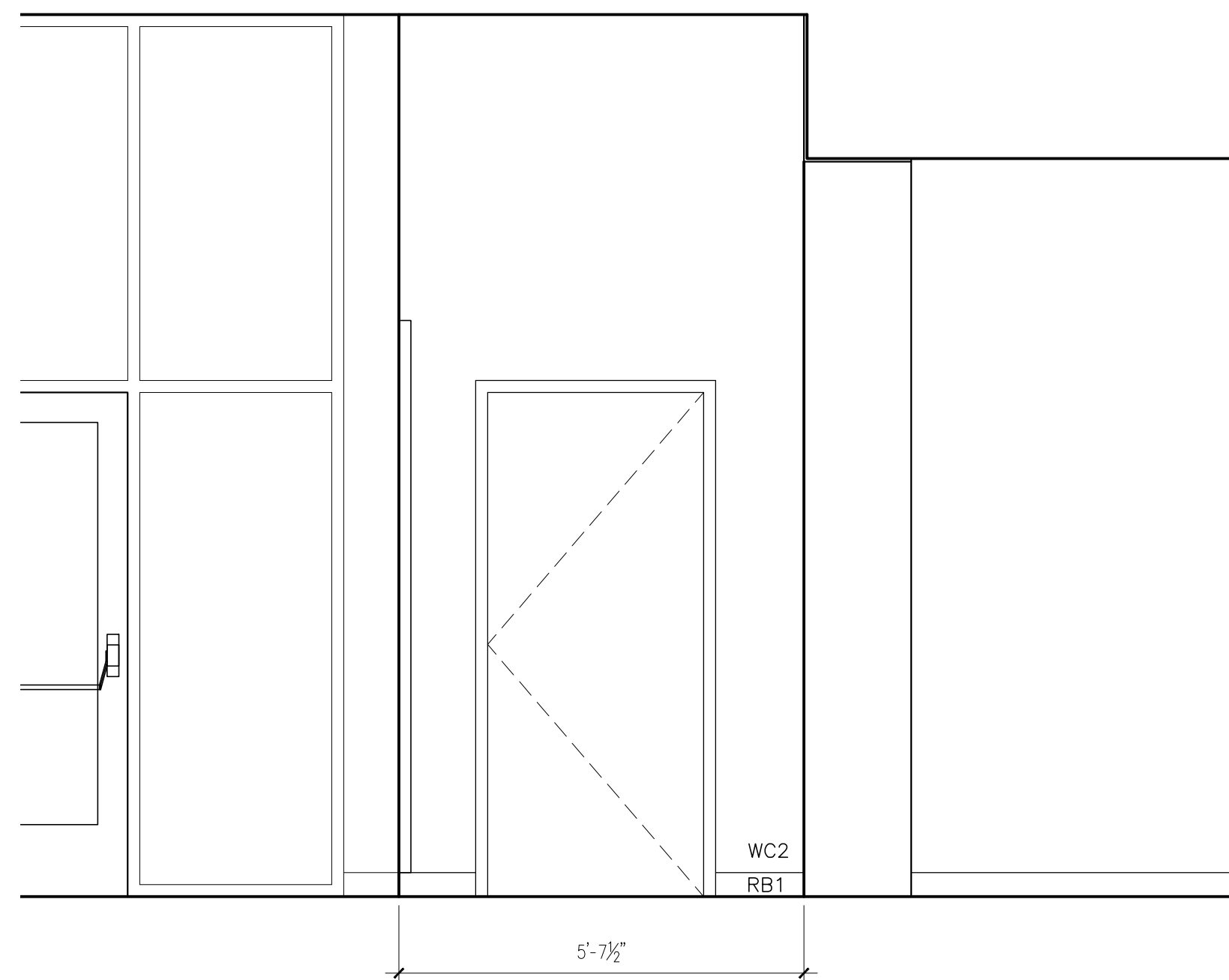
A1 INTERIOR ELEVATION ALTERNATE #2
SCALE: 1/2" = 1'-0"



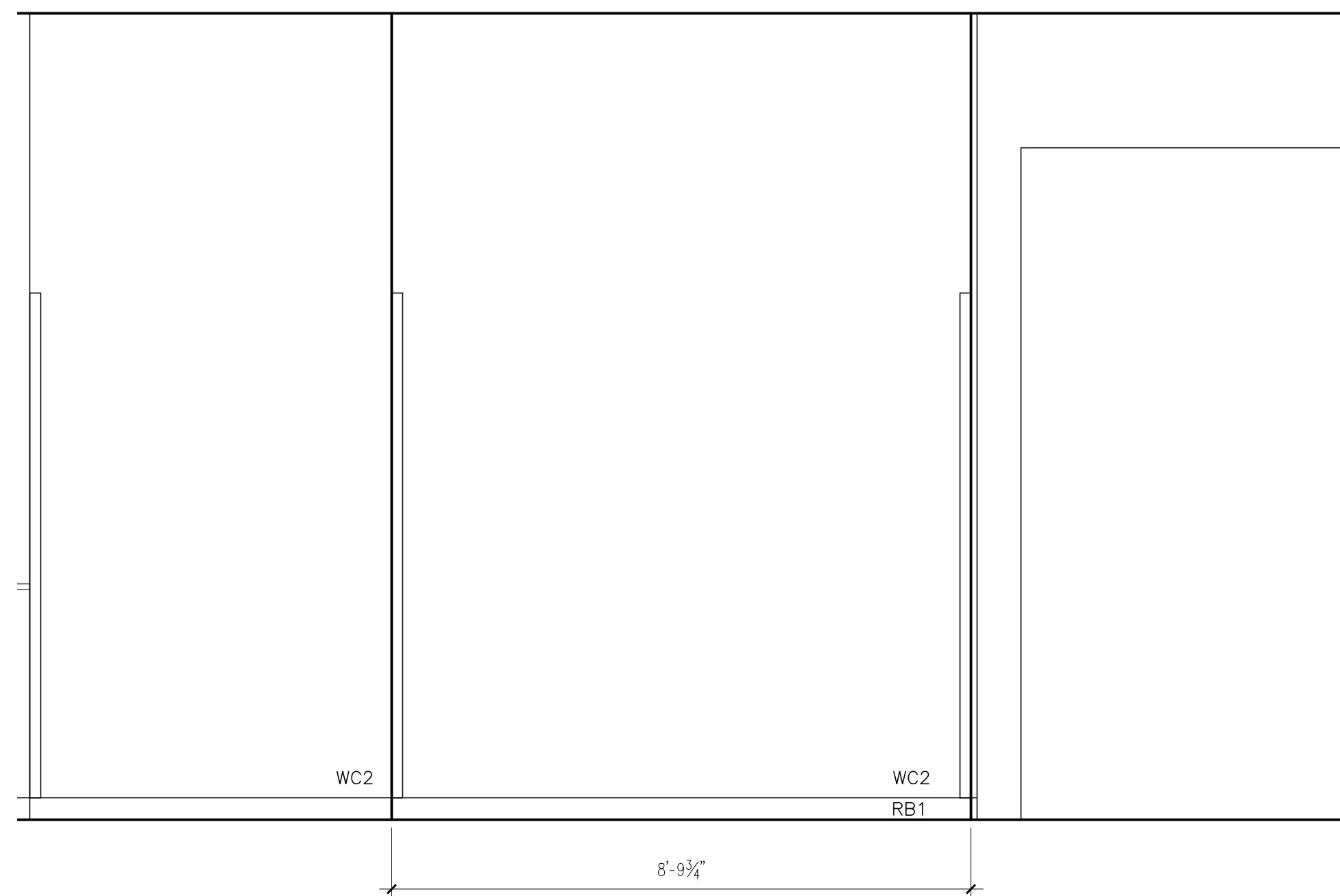
A1 INTERIOR ELEVATION ALTERNATE #2
SCALE: 1/2" = 1'-0"



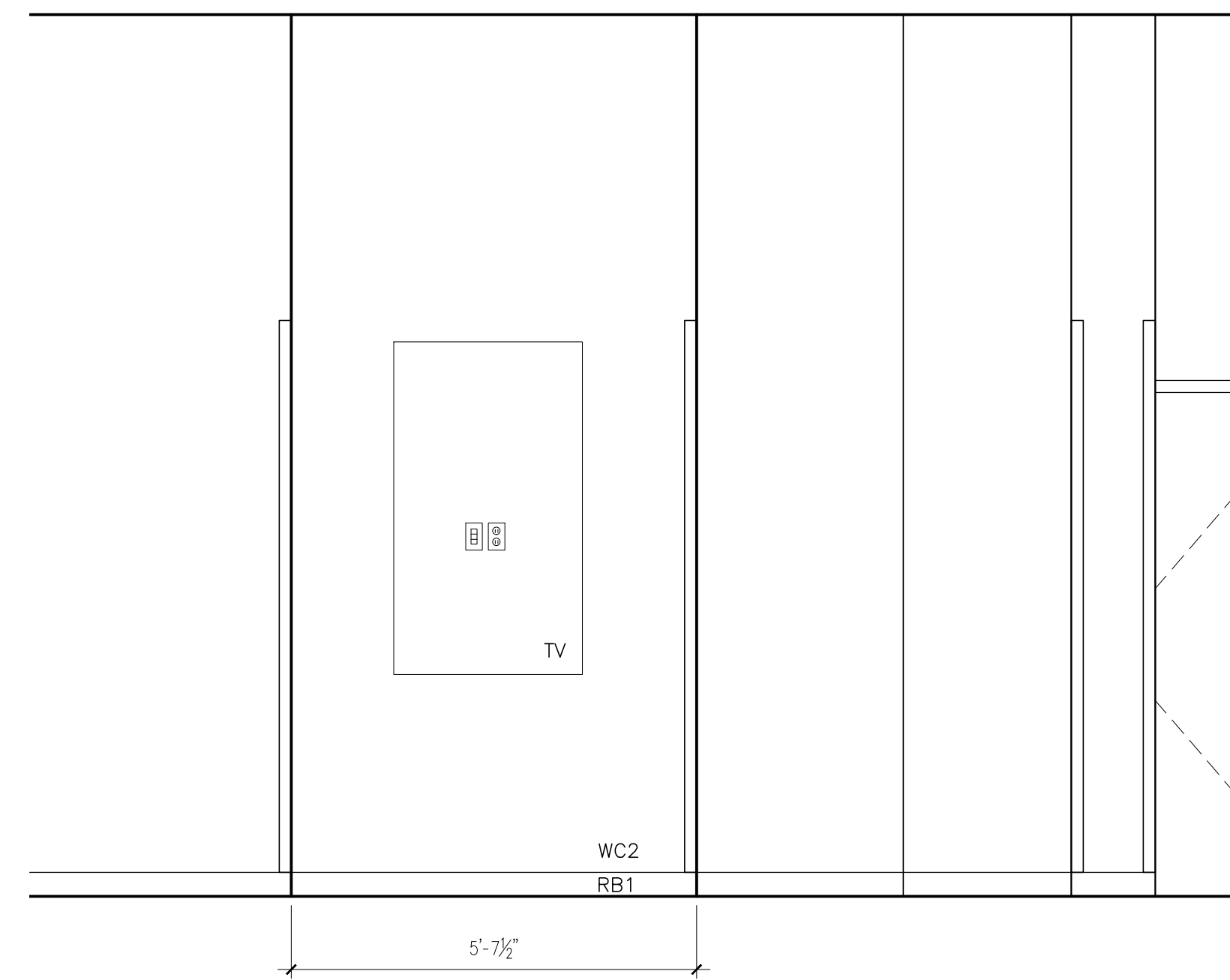
C1 TYPICAL MOUNTING HEIGHTS
SCALE: 1/2" = 1'-0"



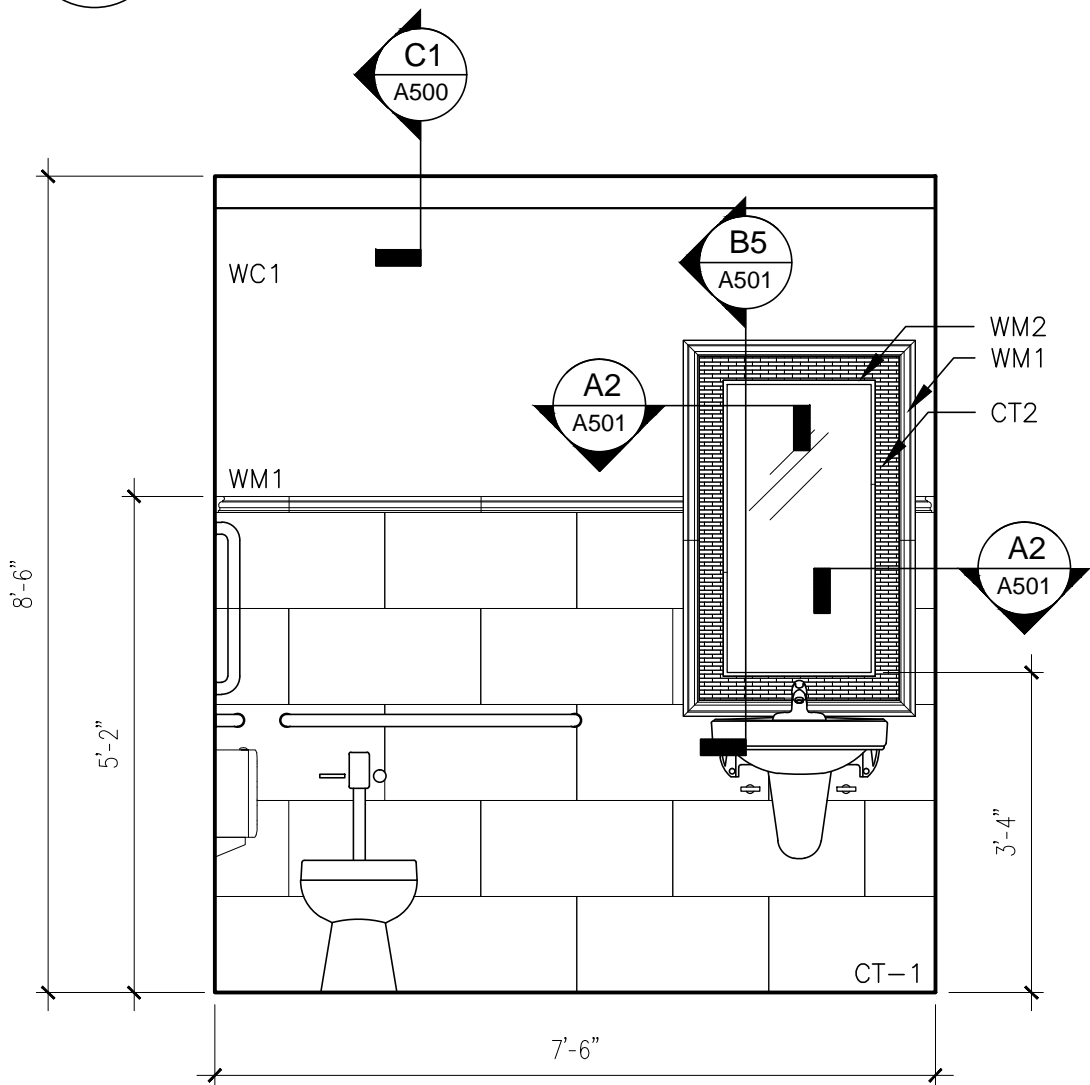
B1 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



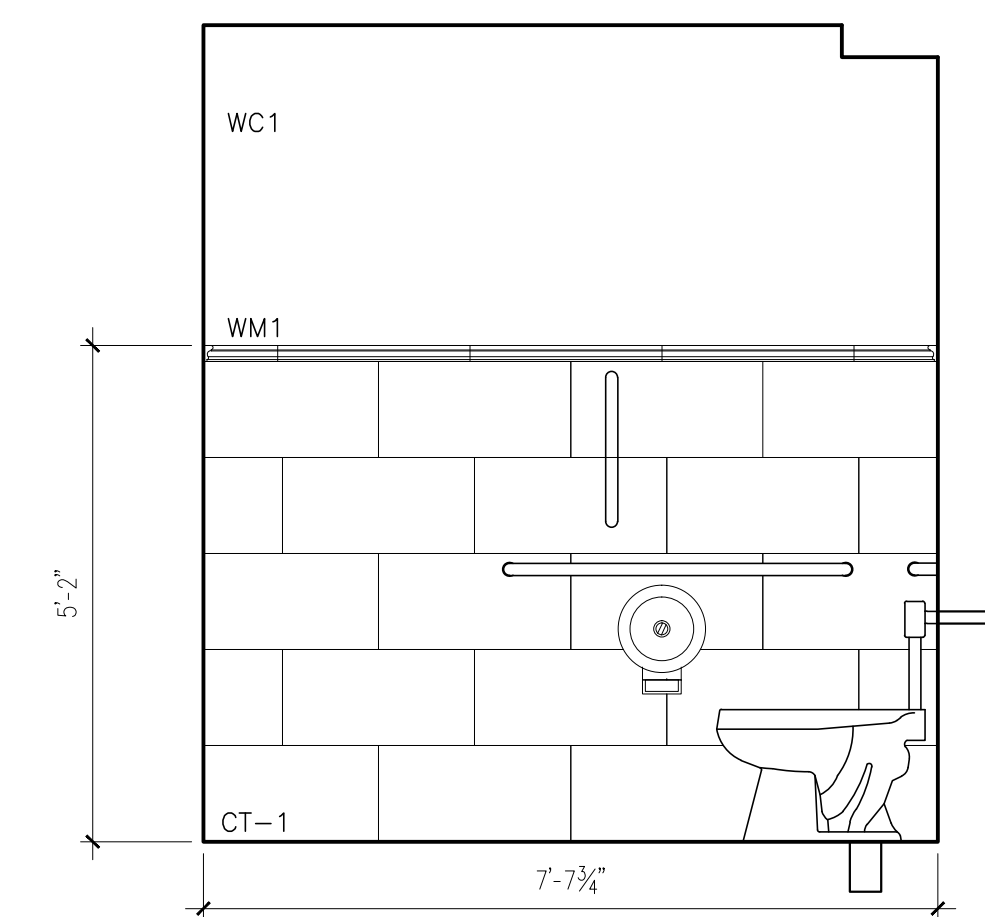
B2 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



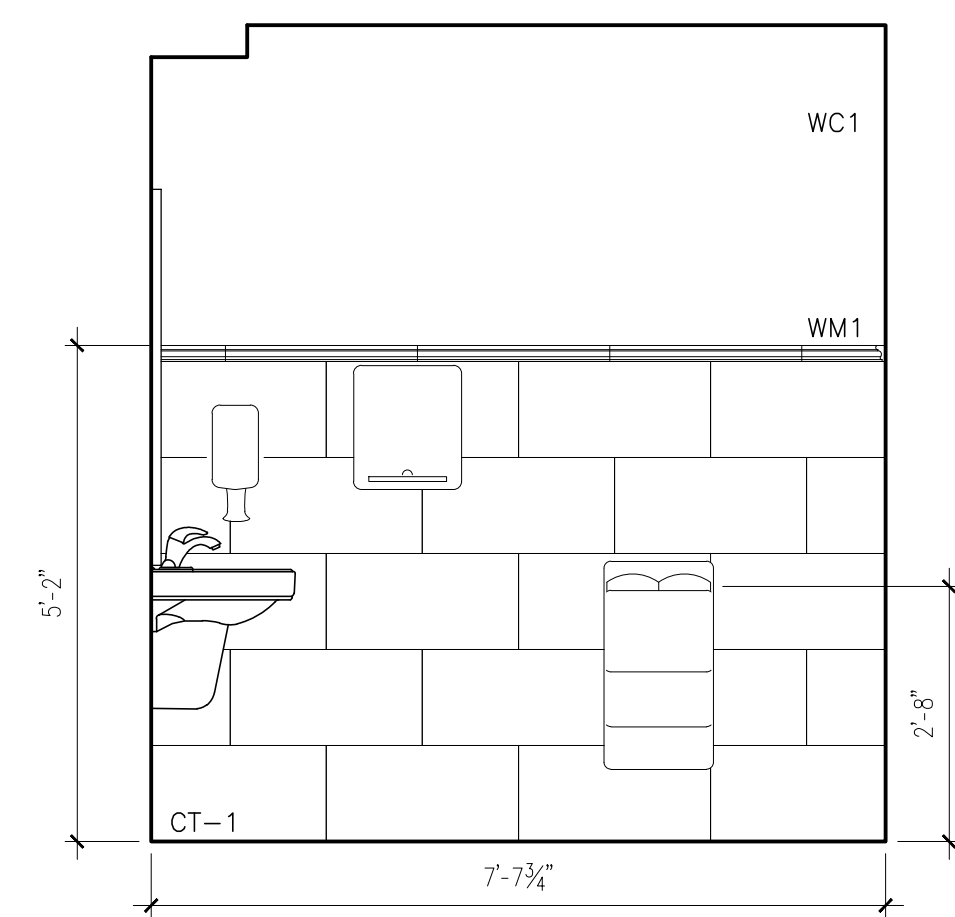
B3 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



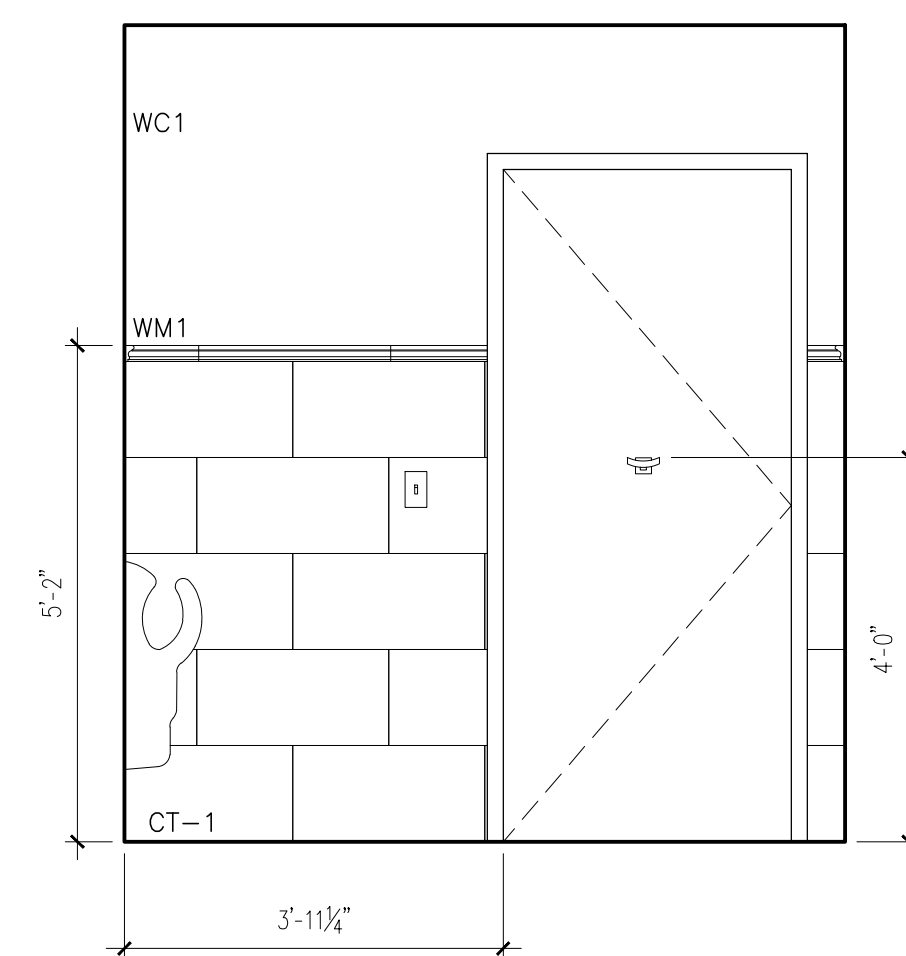
A1 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



A2 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



A3 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



A4 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

INTERIOR ELEVATION NOTES

- FULL HEIGHT TILE SHALL BE USED AT ALL BASE CONDITIONS FOR TOILET ROOM WALLS.
- NOT USED
- NO CUT TILE SHALL BE LESS THAN 5" IN WIDTH OR 3" IN HEIGHT.
- TILE SHALL BE INSTALLED AS SHOWN IN INTERIOR ELEVATIONS.
- CEILING HEIGHTS DIMENSIONED ON INT. ELEVATIONS ARE BASED ON THE TOILET ROOM SHOWN. CEILING HEIGHTS VARY. REFER TO REFLECTED CEILING PLANS FOR FINISHED HEIGHT OF NEW AND EXISTING CEILINGS. VERIFY IN FIELD.
- NOT USED
- AT AREAS WHERE WALL TILE SURROUNDS EXHAUST GRILLE, TILE SHALL BE INSTALLED AROUND ROUGH OPENING FOR NEW GRILLE VENT. INSTALL GRILLE VENT USING EPOXY ADHESIVE. REFER TO MECHANICAL.
- NOT USED
- REFER TO D1/A202 FOR TYPICAL TOILET ROOM ACCESSORY MOUNTING HEIGHTS.

