# **USC LANCASTER-STARR HALL** RENOVATIONS

# **OSE # H37-9517** 476 Hubbard Drive, Lancaster, SC

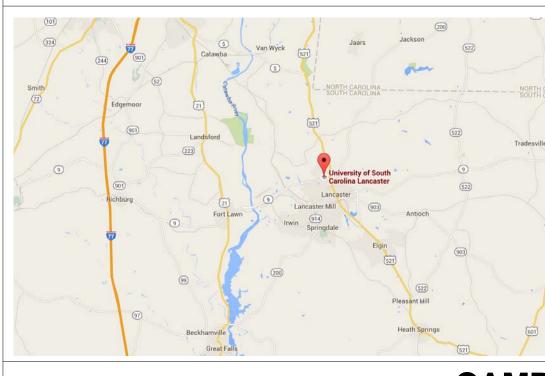
for

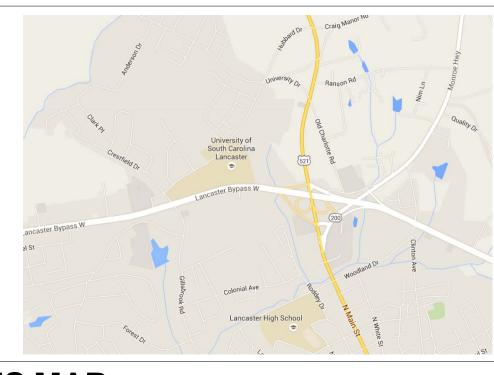


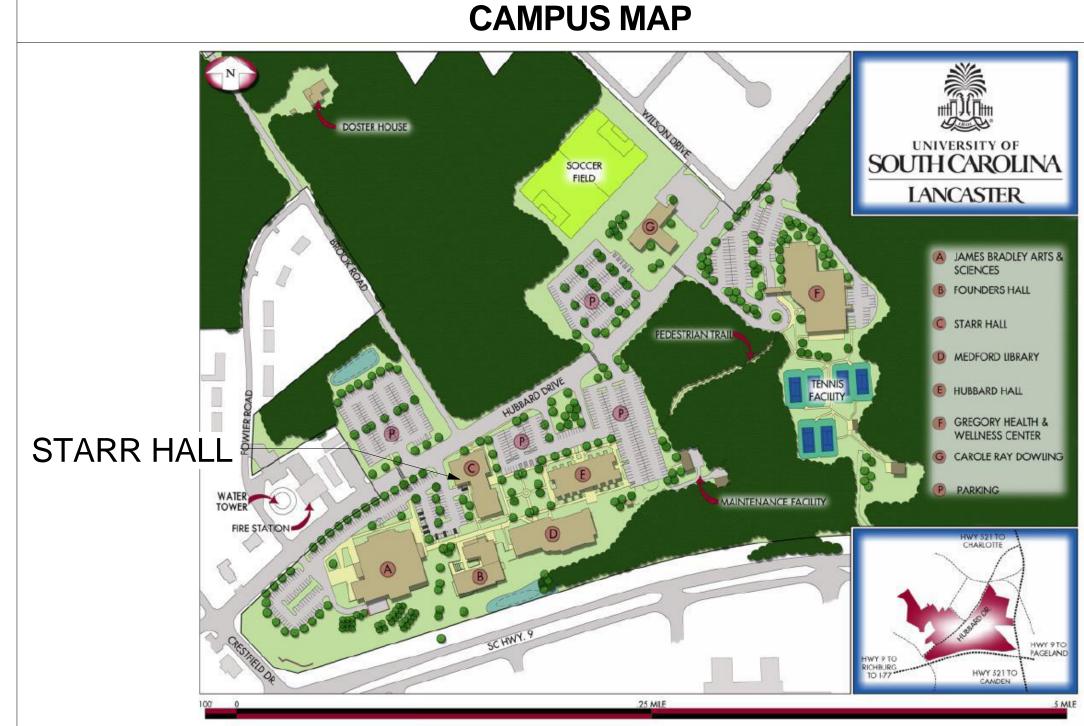
## **PROJECT TEAM**