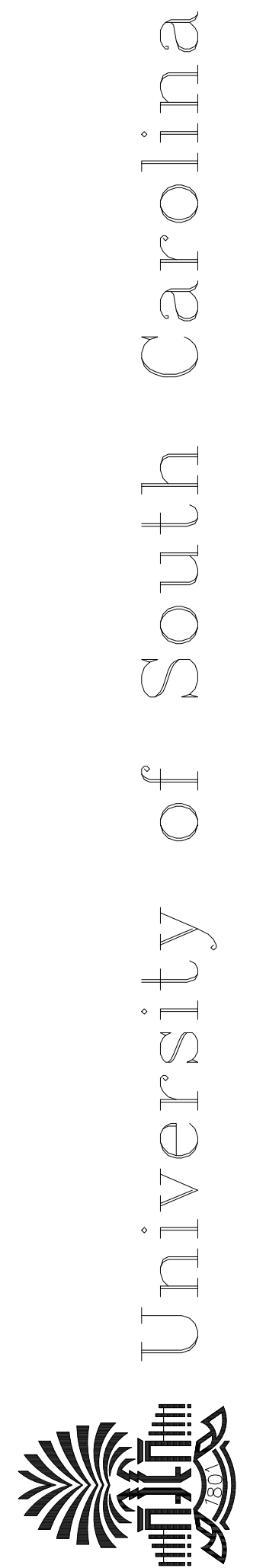
TILE INSTALLATION NOTES.

- INTERSECTIONS OF EDGE AND TRANSITION PROFILES SHALL BE MITERED AT 45 DEGREES U.N.O.
- INSTALL DILEX-BWA AT ALL WALL TO FLOOR TRANSITIONS. REFER TO DETAILS FOR TYPICAL AND SIMILAR CONDITIONS.
- INSTALL DILEX-BWA AT ALL WALL TO WALL INTERIOR CORNER TRANSITIONS. REFER TO DETAILS FOR TYPICAL AND SIMILAR CONDITIONS.
- INSTALL SCHIENE AT ALL WALL TO WALL OUTSIDE CORNER TRANSITIONS. REFER TO DETAILS FOR TYPICAL AND SIMILAR CONDITIONS.
- INSTALL SCHIENE AT ALL TILE TERMINATION. NO RAW TILE EDGE SHALL BE EXPOSED UNO. REFER TO DETAILS FOR TYPICAL AND SIMILAR CONDITIONS.
- FULL HT. BASE TILE SHALL NOT RECEIVE SCHIENE PROFILE.
- CAULK ALONG TOP OF TILE WHERE TILE ABUTS FINISH CEILING.
- CAULK ALL EDGES OF FLOOR AND WALL TILE ABUTS TUB AND OTHER FIXTURES.
- REFER TO INTERIOR ELEVATIONS AND FINISH PLANS FOR TILE LAYOUT.
- GC TO COORDINATE ALL SCHLUTER PIECES WITH ARCHITECT AND TILE DISTRIBUTOR. TILE SUBCONTRACTOR TO COORDINATE PROFILE SIZES WITH FINISH TILE SIZES. SUBMIT SIZING OF ALL PIECES TO ARCHITECT.

ALTERNATE #2

- DELETE WALL COVERING INSIDE BATHROOM
- DELETE ALL DECORATIVE WALL TILE.
- PROVIDE PAINT FINISH 6" HEIGHT CERAMIC TILE.

SEE A101, A201, A701 FOR WORK INCLUDED IN THIS ALTERNATE. SEE SPECIFICATIONS



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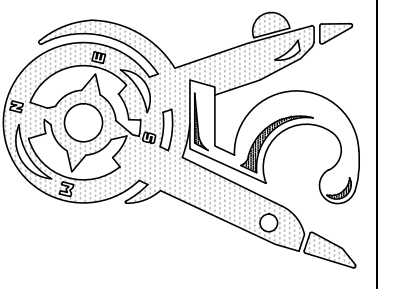
NO.	DESCRIPTION	DATE

INTERIOR ELEVATIONS

Date: 5.23.16
Drawn: IAP
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A201

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CEILING INSTALLATION NOTES

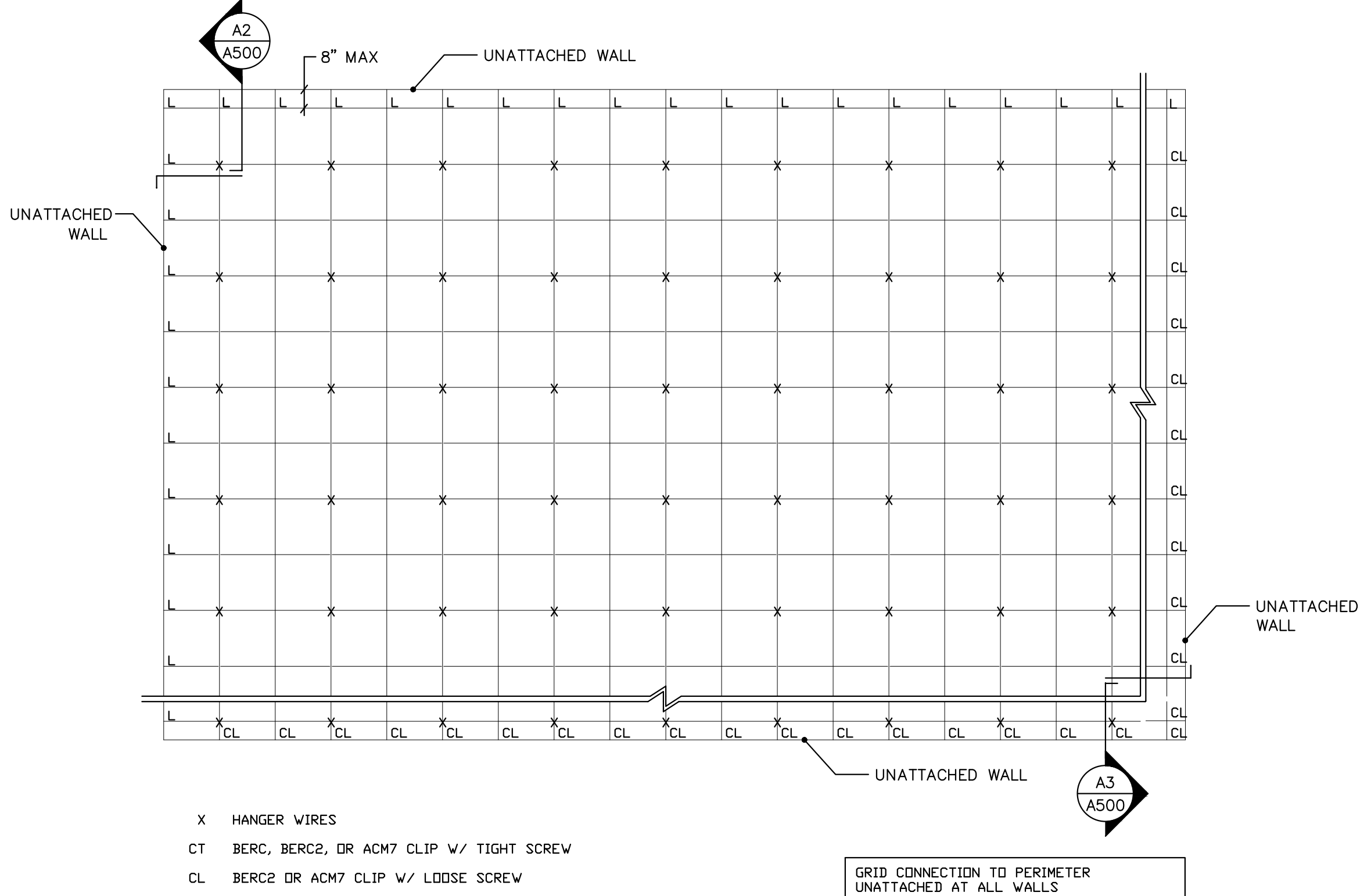
CEILING DETAILS SHOWN ARE DRAWN IN ACCORDANCE WITH PROPRIETARY MANUFACTURER'S SEISMIC RATED ASSEMBLIES BY ARMSTRONG AND USG.

PROPRIETARY MANUFACTURER'S INSTALLATIONS SHALL COMPLY WITH CEILING DETAILS SHOWN ON SHEET A500 AND PER MANUFACTURER'S WRITTEN INSTALLATION REQUIREMENTS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CEILING INSTALLATION.

POP RIVETS ARE NOT PERMITTED IN ANY APPLICATION.

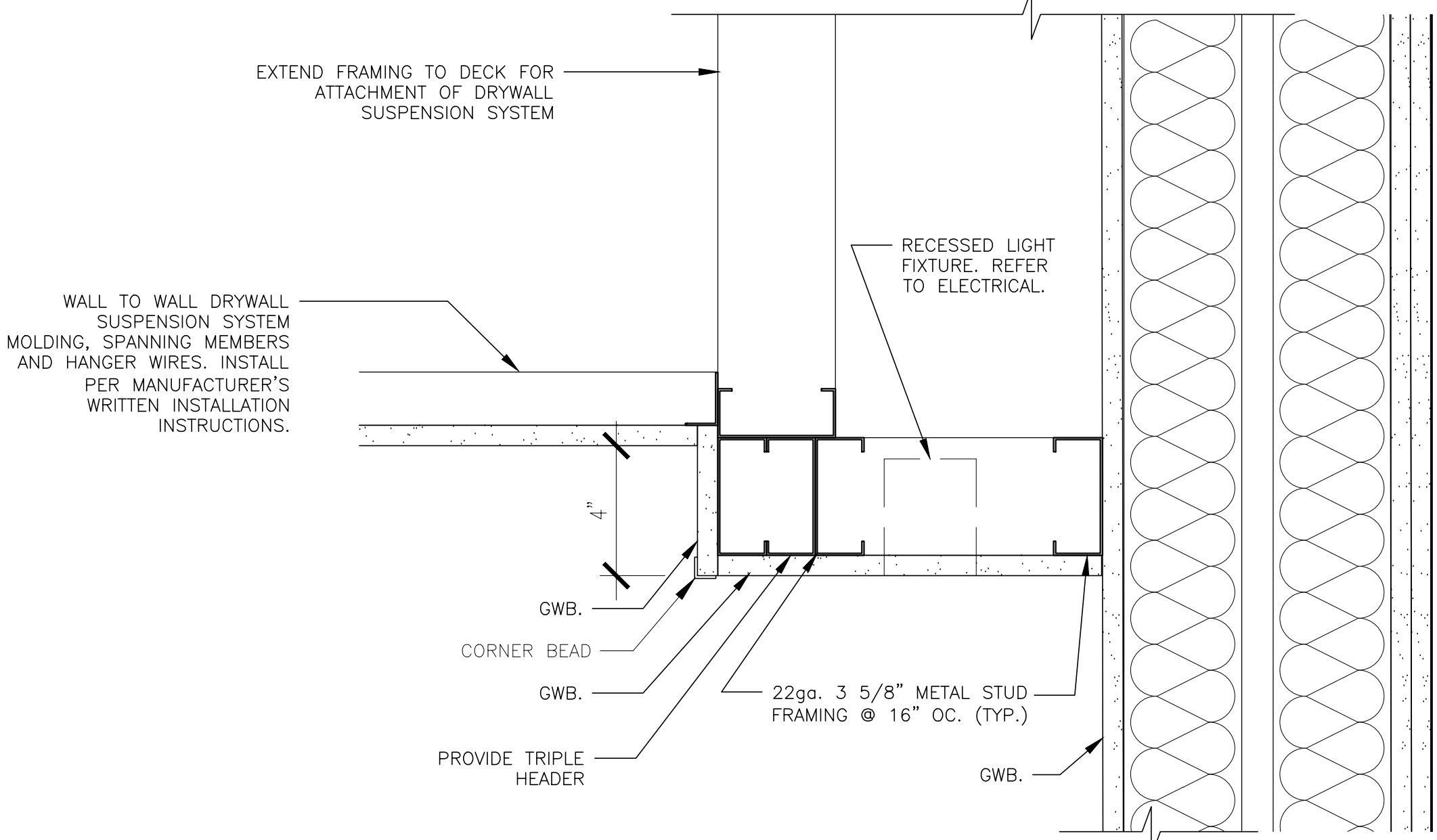
SEISMIC "C" REQUIREMENTS FOR CEILINGS 144 GSF OR GREATER

CONNECTIONS/HANGERS	INTERMEDIATE OR HEAVY DUTY GRID
INTERSECTION STRENGTH	60 LBS
HANGERS	#12 @ 4" O.C.
PLUMB	NOT MORE THAN 1 IN 6 OR 10" FROM VERTICAL
CONNECTION DEVICES	NOT REQUIRED
PERIMETER WIRES - ALL WALLS	NOT REQUIRED IF WALL MOULDING > 7/8"
SPLAY BRACING	NOT REQUIRED
4 WIRE CLUSTERS	N/A
FIRST POINT	N/A
SPACING	N/A
CONNECTION STRENGTH	N/A
COMPRESSION PORTS	N/A
MOLDING/PARTITIONS	INTERMEDIATE OR HEAVY DUTY GRID
MOLDING	MIN. 7/8"
ATTACHMENT (NO MOVEMENT)	N/A
CLEARANCE (FREE TO MOVE)	3/8" @ ALL WALLS
SPACER BARS	NOT REQUIRED W/ CLIPS
PARTITION ATTACHMENT	ALLOWED ONLY IF CEILING IS ABLE TO MOVE Laterally, UNDER 2,000 SF
LIGHTING/FIXTURES	INTERMEDIATE OR HEAVY DUTY GRID
LIGHTS LESS THAN 56LBS	2 CONNECTORS/2 SLACK WIRES
LIGHTS GREATER THAN 56LBS	SUSPEND FROM STRUCTURE, NOT GRID
MECHANICAL LESS THAN 20LBS	ATTACHED TO GRID
MECH GREATER THAN 20LBS, LESS THAN 56LBS	2 SLACK WIRES
MECHANICAL GREATER THAN 56LBS	SUSPEND FROM STRUCTURE, NOT GRID



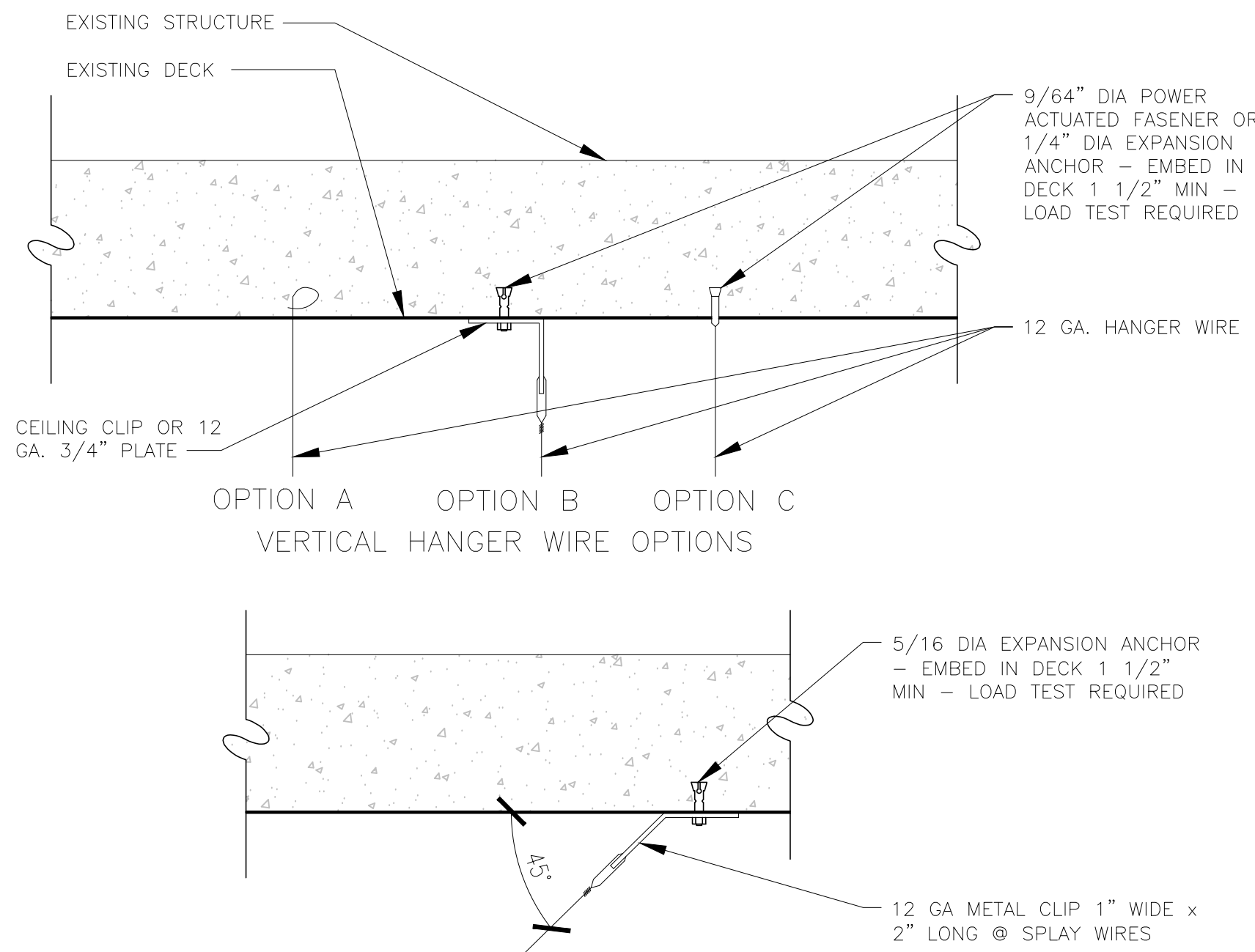
A1 CEILING SEISMIC "C" BRACE PLAN DIAGRAM

SCALE: NTS



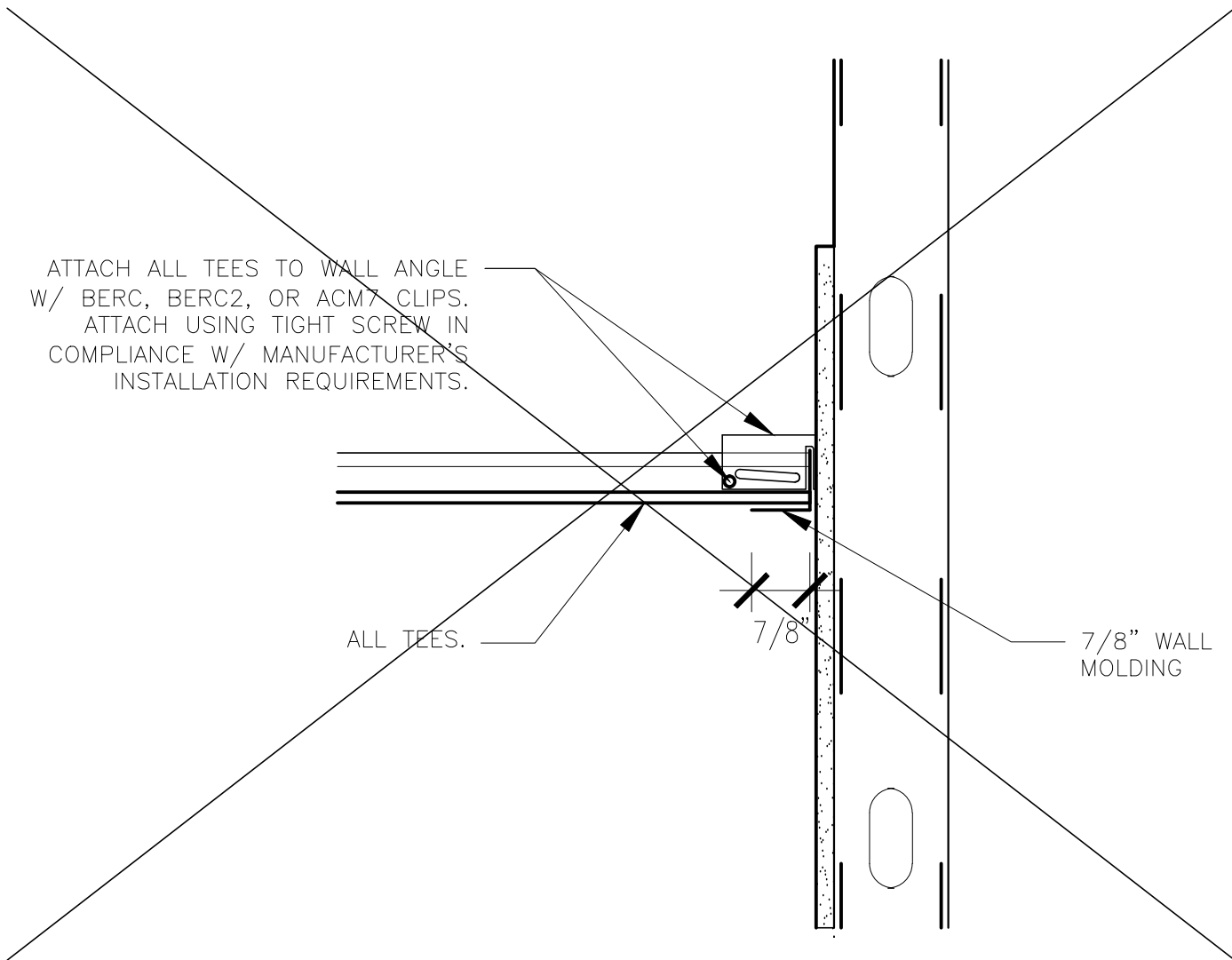
C1 SEISMIC HANGER WIRE DETAILS

SCALE: 3" = 1'-0"



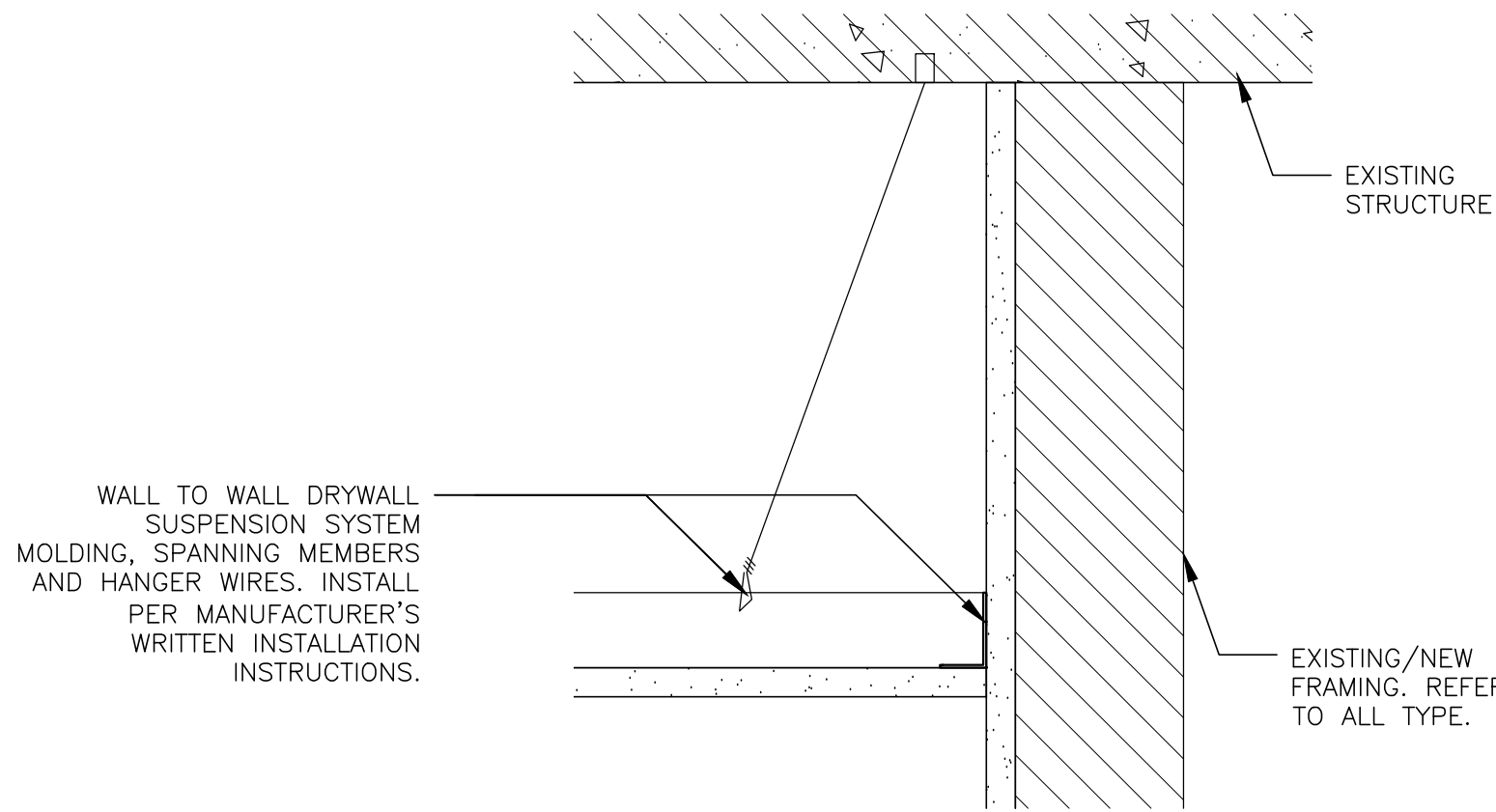
B1 SEISMIC HANGER WIRE DETAILS

SCALE: 3" = 1'-0"



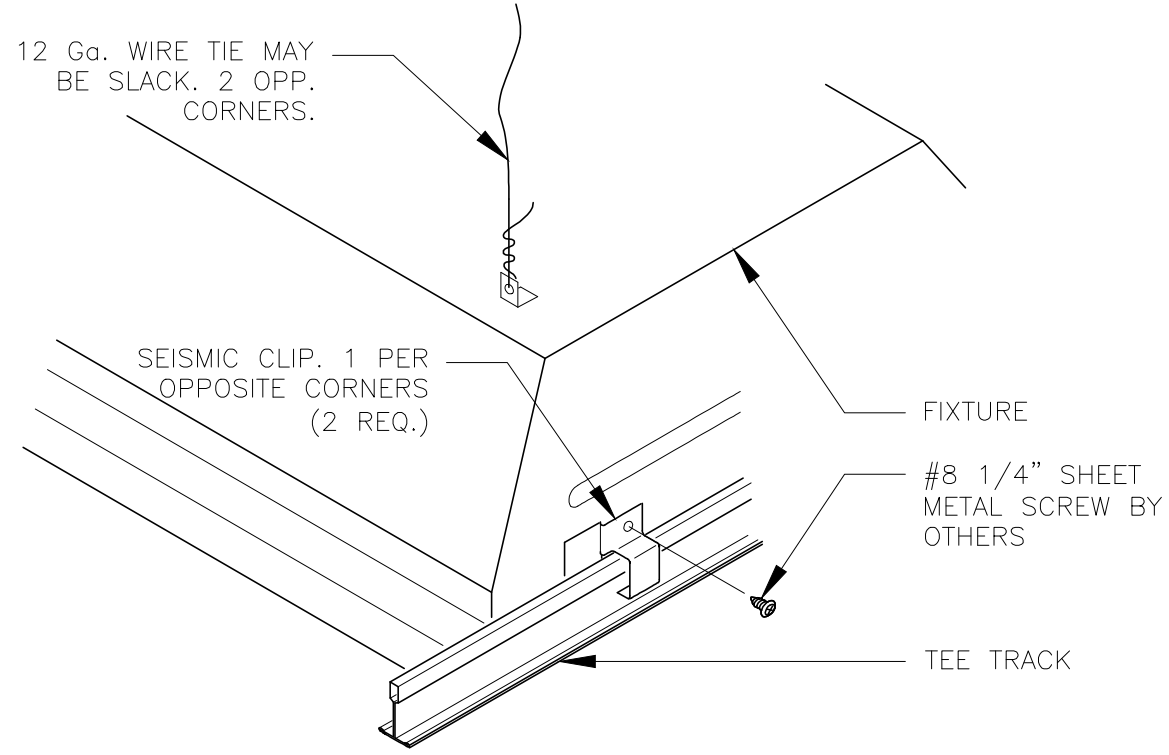
A2 SEISMIC "C" CEILING SECTION - ATTACHED

SCALE: 3" = 1'-0"



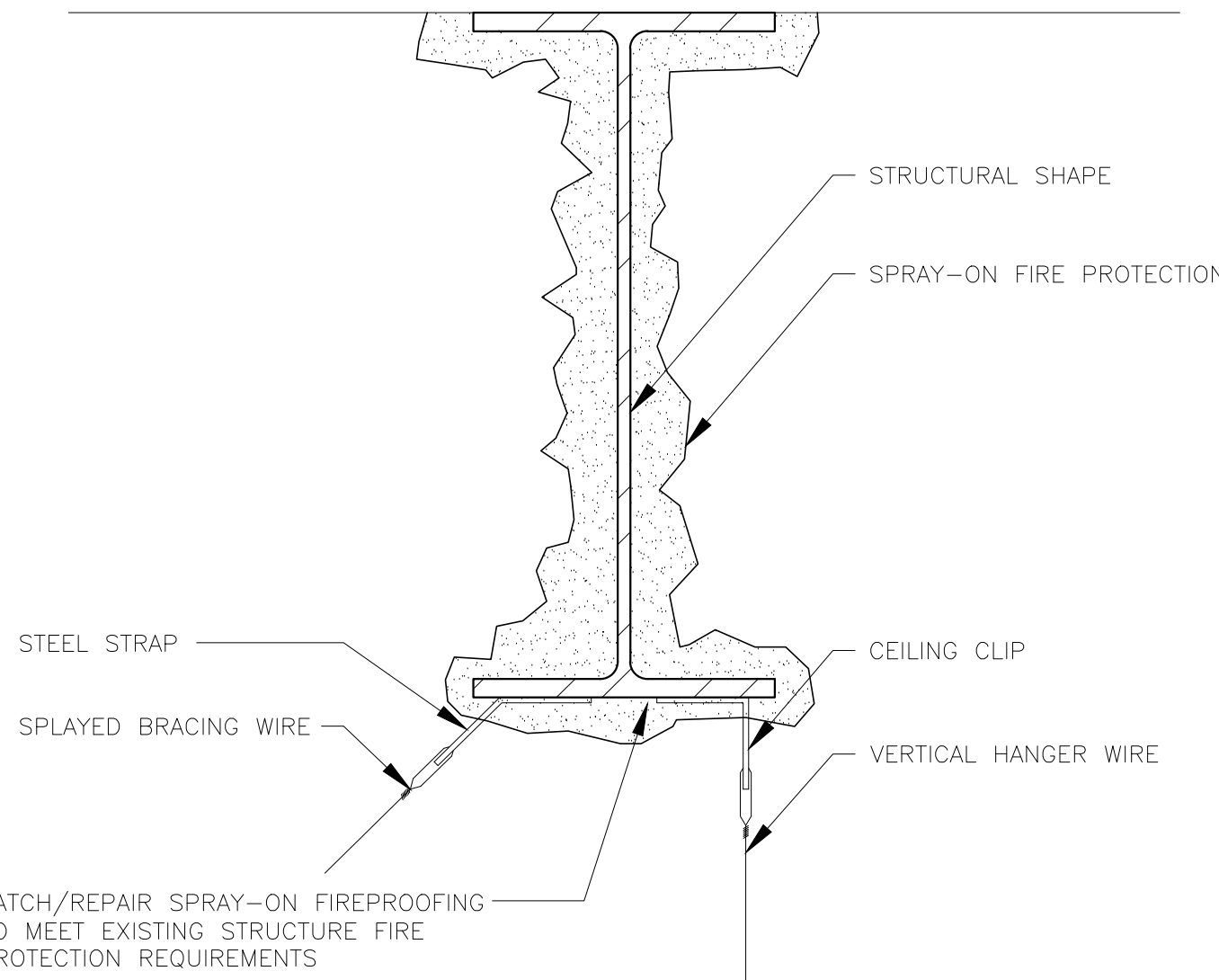
D1 SEISMIC HANGER WIRE DETAILS

SCALE: 3" = 1'-0"



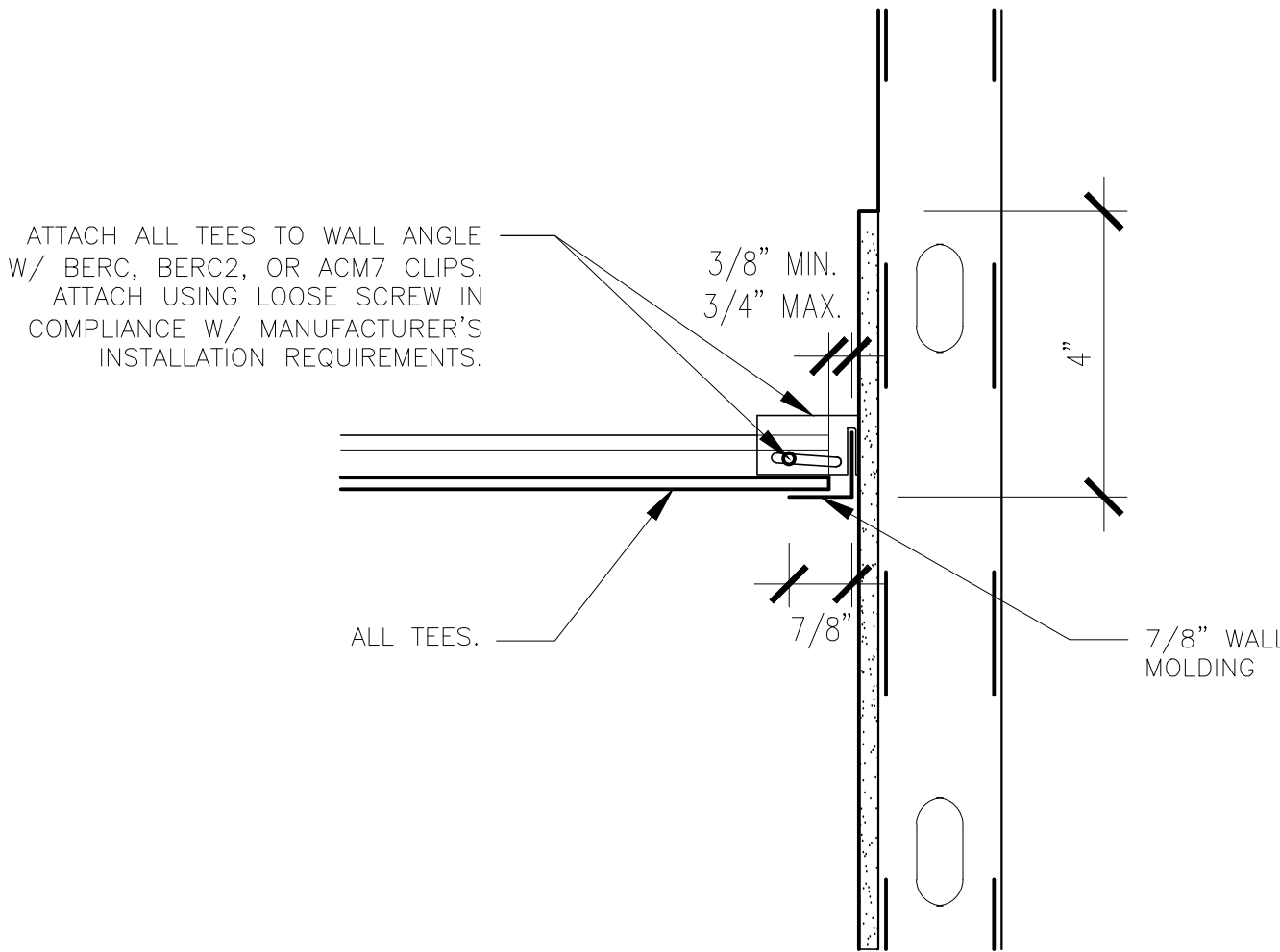
C2 FIXTURE SEISMIC TIE

SCALE: NTS



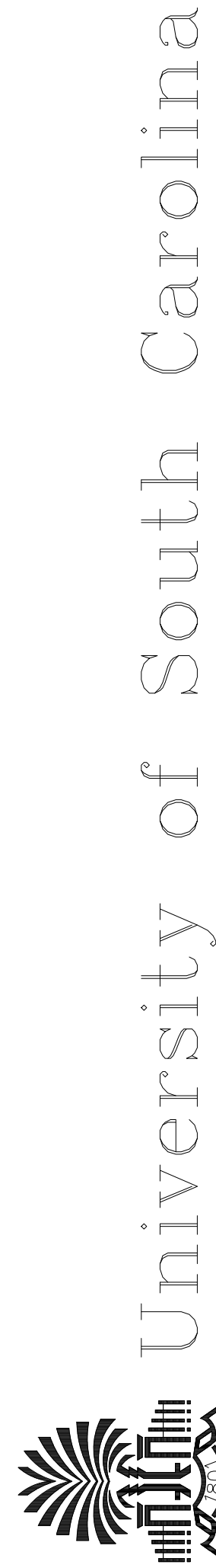
B2 SEISMIC HANGER WIRE DETAILS

SCALE: 3" = 1'-0"



A3 SEISMIC "C" CEILING SECTION - UNATTACHED AT ALL WALLS

SCALE: 3" = 1'-0"

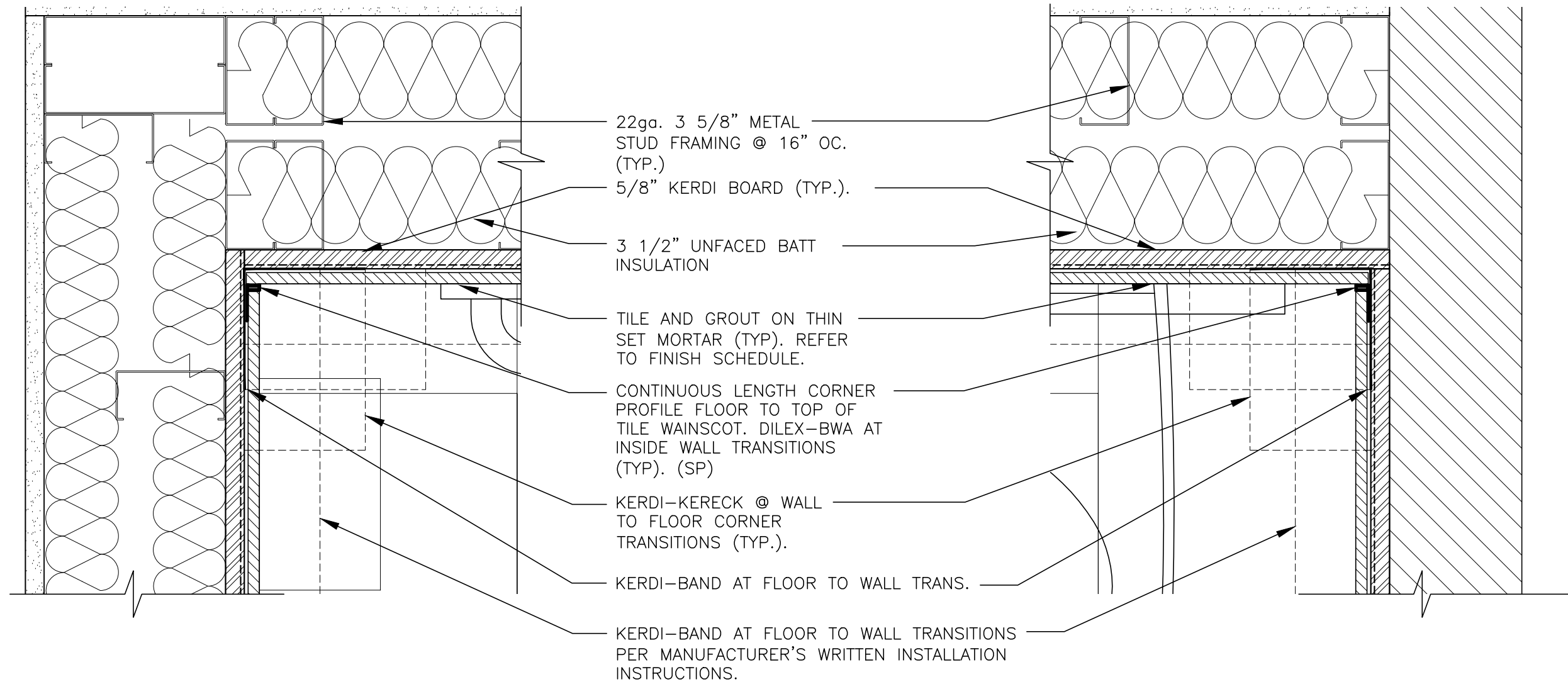


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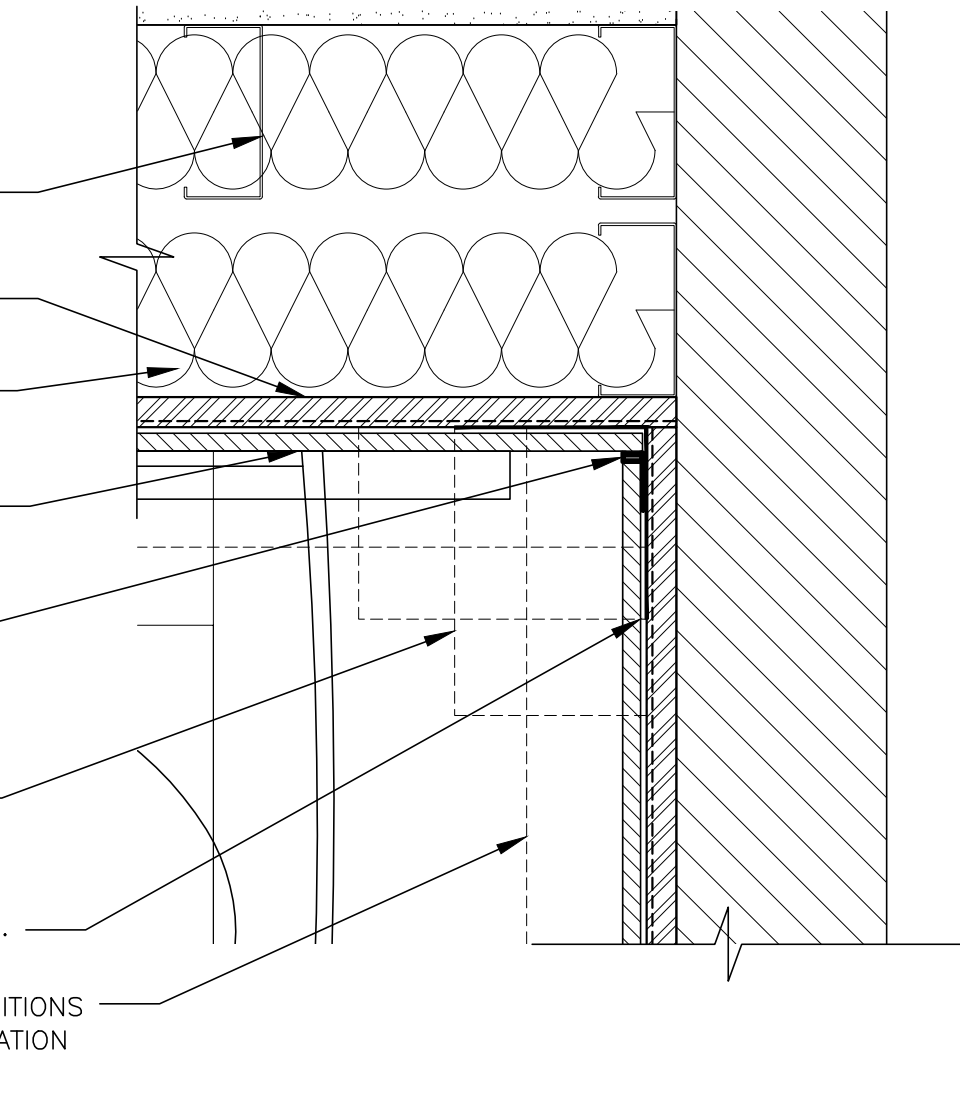
CEILING DETAILS

Date: 5.23.16
Drawn: IAP
Checked: MEC

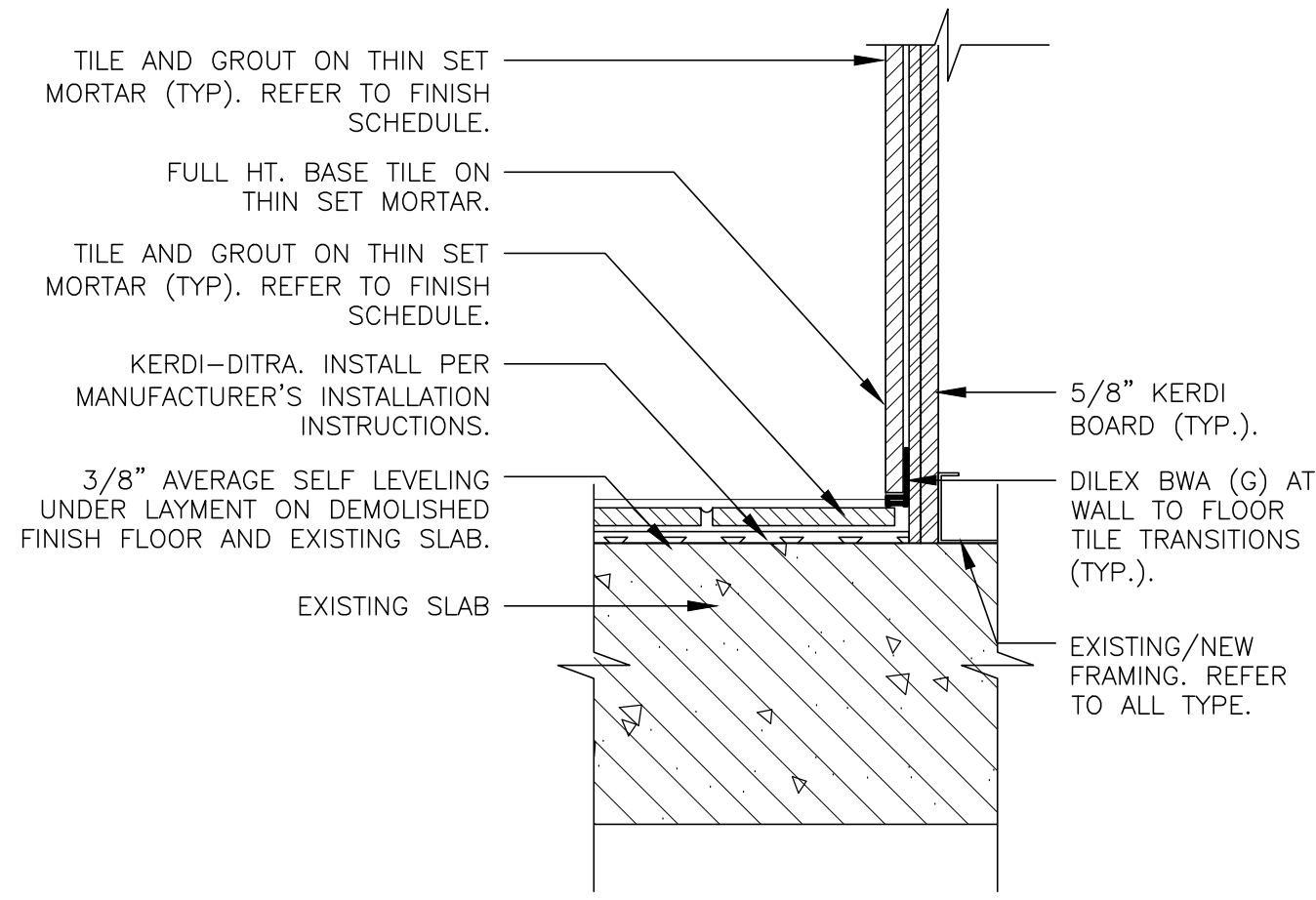
A500



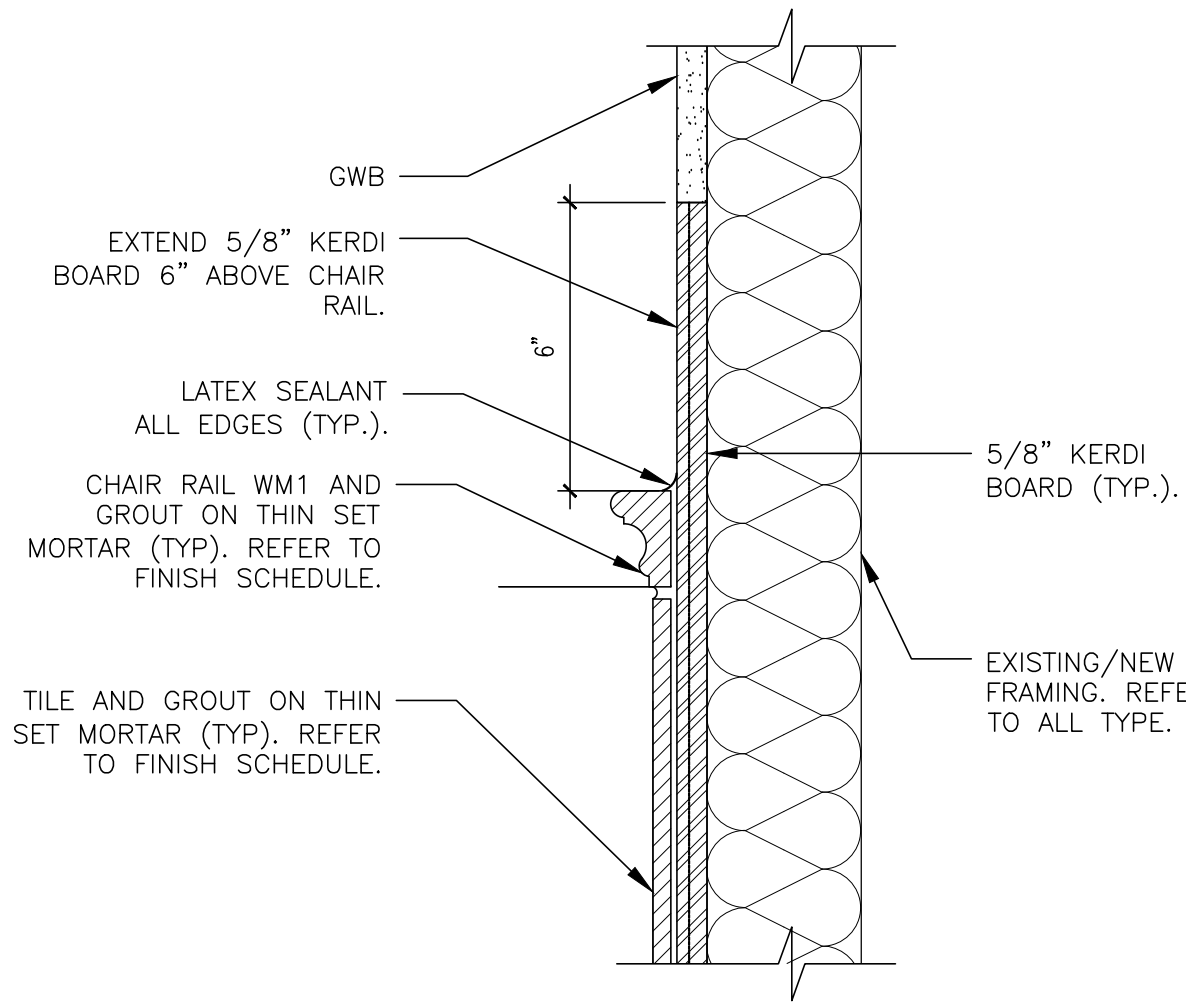
B1 ENLARGED PLAN DETAIL
TYPICAL TILE TO TILE
INSIDE-CORNER
SCALE: 3" = 1'-0"



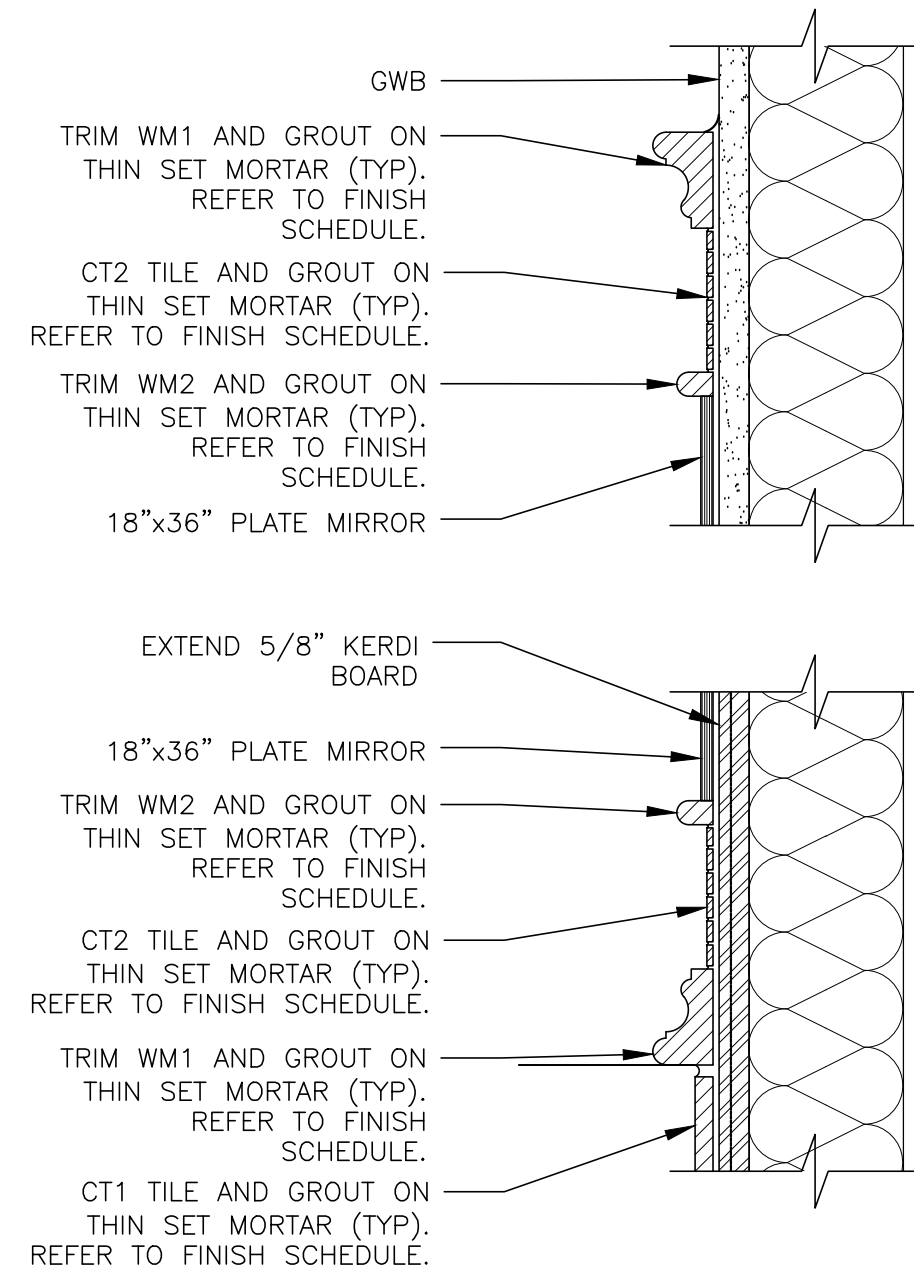
B2 ENLARGED PLAN DETAIL
TYPICAL TILE TO TILE
INSIDE-CORNER
SCALE: 3" = 1'-0"



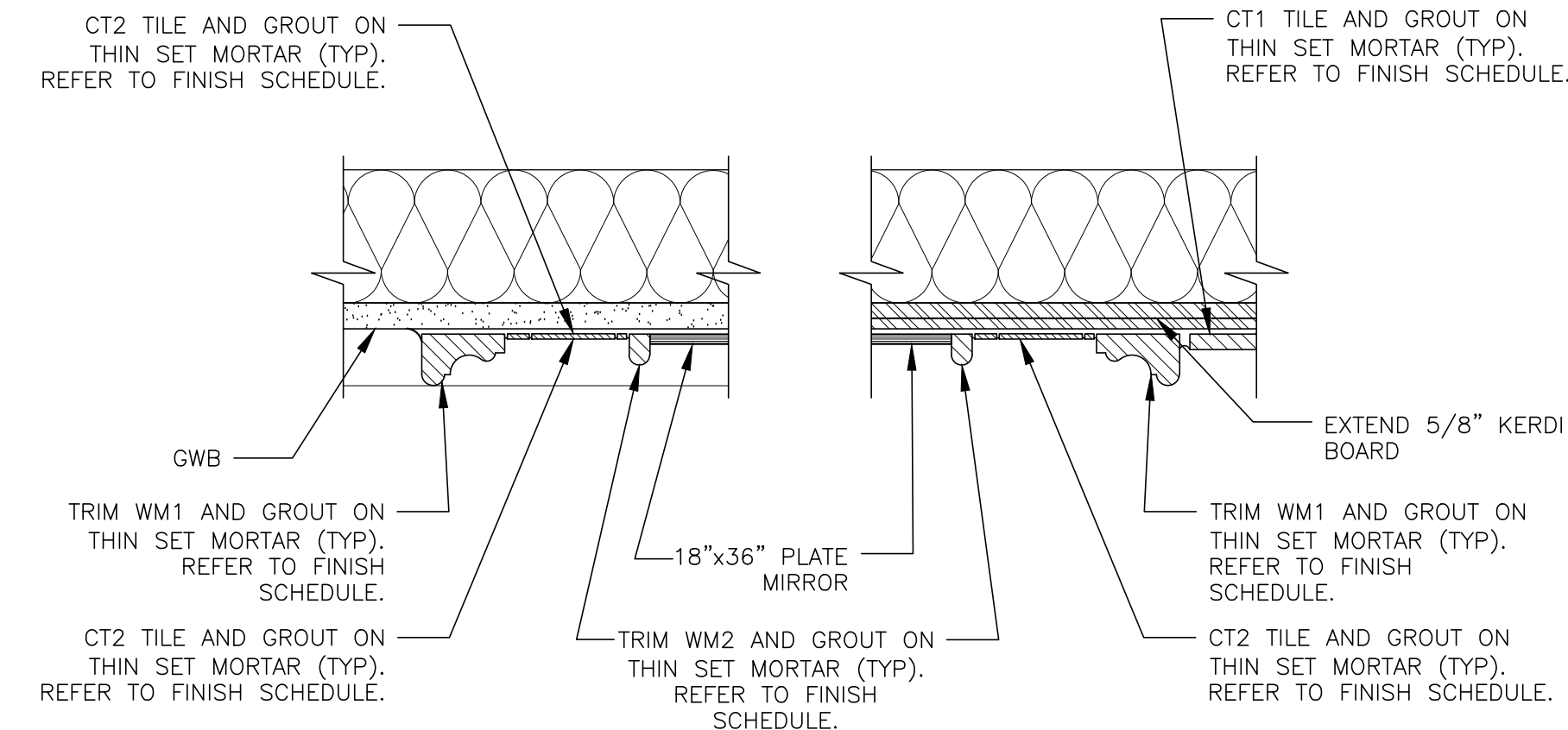
B3 ENLARGED SECTION DETAIL
TYPICAL TILE WALL TO FLOOR TRANSITION
REFER TO ELEVATIONS FOR LOCATIONS
SCALE: 3" = 1'-0"



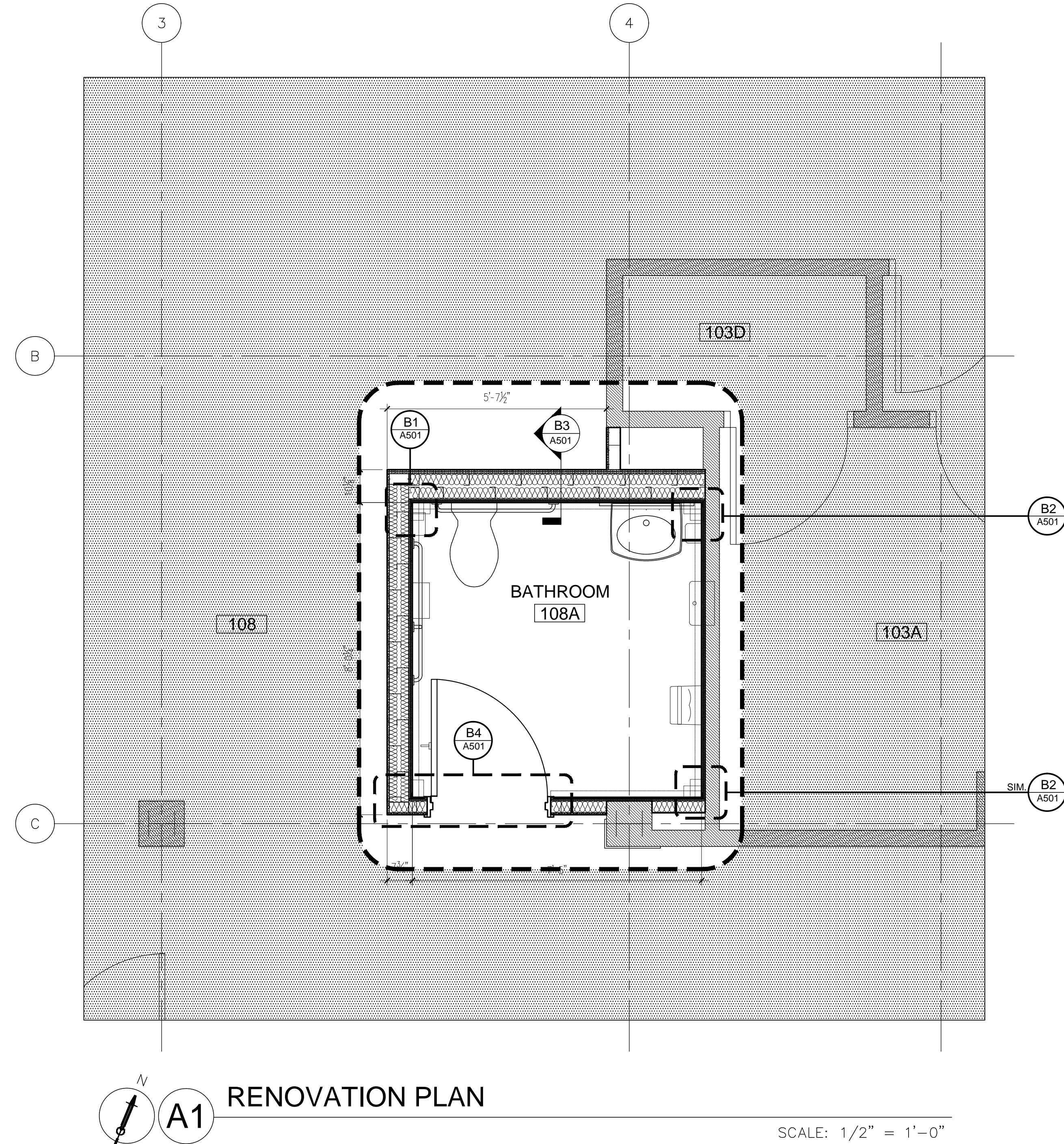
B4 CHAIR MOULDING SECTION DETAIL
TYPICAL TILE WALL TO FLOOR TRANSITION
REFER TO ELEVATIONS FOR LOCATIONS
SCALE: 3" = 1'-0"



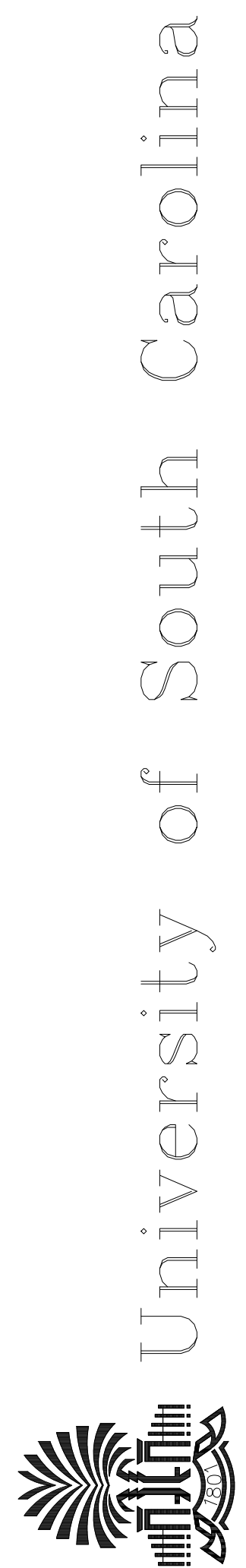
B5 ENLARGED SECTION DETAIL
TYPICAL TILE WALL TO FLOOR TRANSITION
REFER TO ELEVATIONS FOR LOCATIONS
SCALE: 3" = 1'-0"



A2 ENLARGED SECTION DETAIL
SCALE: 3" = 1'-0"



A1 RENOVATION PLAN
SCALE: 1/2" = 1'-0"



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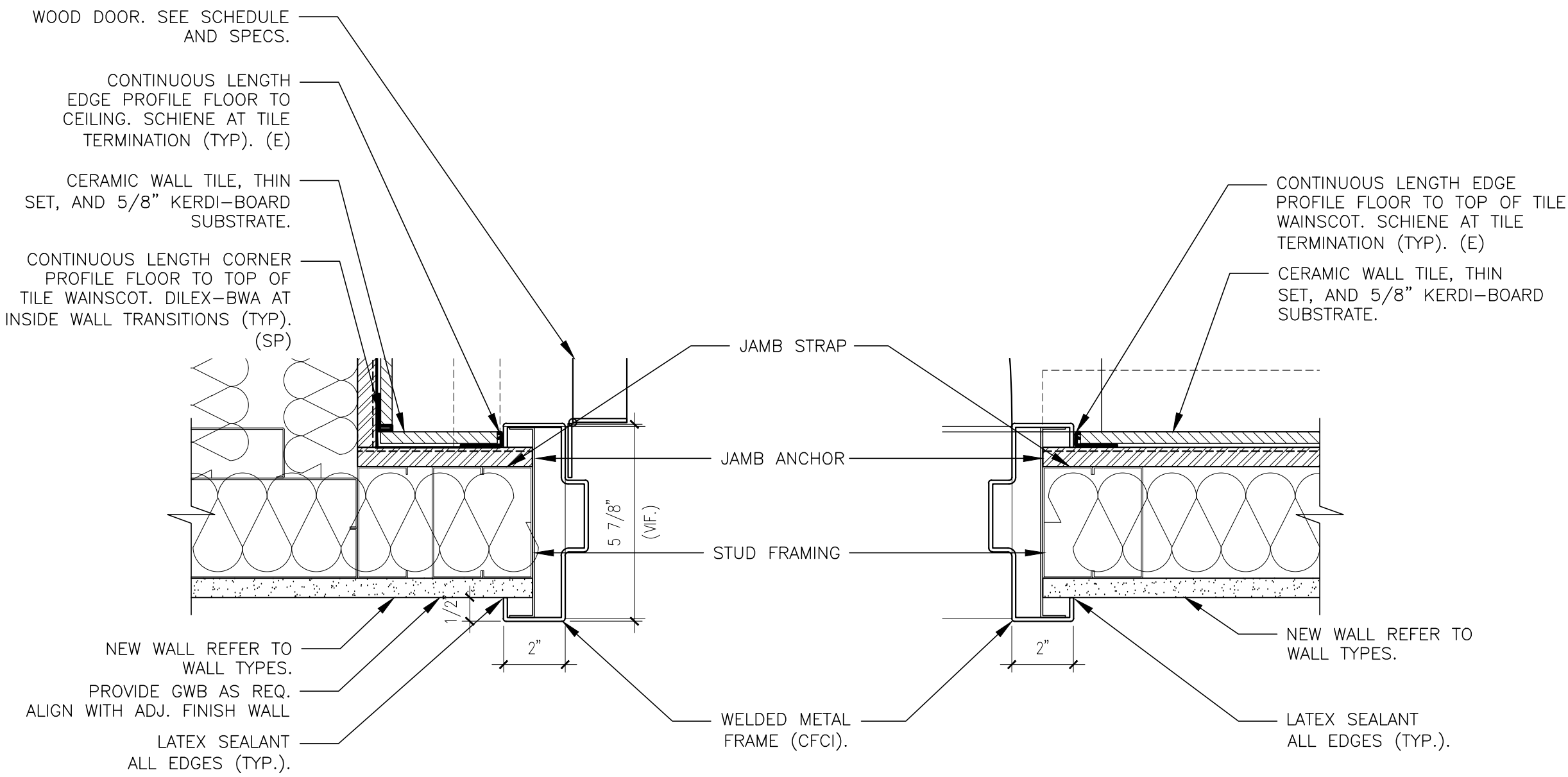
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PLAN
DETAILS

Date: 5.23.16
Drawn: IAP
Checked: MEC

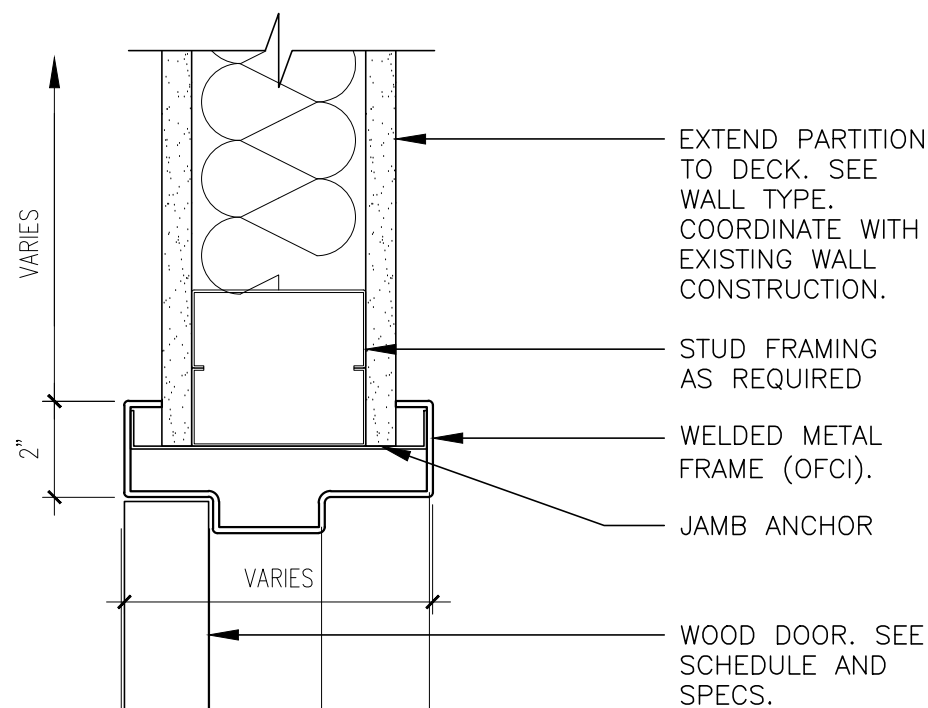
A501

DOOR SCHEDULE															FINISH SCHEDULE											
DOOR NUMBER	DOOR						FRAMES						FIRE RATING		NOTES:	NAME	NAME	FLOOR	BASE	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	CEILING	NOTES	
	SIZE	MATERIAL	ELEVATION	FR. SIZE		MATERIAL	FRAME ELEVATION	HARDWARE SET	JAMB DETAIL	HEADER DETAIL	RATING	PANIC HW.				CLOSER	108A	BATHROOM	CT1	CT1/WC2	CT1/WC2	CT1/WC2	CT1/WC2	CT1/WC2	ACT1	EXISTING WALL COVERING TO REMAIN. NEW WALLS TO RECEIVE WC1
				W.	H.												10B	LOBBY	VCT	RB1	WC1	WC1	WC1	WC1	EXIST	
															HARDWARE SCHEDULE											
															NOTES:											
															SET NUMBER DOORS FINISH											
															SET1											
															3 HINGES HAGER BB1279 4-1/2" x 4-1/2" US26D											
															1 PRIVACY SET CORBIN RUSSWIN ML2075 M19VN BHMA 63D											
															1 CLOSER DORMA B916 AFB9P AL											
															1 KICKPLATE HAGER 190S 8" x 2" LDW US32D											
															1 WALL STOP HAGER 236W US32D											
															3 DOOR SILENCERS											



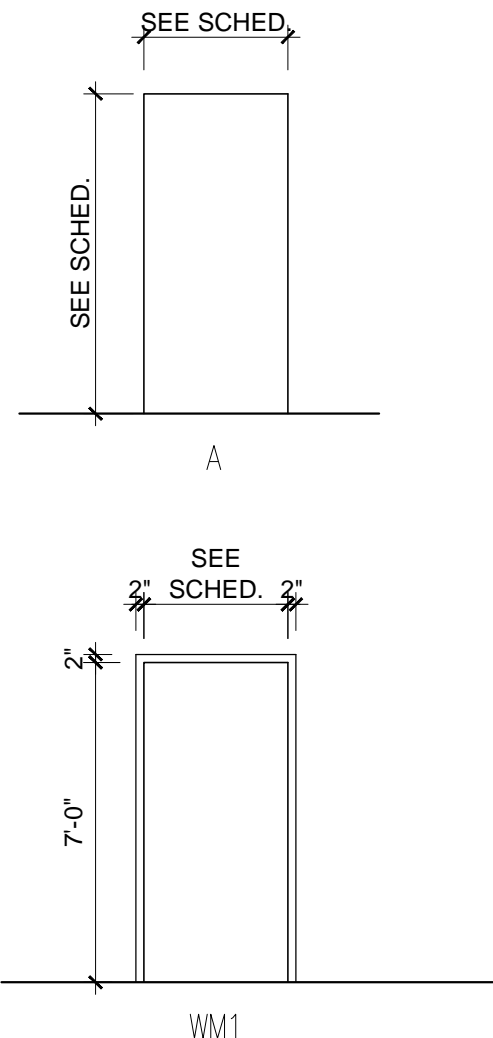
B1 DOOR JAMB DETAILS

SCALE: 3" = 1'-0"



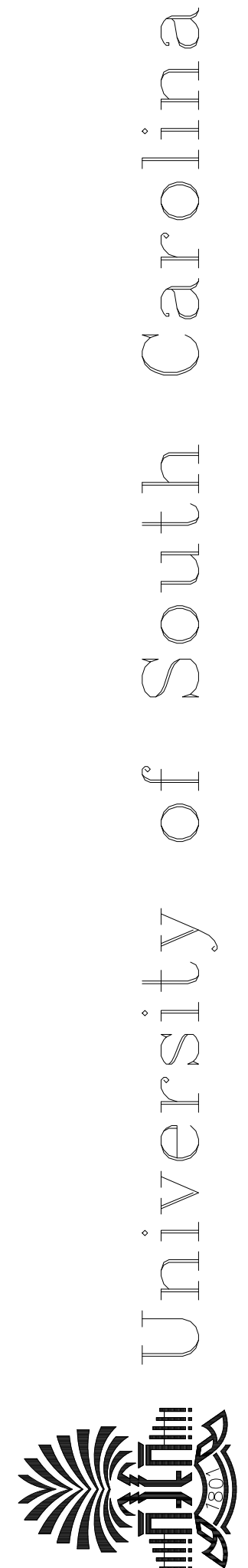
A1 DOOR HEADER DETAIL

SCALE: 3" = 1'-0"



A2 DOOR AND FRAME ELEV.

SCALE: 1/4" = 1'-0"



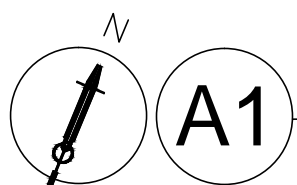
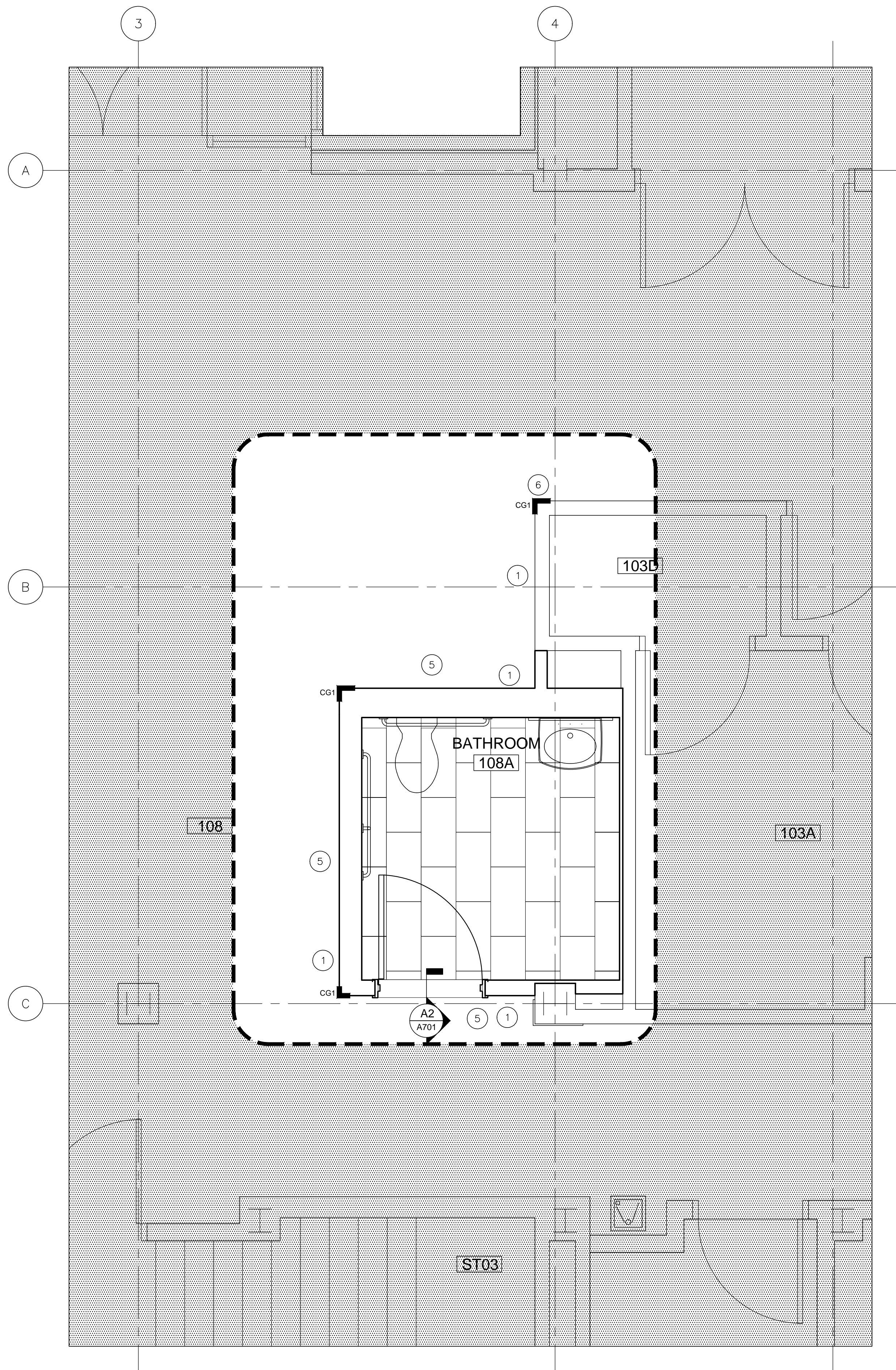
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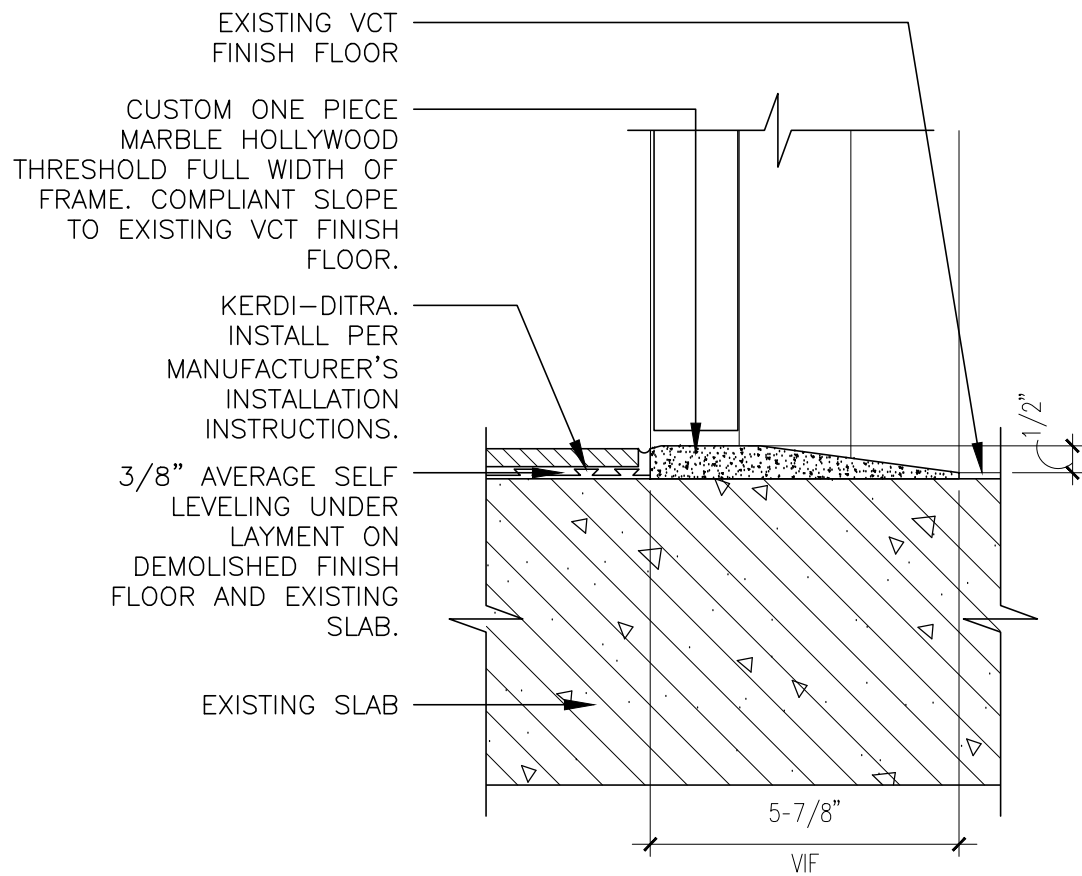
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FINISH & DOOR SCHEDULES		
Date:	5.23.16	A600
Drawn:	IAP	
Checked:	MEC	



FINISH PLAN

SCALE: 1/2" = 1'-0"



THRESHOLD DETAIL

SCALE: 3" = 1'-0"

KEYED FINISH NOTES

- 1 PROVIDE RUBBER BASE AT PERIMETER OF LOBBY AND BATHROOM.
- 2 NOT USED.
- 3 NOT USED.
- 4 NOT USED.
- 5 EXISTING FLOOR FINISH TO REMAIN.
- 6 PROVIDE 1" OVERLAP SPLICE IN WALL COVERING AT CORNER.

GENERAL FINISH NOTES

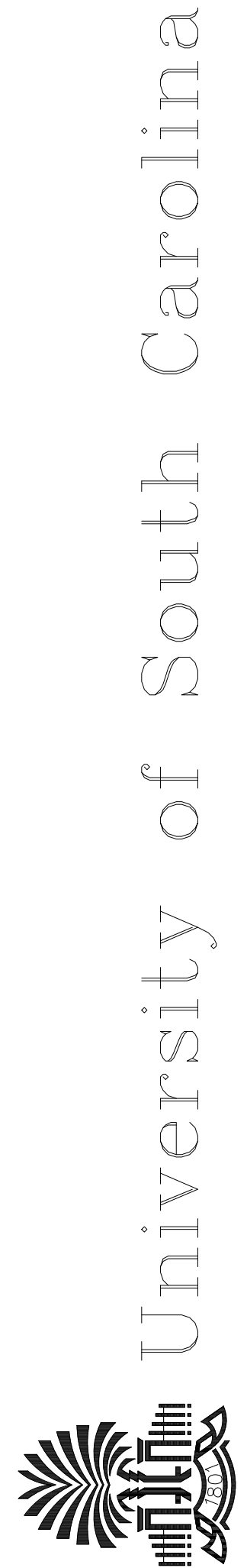
1. ALL DOORS, DOOR FRAMES, TRIM, AND PLINTH BLOCKS TO BE PT1 COMPLETE, UNLESS NOTED OTHERWISE. MASK OFF AND DO NOT PAINT DOOR HARDWARE. PATCH EXISTING DENTS, DINGS, HOLES, ETC IN DOORS AND FRAMES PRIOR TO PAINTING.
2. REFER TO INTERIOR ELEVATIONS, SHEETS A201 AND A202 FOR TILE, WALL, ACCESSORIES, AND OTHER LIMITS.
3. ANY CUT, PATCH, DAMAGED, OR UNSIGHTLY WALL CONDITION SHALL BE PATCHED AND PAINTED FROM CORNER TO CORNER; TO INCLUDE THE ENTIRE WALL. REFER TO SPECIFICATION.
4. ALL NEW OMB SURFACES TO RECEIVE INTERIOR GWB PRIMER #45 & TWO COATS INTERIOR EGG-SHELL EPOXY.
5. ALL FINISHES TO BE COORDINATED WITH OWNER AND ARCHITECT IN A FINISHES COORDINATION MEETING PRIOR TO DEMOLITION.
6. FINISHES ARE TO BE INSTALLED PER MANUFACTURER'S COMPREHENSIVE WRITTEN INSTRUCTIONS.
7. ROOM NAMES AND NUMBERS ARE FOR CONSTRUCTION PURPOSES ONLY.
8. NEW HOLLOW METAL FRAMES TO BE PT1 TYP. TWO FINISH COATS INTERIOR SEMI-GLOSS ACRYLIC ENAMEL OVER INTERIOR FERROUS METAL PRIMER. CONFIRM WITH ARCHITECT.
9. NO WALL OR FLOOR TILE IS TO BE INSTALLED WITH DOG EARS, CHIPS, SCRATCHES, DINGS OR OTHER BLEMISHES. ARCHITECT TO REVIEW INSTALLED TILE PRIOR TO GROUTING.
10. ALL VERTICAL FACES OF DRYWALL SOFFITS TO BE PAINTED AND FINISHED TO MATCH ROOM PAINT COLOR, UNLESS INDICATED TO RECEIVE TILE ON INTERIOR ELEVATIONS.
11. REFER TO SPECIFICATIONS FOR DETAILED INFORMATION REGARDING FINISH MATERIALS.
12. FURNITURE AND FIXTURES ARE SHOWN FOR REFERENCE ONLY.
13. ALL FLOORING TRANSITIONS OCCUR AT THE CENTERLINE OF ALL DOORS, UNO.
14. PROVIDE ADA & ANSI 117.1 COMPLIANT THRESHOLD WHERE FLOOR CHANGES LEVEL OR MATERIAL.

MATERIAL LEGEND

CERAMIC TILE	
CT1:	FLOOR, WALLS EMIL AMERICA – MARMO ACERO – PERLATO SCURO – 12"x24"
CT2:	MOSAIC ACCENT ELYSIUM, ARTISTIC MOSAICS, SERIES: JEWEL, COLOR: PRINCES
WALL MOULDING	
WM1:	BEDROSIANS, LAGOS AZUL 2"x12" CHAIR RAIL.
WM2:	BEDROSIANS, LAGOS AZUL 3/4"x12" CANE.
TILE PROFILES	
PRF1 (CT1):	DILEX SCHIENE FLOOR JOINT, E100, STAINLESS STEEL 304.
PRF2 (CT2):	DILEX BWA PERIMETER JOINT, BWA 125 PG, CLASSIC GREY. (12.5 MM – 1/2")
PRF3 (CT2):	DILEX EKE CORNER JOINT, EKE U11/O10 PG, CLASSIC GREY.
PFF4 (CT3):	DILEX BWA PERIMETER JOINT, BWA 80 PG, CLASSIC GREY.
PRF5 (CT3):	DILEX EKE CORNER JOINT, EKE U8/O7 PG, CLASSIC GREY.
TILE GROUT	
GRT1:	FLOOR, WALLS ARDEX, STORMY MIST #25 OR APPD EQUAL.
RUBBER BASE	
RB1:	JOHNSONITE, RECESS PROFILE #179 STEEL.
WALL COVERING	
WC1:	MAHARAM, TRAVERSE #399587, COLOR: 002 PRAIRIE.
WC2:	COLOUR & DESIGN, SHIMMER WEAVE, #CD2-SMW-02
CEILING TILE	
ACT1:	ARMSTRONG MESA ANGLED TEGULAR LAY-IN TILE 601 (2X2), WITH ARMSTRONG PRELUDE XL 15/16 EXPOSED TEE.
WALL PROTECTION	
CG1:	SM-20N. ACROVYN 4000. COLD R 194 CHINCHILLA
PAINT	
PT1:	SEMI-GLOSS, TO MATCH SHERWIN WILLIAMS #7642 "PAVESTONE"
PT2:	FLAT, TO MATCH SHERVIN WILLIAMS #7002 "DOWNY"
FLOORING	
VCT1:	MATCH EXISTING BEIGE VCT TILE.
VCT2:	MATCH EXISTING WHITE VCT TILE.
VCT3:	MATCH EXISTING GREEN VCT TILE.

FINISH LEGEND

	EXISTING TO REMAIN
	CT1
	VCT1
	VCT2
	VCT3
	PROVIDE MARBLE THRESHOLD. ALIGN UNDER CLOSED DOOR.
	CORNER GUARD



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FINISH PLANS
& MATERIAL
LEGEND

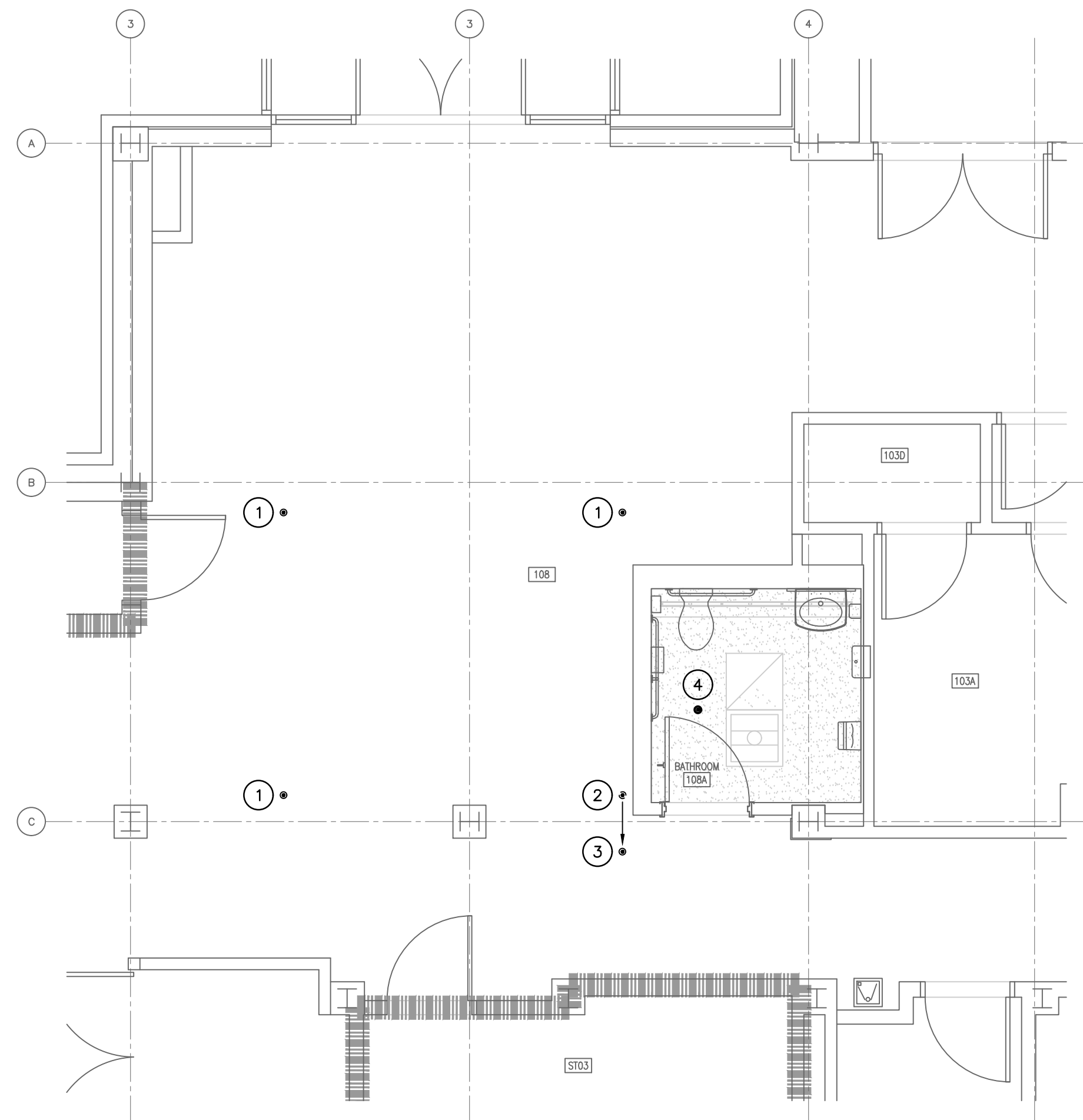
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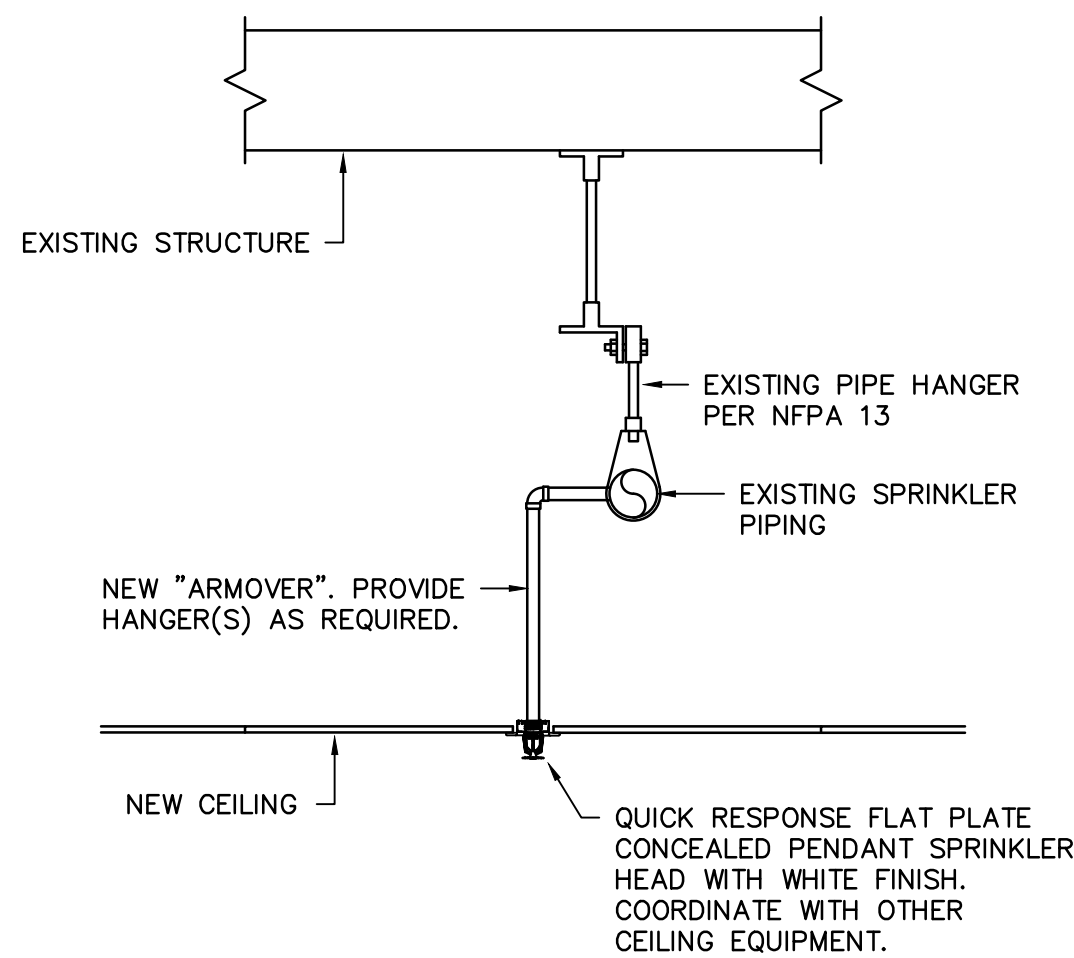
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1
FP100

RENOVATION FLOOR PLAN

SCALE: 1/4" = 1'-0"



2 SPRINKLER DETAIL

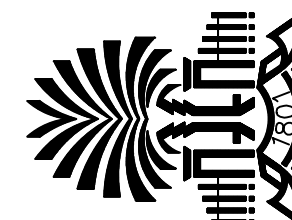
NO SCALE

NOTES TO SHEET

1. APPROXIMATE LOCATION OF EXISTING SPRINKLER HEAD TO REMAIN.
2. APPROXIMATE LOCATION OF EXISTING SPRINKLER HEAD TO BE RELOCATED.
3. EXISTING SPRINKLER HEAD TO BE RELOCATED APPROXIMATELY 2'-0". CENTER IN GRID.
4. CONTRACTOR SHALL INSTALL NEW SPRINKLER HEAD IN NEW BATHROOM. HEAD SHALL CONNECT TO EXISTING SPRINKLER SYSTEM MAIN WITH NEW TAP AND BRANCH OVER TO NEW LOCATION WITH HARD PIPE. PROVIDE HANGERS PER NFPA 13 - 2010 EDITION. NEW HEAD TO BE FLAT PLATE CONCEALED WITH WHITE FINISH TO MATCH EXISTING.

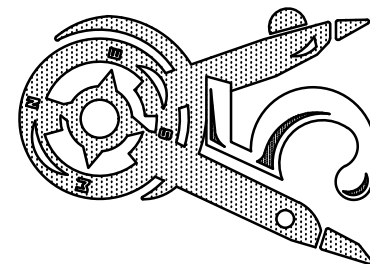
GENERAL NOTES

1. SUBMIT DRAWINGS INDICATING EXACT LOCATION OF ALL SPRINKLER HEADS FOR ARCHITECTS REVIEW AND BRING ALL FIELD CONFLICTS AND REQUIRED ADJUSTMENTS TO THE ARCHITECTS ATTENTION FOR VERIFICATION OF FINAL LOCATION OF ALL SPRINKLER HEADS.
2. SPRINKLER DRAWINGS PROVIDED ARE TO ASSIST THE CONTRACTOR. SUCCESSFUL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF A COMPLETE SYSTEM PER THESE PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ALL APPLICABLE CODES.
3. THE DESIGN TEAM, TO INSURE COMPATIBILITY WITH THE BUILDING DESIGN INTENT, WILL CAREFULLY REVIEW SPRINKLER PLANS. CORRECTIONS WILL BE MADE BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
4. SPRINKLER HEADS SHALL BE CENTERED IN GRID IN ALL ACOUSTICAL CEILING TILES.
5. ALL PIPING 2-1/2" AND LARGER SHALL BE SCHEDULE 10 STEEL PIPING AND ALL PIPING SMALLER THAN 2-1/2" SHALL BE SCHEDULE 40 STEEL PIPING.



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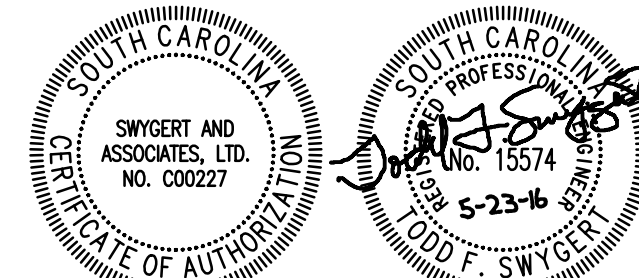
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FLOOR PLANS AND NOTES

Date: 11/23/16

Drawn: DEM

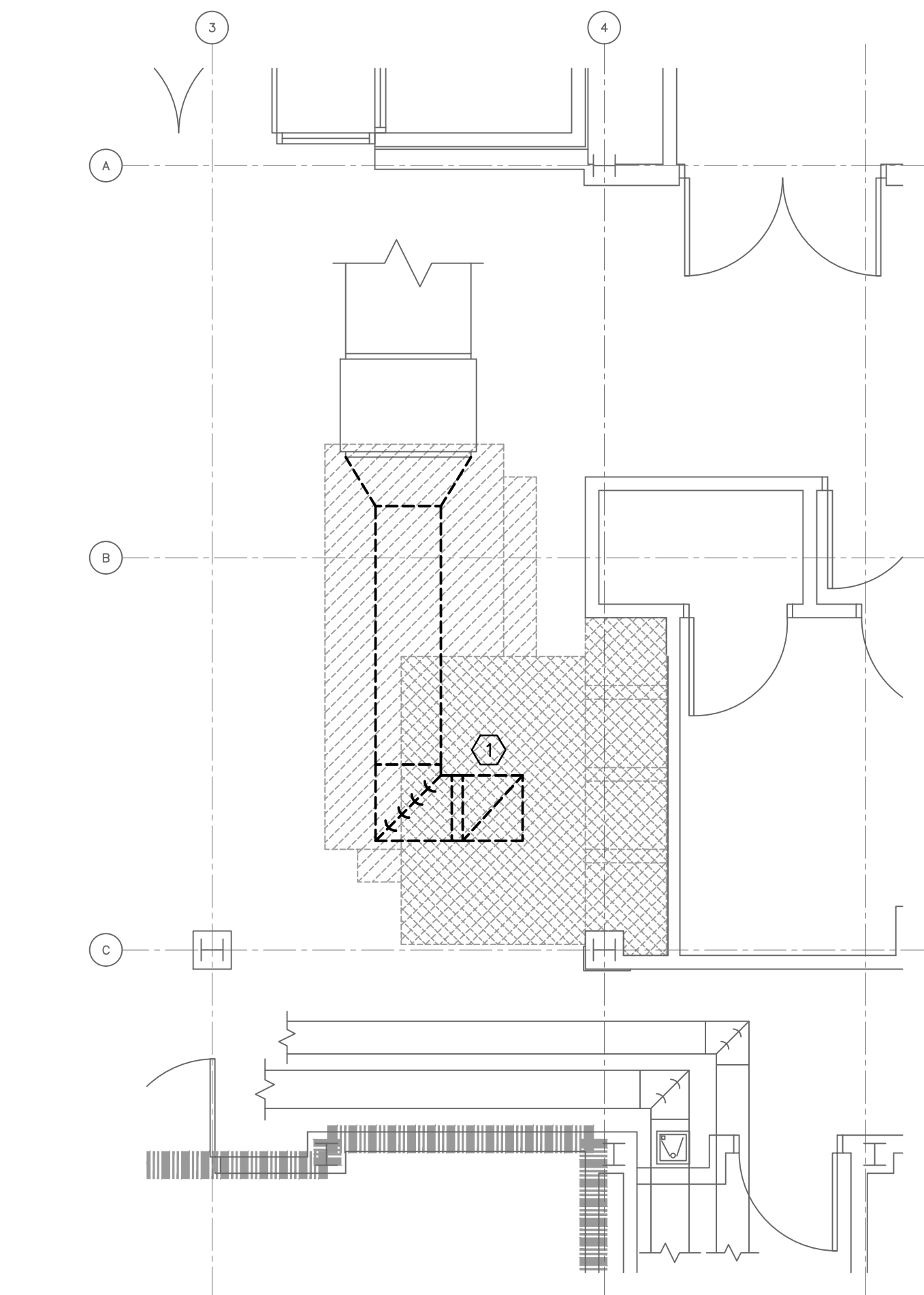
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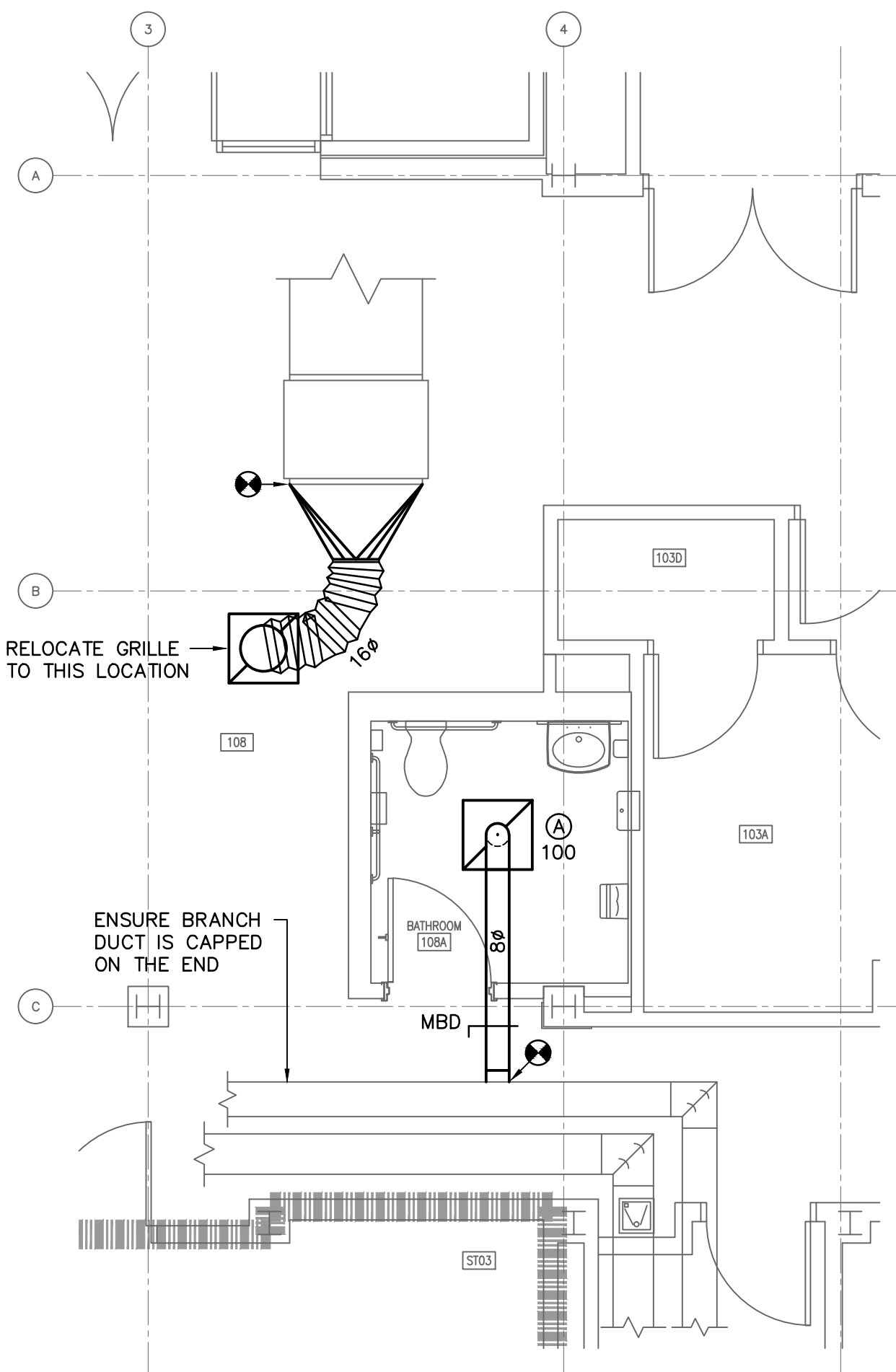
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1 DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"



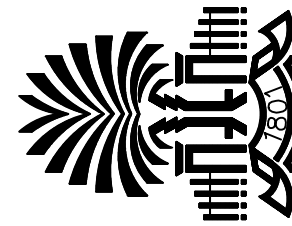
2 SUPPLY PIPING RENOVATION FLOOR PLAN
SCALE: 1/4" = 1'-0"

AIR DISTRIBUTION SCHEDULE								
TAG	DESCRIPTION	MANUFACTURER	MODEL	FRAME	CFM	NECK SIZE	FACE SIZE	MAX NC
A	PERFORATED EXHAUST	PRICE	APDDR	LAY-IN	0-100	22"x22"	24"x24"	30
1. PROVIDE WITH STANDARD WHITE FINISH. 2. PROVIDE ALUMINUM OR ALUMINIZED STEEL CONSTRUCTION.								

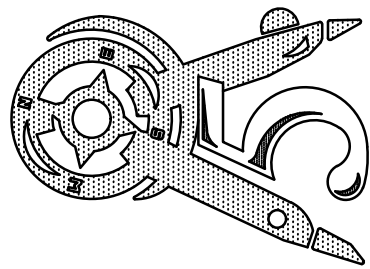
DEMOLITION NOTES	
1	RELOCATE EXISTING RETURN GRILLE TO LOCATION SHOWN ON RENOVATION PLAN. COORDINATE WITH EXISTING LIGHTING.

GENERAL NOTES	
1.	VISIT SITE PRIOR TO BIDDING. THIS CONTRACTOR SHALL DETERMINE DIFFICULTY OF INSTALLATION AND REFLECT THIS IN HIS BIDDING.
2.	DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF DOORS, WINDOWS, AIR DISTRIBUTION, ETC.
3.	DO NOT SCALE DRAWINGS. THIS CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND LOCATIONS IN THE FIELD.
4.	ALL DUCTWORK LOCATIONS SHALL BE COORDINATED WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID INTERFERENCE.
5.	EXISTING PIPE, DUCTWORK, CONDUIT, ETC. THAT INTERFERES WITH THE ROUTING OF NEW SYSTEMS SHALL BE RELOCATED. THIS CONTRACTOR SHALL INCLUDE THE COST OF SUCH IN HIS BID UNLESS NOTED OTHERWISE.
6.	ALL MECHANICAL ITEMS EXTENDING THROUGH WALLS SHALL BE FLASHED.
7.	THIS CONTRACTOR SHALL PROVIDE ALL ITEMS OF MISCELLANEOUS STEEL AS REQUIRED FOR INSTALLATION OF ALL MECHANICAL ITEMS.
8.	CORRECT SETTINGS ON ALL BALANCING FITTINGS SHALL BE PERMANENTLY MARKED. PROVIDE ORANGE FLAGGING RIBBON ON EACH DAMPER HANDLE FOR EASY IDENTIFICATION.
9.	THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY DISMANTLING OF EQUIPMENT TO BE REMOVED. ITEMS REMOVED UNDER THIS CONTRACT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY.

LEGEND	
SYMBOL	DESCRIPTION
A100	TYPE "A" DIFFUSER, 100 CFM
MBD	MANUAL OPPOSED BLADE BALANCING DAMPER
[Symbol]	RETURN, EXHAUST, FRESH AIR DUCTWORK
[Symbol]	CONNECTION POINT OF NEW TO EXISTING



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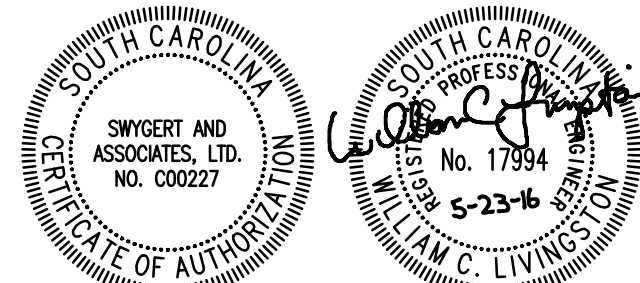
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FLOOR PLANS, NOTES,
SCHEDULE, AND LEGEND

Date: 11/23/16
Drawn: DEM
Checked: WCL

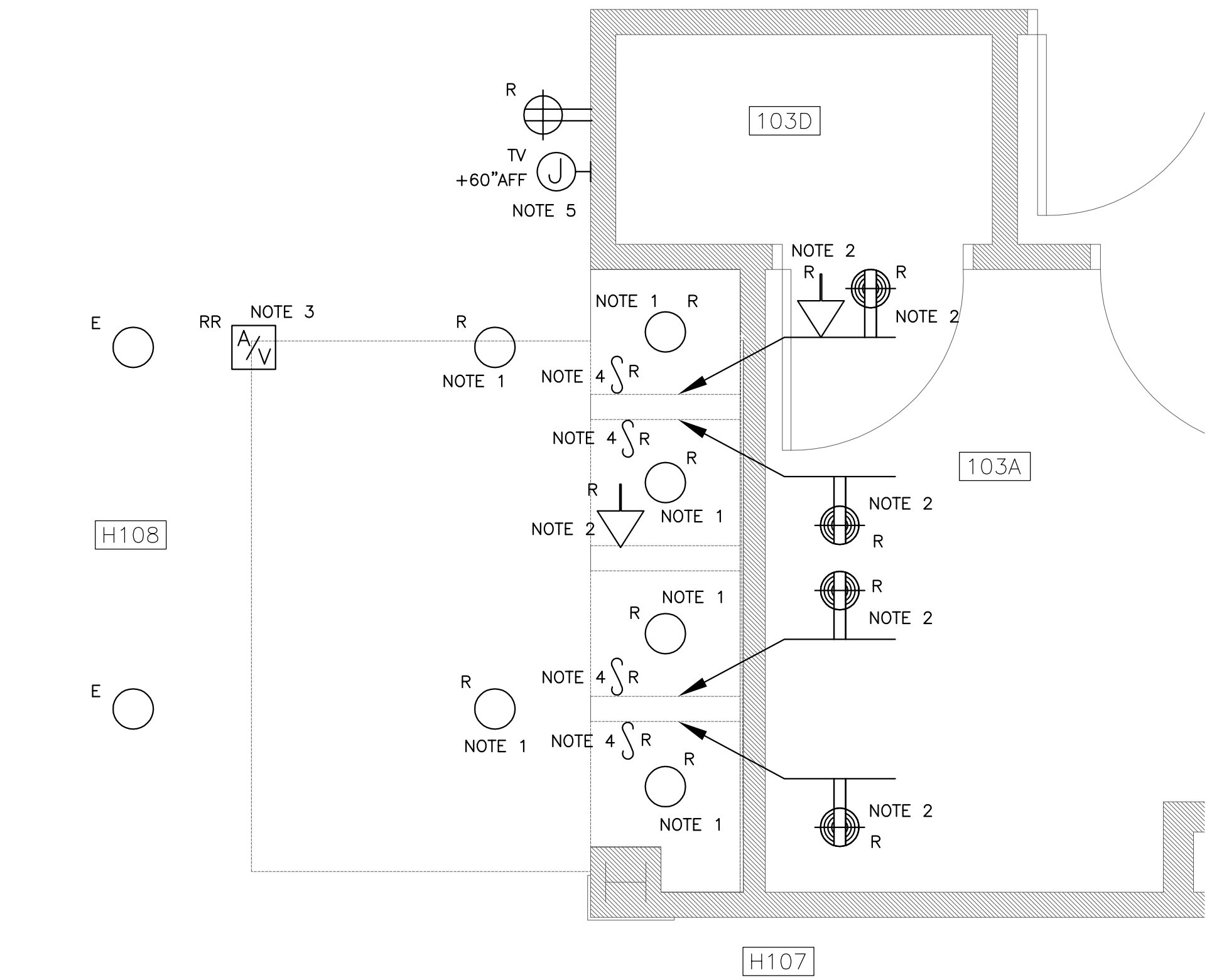


Swygert & Associates
CONSULTING ENGINEERS
DBA Swygert & Assoc., Ltd. Telephone: (803) 791-9300
Post Office Box 11686 Fax/Facsimile: (803) 791-0830
Columbia, S.C. 29211 mail@swygert-associates.com

M100

GENERAL NOTES
1. EXISTING BRANCH CIRCUITS LISTED WERE TAKEN FROM AS-BUILT DOCUMENTS AND HAVE NOT BEEN FIELD VERIFIED. CONTRACTOR SHALL FIELD VERIFY SOURCE OF BRANCH CIRCUITS PRIOR TO WORK.
2. ALL CIRCUITS SHALL BE 2#12, 1#12 GND. IN 3/4"C. UNLESS NOTED OTHERWISE. MC CABLE SHALL NOT BE USED.
3. ALL WORK SHALL COMPLY WITH NFPA70.2011 (NATIONAL ELECTRIC CODE).
4. ELECTRICAL LAYOUT DRAWINGS ARE DIAGRAMMATIC. COORDINATE ALL WORK WITH ARCHITECTURAL, CIVIL, STRUCTURAL, AND MECHANICAL CONTRACT DOCUMENTS AND EXISTING CONDITIONS.
5. INSTALL THE ELECTRICAL SYSTEM WITHOUT INTERFERING WITH DUCTS, PIPES, STRUCTURAL STEEL, OR OTHER SYSTEMS.
6. LOCATE LIGHTING FIXTURES SYMMETRICALLY IN THE PROPER RELATION TO FINISHED AREAS, EXCEPT WHERE DIMENSIONED ON DRAWINGS OR LOCATED ON REFLECTED CEILING PLAN.
7. PROVIDE TWO #12 STEEL, SLACK CABLES TO STRUCTURE FROM EACH FIXTURE MOUNTED IN A GRID CEILING.
8. EMT FITTINGS SHALL BE OF THE COMPRESSION TYPE. SET SCREW OR INDENTOR TYPE FITTINGS SHALL NOT BE USED.
9. WALL PENETRATIONS FOR RACEWAYS SHALL BE PROVIDED BY ELECTRICAL CONTRACTOR. PROVIDE FIRESTOPPING AROUND RACEWAYS PENETRATING NEW AND EXISTING RATED WALLS PER ARCHITECTURAL DRAWINGS. PROVIDE DRAFTSTOP SEAL AT NON-RATED WALLS.

GENERAL LIGHTING NOTES
1. LIGHTING FIXTURE MANUFACTURERS LISTED ARE BASES OF DESIGN. PRIOR APPROVED EQUAL IS DEFINED TO BE A MANUFACTURER CAPABLE OF PROVIDING A FIXTURE EQUAL TO THE BASIS OF DESIGN. BASIS OF DESIGN FIXTURES WERE SELECTED BASED ON FAST LEAD TIMES TO MEET STRICT PROJECT SCHEDULE. ANY ALTERNATE FIXTURES MUST BE ABLE TO MAINTAIN PROJECT SCHEDULE. PRIOR APPROVED EQUAL MANUFACTURERS ARE AS LISTED BELOW.
1.1 TYPE A: LITHONIA, COLUMBIA, DAY-BRITE, METALUX, JUNO, FOCALPOINT, AXIS, HE WILLIAMS, PINNACLE, FINELITE, LITECONTROL.
2. LOCATE LIGHTING FIXTURES SYMMETRICALLY IN THE PROPER RELATION TO FINISHED AREAS, EXCEPT WHERE DIMENSIONED ON DRAWINGS OR LOCATED ON REFLECTED CEILING PLANS. COORDINATE LIGHTING FIXTURE LOCATIONS WITH EQUIPMENT IN EQUIPMENT ROOMS. NOTIFY A/E OF CONFLICTS PRIOR TO ANY ROUGH-IN INSTALLATION.
3. LIGHTING FIXTURE CATALOG NUMBERS ARE INDICATIVE OF THE STYLE OF THE FIXTURE REQUIRED. CONTRACTOR SHALL PROVIDE FIXTURES WITH THE PROPER TRIM, VOLTAGE, AND OPTIONS NECESSARY FOR INSTALLATION.
4. PROVIDE TWO #12 STEEL, SLACK CABLES TO STRUCTURE (STUDS MOUNTED AT PLASTER CEILING) FROM EACH FIXTURE MOUNTED IN A GRID CEILING.

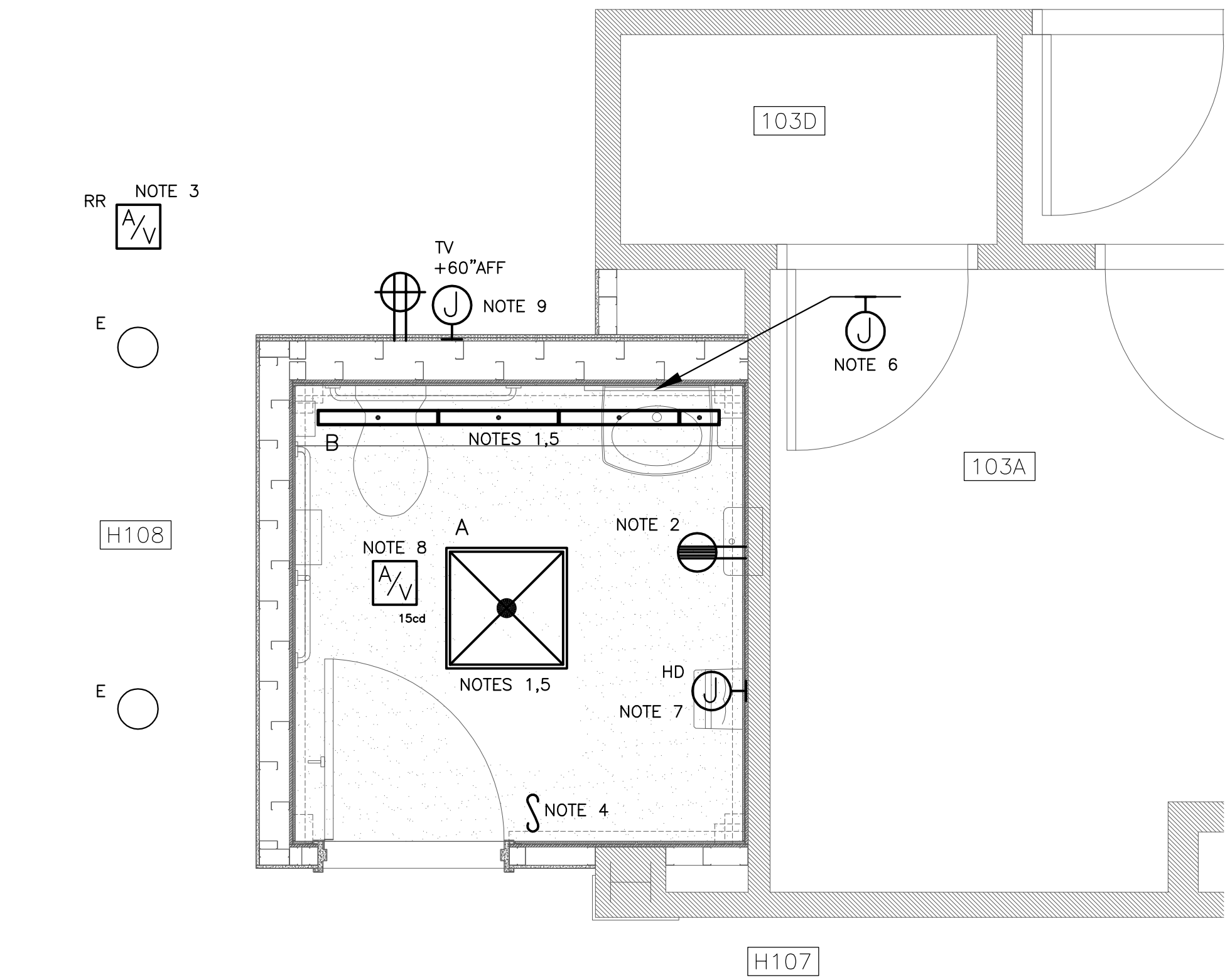


E1 1ST FLOOR ELECTRICAL DEMOLITION PLAN
SCALE: 1/2" = 1'-0"

LIGHTING FIXTURE SCHEDULE							
SYMBOL	TYPE	DESCRIPTION	MANUFACTURER	MODEL NUMBER	OPTICAL ELEMENT	MOUNTING	VOLTS
	A	2'x2' L.E.D. ARCHITECTURAL GRID TROFFER WITH INTEGRAL BATTERY PACK	CREE	CR22-32L-35K-S-EB14	.125 ACRYLIC LENS	GRID	120
	B	LED RECESSED LINEAR SLOT TYPE FIXTURE	PINNACLE	E2A-30-XX-SF-UNV-1C-W (PROVIDE EXACT LENGTH AS SHOWN ON ARCHITECTURAL REFLECTED CEILING PLAN)	.125 ACRYLIC LENS	RECESSED	120
	E/R	EXISTING FLOURESCENT DOWNLIGHT FIXTURE RECESSED IN CEILING (SEE DEMOLITION/RENOVATION NOTATION SCHEDULE)			NONE	RECESSED	120

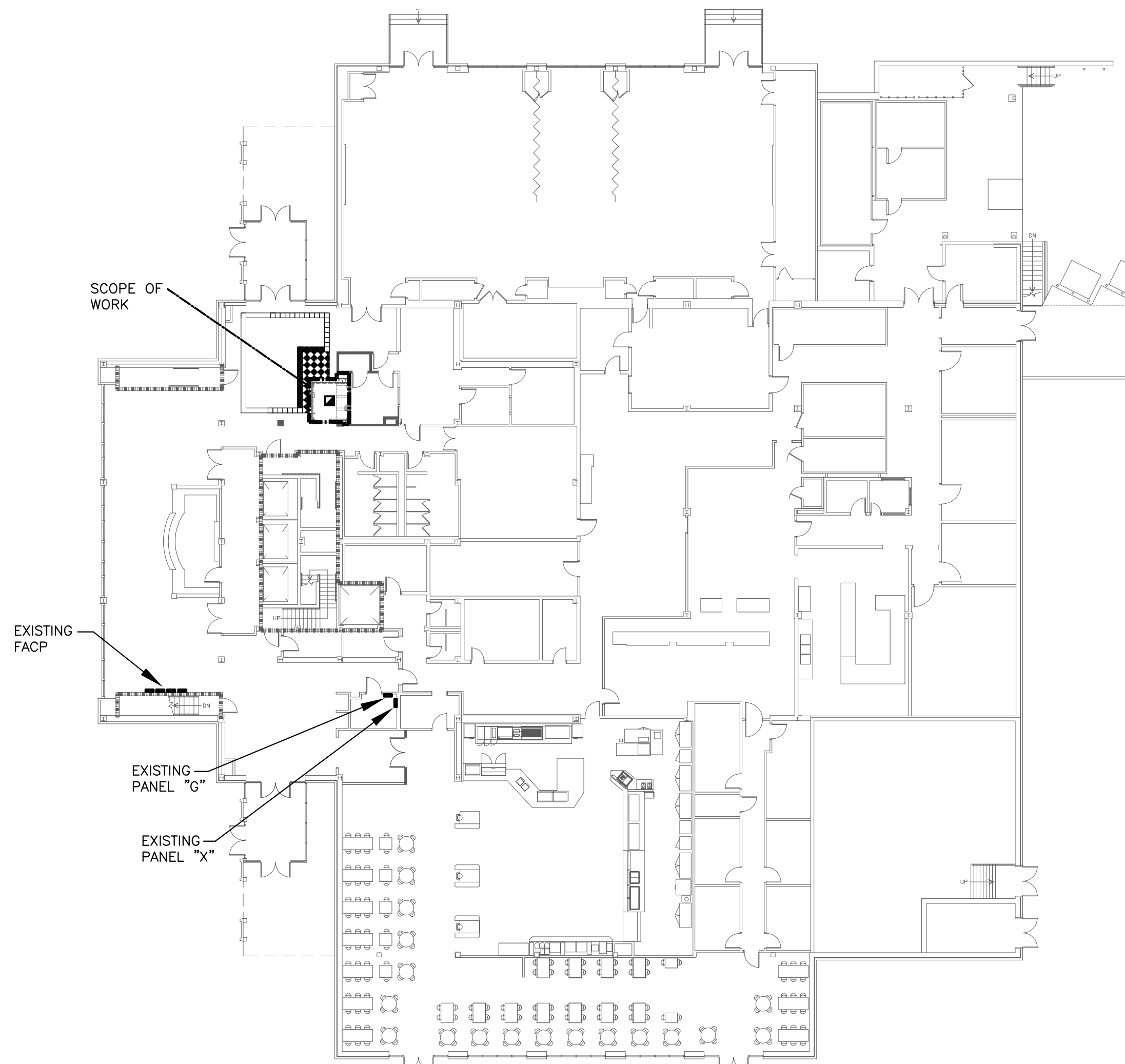
ELECTRICAL SYMBOL LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SINGLE POLE SWITCH, FLUSH MOUNTED 48" AFF IN WALL, UNLESS INDICATED OTHERWISE.		EXISTING SINGLE POLE SWITCH, FLUSH MOUNTED 48" AFF IN WALL.
	DUPLEX "GFCI" TYPE RECEPTACLE, WALL MOUNTED 18" AFF.		EXISTING DUPLEX RECEPTACLE, SURFACE MOUNTED ON WALL AT 60" AFF.
	DUPLEX RECEPTACLE, WALL MOUNTED 60" AFF.		EXISTING DUPLEX "USB" TYPE RECEPTCALE, SURFACE MOUNTED ON WALL AT 42" AFF.
	JUNCTION BOX, WALL MOUNTED 18" AFF UNLESS OTHERWISE NOTED.		EXISTING DATA STATION, FLUSH MOUNTED 42" AFF IN WALL.
	COMBINATION AUDIO/VISUAL ALARM UNIT. SEMI-FLUSH MOUNT UNIT IN CEILING. NUMBER INDICATES CANDELA RATING.		EXISTING COMBINATION AUDIO/VISUAL ALARM UNIT. SEMI-FLUSH MOUNTED UNIT IN CEILING.
SEE DEMOLITION/RENOVATION NOTATION FOR ADDITIONAL INFORMATION ON SCOPE FOR EXISTING DEVICES/EQUIPMENT.			

ALL HEIGHTS INDICATED SHALL BE TO CENTERLINE OF BOX; SWITCHES SHALL BE INSTALLED AT ADA-COMPLIANT HEIGHT (48" AFF MAXIMUM TO TOGGLE).



E2 1ST FLOOR ELECTRICAL RENOVATION PLAN
SCALE: 1/2" = 1'-0"

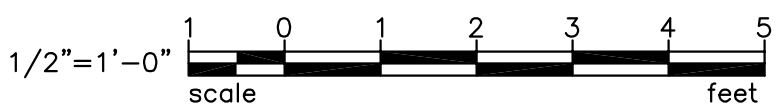
DEMOLITION/RENOVATION NOTATION
E EXISTING FIXTURE OR DEVICE TO REMAIN IN PLACE. REPLACE ANY BROKEN DEVICES OR PLATES. COLOR TO MATCH EXISTING.
R EXISTING FIXTURE OR DEVICE TO BE REMOVED BY THE ELECTRICAL CONTRACTOR. MAINTAIN CONTINUITY OF REMAINING PORTIONS OF BRANCH CIRCUIT.
RE EXISTING DEVICE TO BE REMOVED BY THE ELECTRICAL CONTRACTOR. EXISTING CIRCUIT SHALL BE RETAINED. PROVIDE NEW DEVICE AS SHOWN ON RENOVATION PLANS.
RR EXISTING FIXTURE TO BE RELOCATED BY THE ELECTRICAL CONTRACTOR TO NEW LOCATION SHOWN ON RENOVATION PLAN.
RN RELOCATED FIXTURE (NEW LOCATION).



KEYPLAN
NOT TO SCALE

DEMOLITION NOTES
1. DISCONNECT AND REMOVE ALL RECESSED DOWNLIGHT FIXTURES DENOTED WITH "R". EXISTING BRANCH CIRCUIT SHALL BE RE-USED IN RENOVATION PHASE. CONTRACTOR SHALL FIELD VERIFY SOURCE OF EXISTING BRANCH CIRCUIT PRIOR TO WORK.
2. DISCONNECT AND REMOVE RECEPTACLE/DATA DEVICE, WALLPLATE AND JUNCTION BOX. MAINTAIN INTEGRITY OF EXISTING BRANCH CIRCUIT TO BE REUSED IN RENOVATION PHASE.
3. EXISTING FIRE ALARM SYSTEM DEVICE SHALL BE RELOCATED IN RENOVATION PHASE. DISCONNECT DEVICE, REMOVE AND STORE IN A CLEAN AND DRY LOCATION. PROTECT EXISTING WIRING DURING DEMOLITION PHASE.
4. DISCONNECT AND REMOVE EXISTING SWITCH, WALLPLATE, JUNCTION BOX AND WIRING AT THIS LOCATION.
5. EXISTING TV "MESSAGE BOARD" SHALL BE RELOCATED. SEE RENOVATION NOTE 9.

RENOVATION NOTES	
1. ALL LIGHTING FIXTURES SHALL BE SERVED FROM EXISTING LIGHTING BRANCH CIRCUIT. CONTRACTOR TO VERIFY SOURCE OF SWITCHLEG (IF EXISTS) AND EXTEND EXISTING BRANCH CIRCUIT FROM POINT AHEAD OF SWITCHING DEVICE. MODIFY AND EXTEND EXISTING BRANCH CIRCUIT TO FIXTURE LOCATIONS.	7. HAND DRYER SHALL BE ALTERNATE NO. 1 - PROVIDE 2#12, 1#12 GND. IN 3/4"C. FROM EXISTING PANEL TO FEED HAND DRYER. PROVIDE 20A, 120V 1-POLE BREAKER IN EXISTING PANEL "G" (SEE KEYPLAN FOR LOCATION). COORDINATE EXACT MOUNTING HEIGHT WITH ARCHITECT/OWNER PRIOR TO ROUGH-IN.
2. PROVIDE A GFI TYPE RECEPTACLE IN THIS LOCATION. PROVIDE A NEW STAINLESS STEEL WALLPLATE. RECEPTACLE SHALL BE SERVED FROM EXISTING BRANCH CIRCUIT VACATED BY DEMOLISHED RECEPTABLES. MODIFY AND EXTEND EXISTING BRANCH CIRCUIT (EXISTING PANEL "G") TO DEVICE LOCATION.	8. PROVIDE NEW FIRE ALARM DEVICE IN THIS LOCATION. EXTEND EXISTING FIRE ALARM SYSTEM TO NEW DEVICE LOCATION. MAKE ALL REQUIRED CONNECTIONS AND TEST SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING FIRE ALARM PANEL HAS CAPACITY AVAILABLE TO SUPPORT NEW DEVICE. PROVIDE ALL REQUIRED HARDWARE COMPONENTS. AND SOFTWARE UPGRADES AS REQUIRED TO SUPPORT NEW DEVICE.
3. RE-INSTALL EXISTING FIRE ALARM DEVICE ON NEW CEILING. MODIFY AND EXTEND EXISTING FIRE ALARM SYSTEM TO NEW DEVICE LOCATION. MAKE ALL REQUIRED CONNECTIONS AND TEST SYSTEM.	9. EXISTING TV "MESSAGE BOARD" SHALL BE RELOCATED. MODIFY AND EXTEND EXISTING CABLING AND CONNECTIONS TO NEW LOCATION. PROVIDE ALL NECESSARY RACEWAYS, JUNCTION BOXES AND COVERPLATES REQUIRED. COORDINATE EXACT MOUNTING HEIGHT OF ALL JUNCTION BOXES AND ADJACENT RECEPTACLE WITH ARCHITECT/OWNER PRIOR TO ROUGH-IN.
4. PROVIDE A SINGLE-POLE SWITCH IN THIS LOCATION. PROVIDE A NEW STAINLESS STEEL WALLPLATE.	
5. SUPPORT ALL LIGHTING FIXTURES FROM STUDS MOUNTED AT EXISTING CEILING. COORDINATE WITH ARCHITECTURAL DRAWINGS.	
6. AUTOMATED LAVATORY SHALL BE SERVED FROM EXISTING BRANCH CIRCUIT VACATED BY DEMOLISHED RECEPTABLES. MODIFY AND EXTEND EXISTING BRANCH CIRCUIT (EXISTING PANEL "G") TO DEVICE LOCATION.	





CONTACT: ZACK STRINGFIELD

7 CLUSTERS COURT, SUITE 201 | COLUMBIA, SC | 29210

(803) 731-0650 p | (803) 731-2880 f

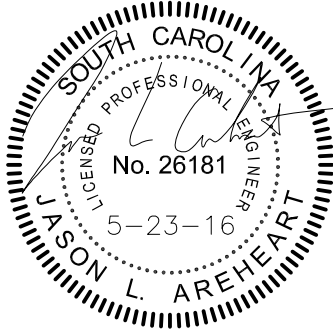
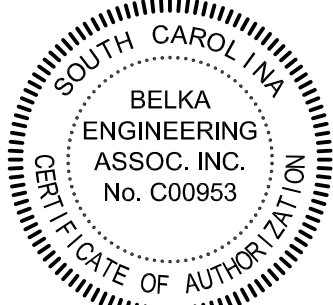
ZSTRINGFIELD@BEA-Consulting.com

MC21601

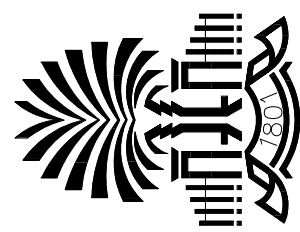
BELKA ENGINEERING ASSOCIATES, INC.

Date:	5.23.16
Drawn:	ZES
Checked:	JLA

E101

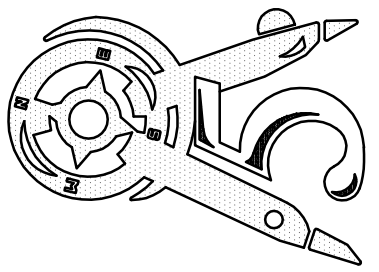


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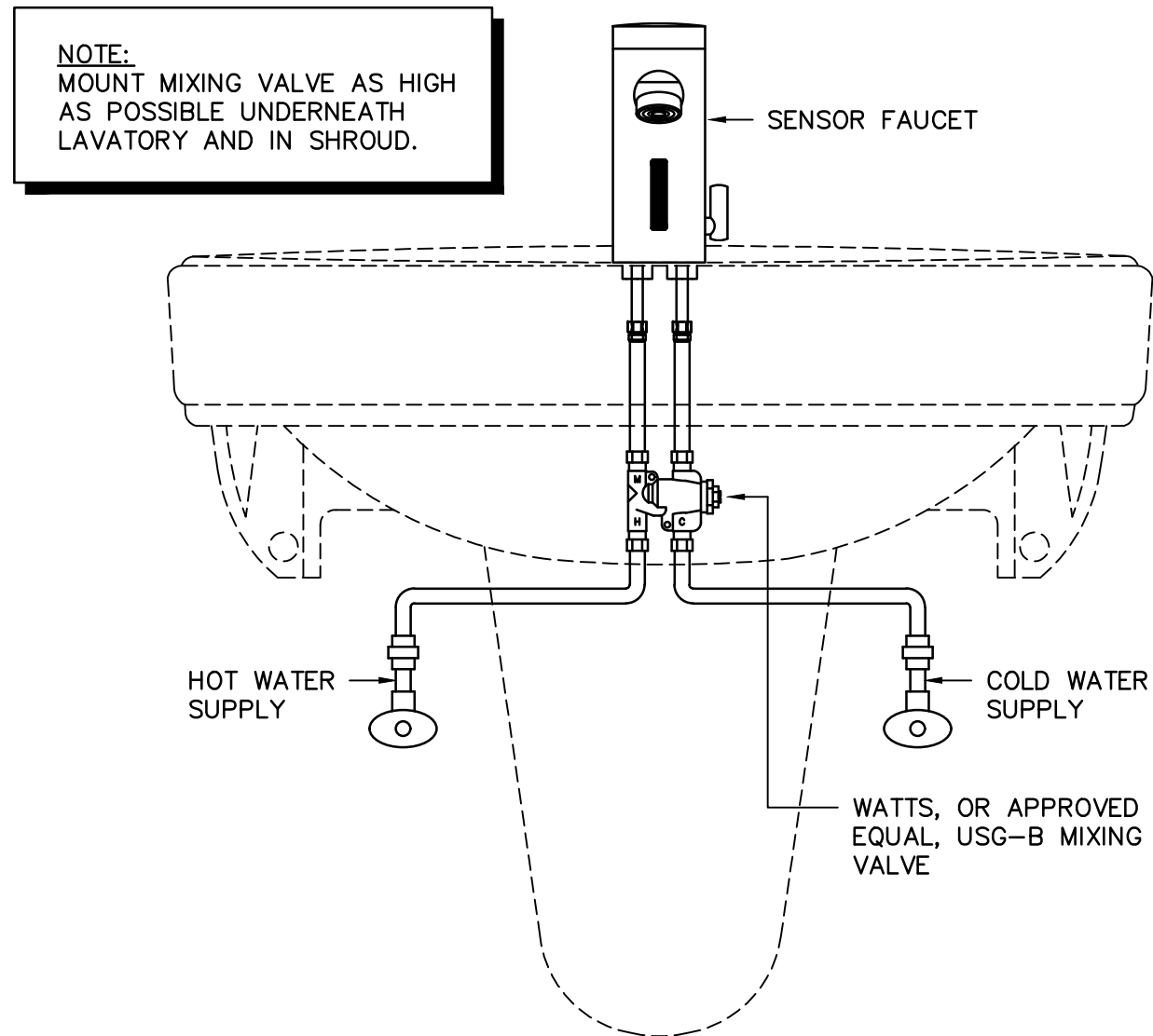


FY16 - E&GMR - Capstone Lobby - ADA Restroom
50003071 Columbia, SC

Compass 5 Partners, LLC
1329 State Street, Cayce, SC 29033
803 765 0838 compasspartners.com

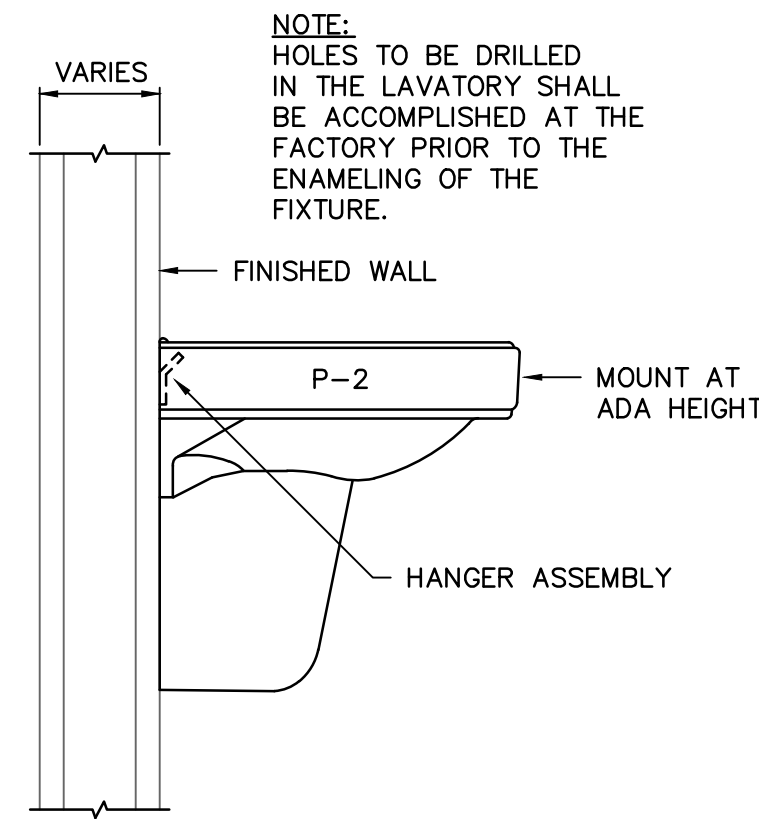


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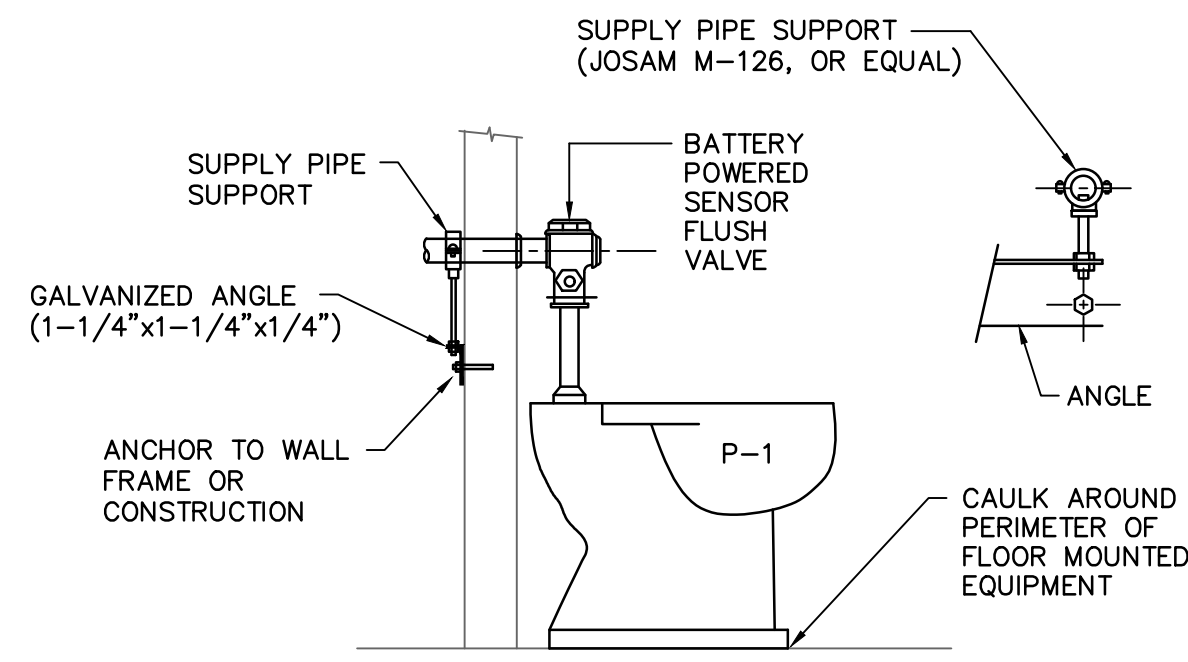
LAVATORY MIXING VALVE DETAIL

NO SCALE



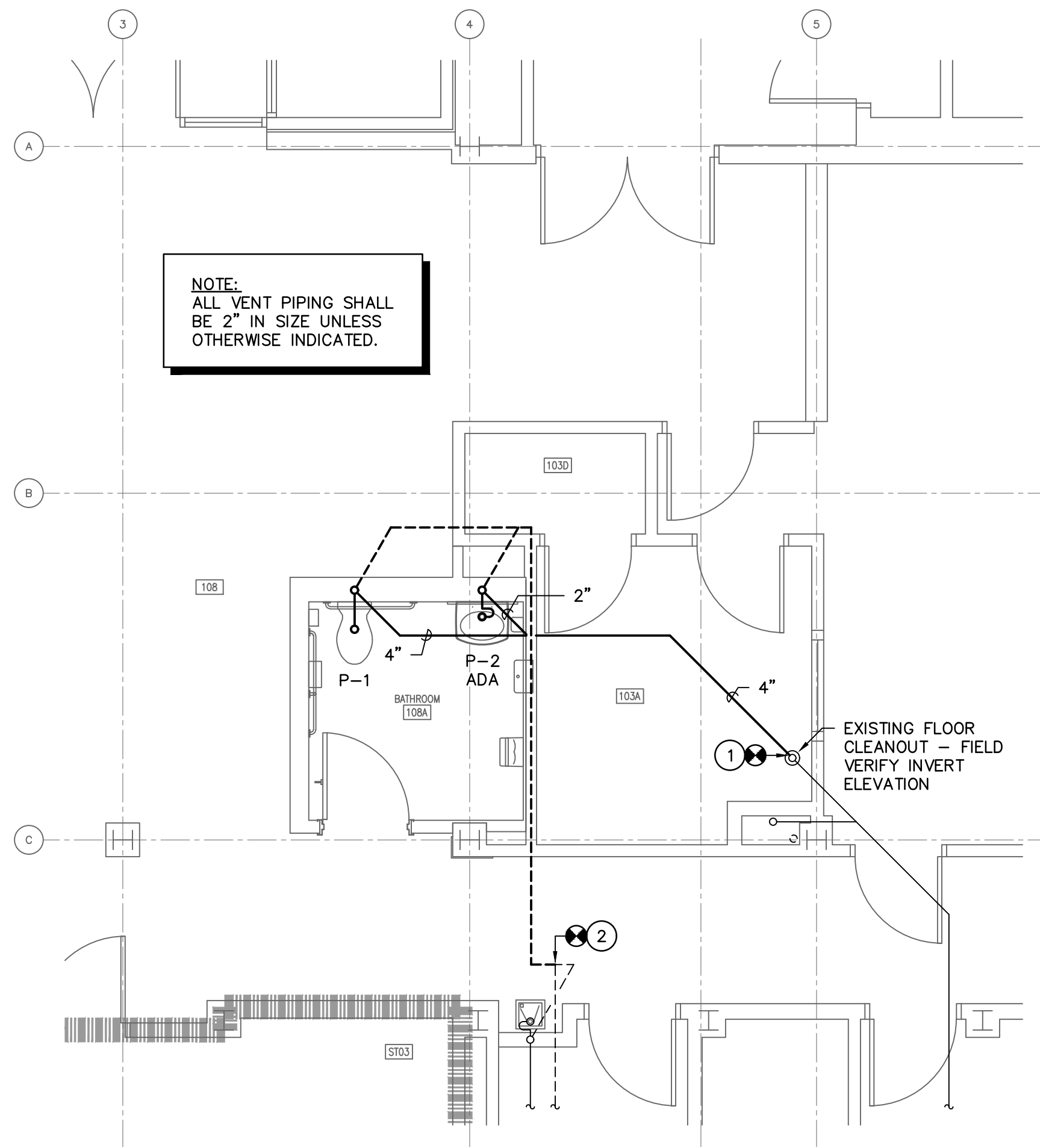
LAVATORY MOUNTING DETAIL

NO SCALE



WATER CLOSET SUPPLY DETAIL

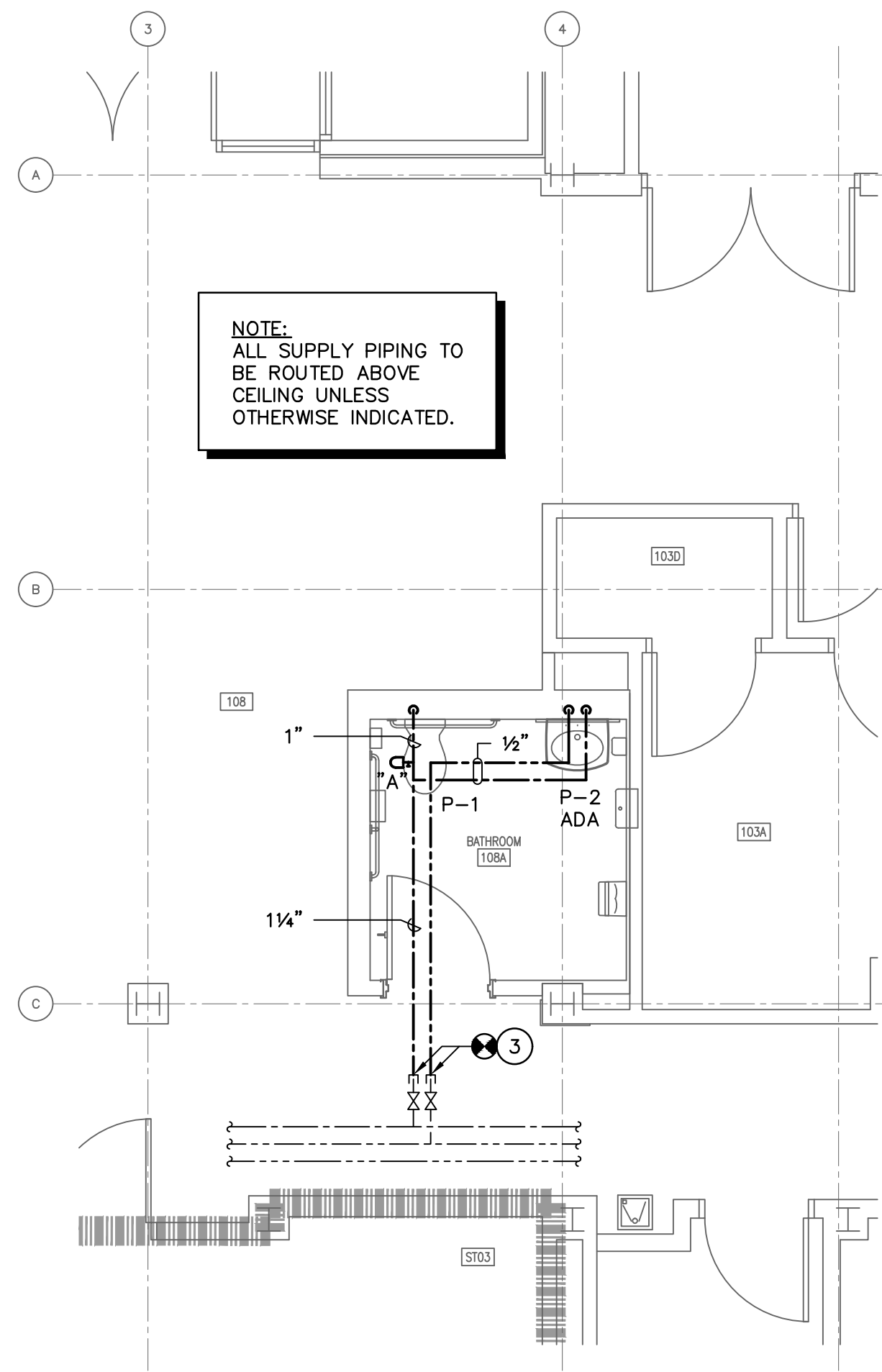
NO SCALE



1
P100

WASTE AND VENT PIPING
RENOVATION FLOOR PLAN

SCALE: 1/4" = 1'-0"



2
P100

SUPPLY PIPING
RENOVATION FLOOR PLAN

SCALE: 1/4" = 1'-0"

PLUMBING FIXTURE SCHEDULE								
P. NO.	FIXTURE	MFGR.	NAME	MFGRS. NO.	SIZE	MIN. SUPPLY		REMARKS
						CW	HW	
P-1	ACCESSIBLE WATER CLOSET	KOHLER	HIGHCLIFF	K-4368	- - -	1"	--	WITH SLOAN MODEL 8111-1-28 BATTERY POWERED SENSOR FLUSH VALVE, BENEKE 527 SEAT, AND BOLT CAPS.
P-2	LAVATORY	KOHLER	PINOIR	K-2035-1	22"x18"	3/8"	3/8"	WITH SLOAN MODEL EAF-250-ISM BATTERY POWERED SENSOR FAUCET, WATTS, OR APPROVED EQUAL, SERIES USG-B MIXING VALVE, MCGUIRE 155 GRID DRAIN, MCGUIRE H165 3/8" CAST BRASS SUPPLIES WITH STOPS, AND MCGUIRE 8872 1-1/4" P-TRAP. MOUNT MIXING VALVE INSIDE SHROUD.
NOTE: SEE ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS OF ALL WALL MOUNTED FIXTURES.								

GENERAL NOTES

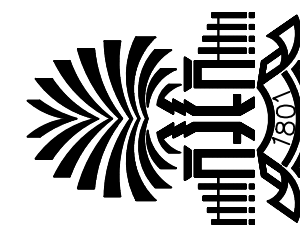
- ALL WORK SHALL BE PERFORMED ACCORDING TO ALL LOCAL, STATE, NATIONAL CODES, AND THE 2012 INTERNATIONAL PLUMBING CODE.
- DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS, FIXTURE LOCATIONS, ETC.
- EXCEPT WHERE PIPE SPACE IS PROVIDED OR UNLESS NOTED OTHERWISE, ALL SUPPLY, WASTE AND VENT RISERS SHALL BE RUN IN WALLS AND PARTITIONS.
- COORDINATE CLOSELY WITH ALL WORK DONE UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID INTERFERENCE AND CONFLICT.
- ALL PIPING INSULATION SHALL BE RUN CONTINUOUSLY.
- REMOVAL AND REPLACEMENT OF CEILING, AS REQUIRED FOR INSTALLATION OF NEW WORK BEYOND THE SCOPE INDICATED ON THE ARCHITECTURAL PLANS, SHALL BE DONE BY THIS CONTRACTOR. ANY CEILING GRID OR TILE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AT NO COST TO THE OWNER.
- EXISTING INFORMATION TAKEN FROM OWNERS RECORD SET OF DRAWINGS DATED APRIL 1966.

NOTES TO SHEET

- CONNECT TO EXISTING 4" SANITARY WASTE LINE AT THIS APPROXIMATE LOCATION.
- CONNECT TO EXISTING 2" SANITARY VENT LINE AT THIS APPROXIMATE LOCATION.
- CONNECT TO EXISTING 1 1/4" DOMESTIC COLD WATER LINE AND 1/2" DOMESTIC HOT WATER LINE CAPPED ABOVE CEILING AT THIS APPROXIMATE LOCATION.

LEGEND

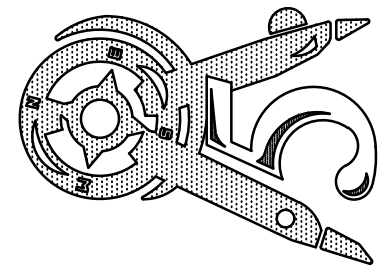
SYMBOL	DESCRIPTION
	SANITARY WASTE LINE
	SANITARY VENT LINE
	DOMESTIC COLD WATER LINE
	DOMESTIC HOT WATER LINE
	EXISTING DOMESTIC HOT WATER RECIRCULATING LINE
	SHUTOFF VALVE
	SHOCK ARRESTOR (P.D.I. RATING OF "A")
	PIPE TURNS TO, AWAY
ADA	FIXTURE FOR USE ACCORDING TO THE AMERICANS WITH DISABILITIES ACT
	CONNECTION POINT OF NEW TO EXISTING



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803 765 0838 compasspartners.com



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Project Number: 16UM41

REVISIONS

FLOOR PLANS, DETAILS,
NOTES, SCHEDULE, AND
LEGEND

Date: 11/23/16
Drawn: DEM
Checked: TFS

Swygert & Associates
CONSULTING ENGINEERS

DBA Swygert & Assoc., Ltd. Telephone: (803) 791-9300
Post Office Box 11686 Fax: (803) 791-0830
Columbia, S.C. 29211 mail@swygert-capstone.com

SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
SWYBERT AND ASSOCIATES, LTD.
NO. 000227
15514
P-B-#
STATE OF SOUTH CAROLINA
JULIE F. SWYBERT

P100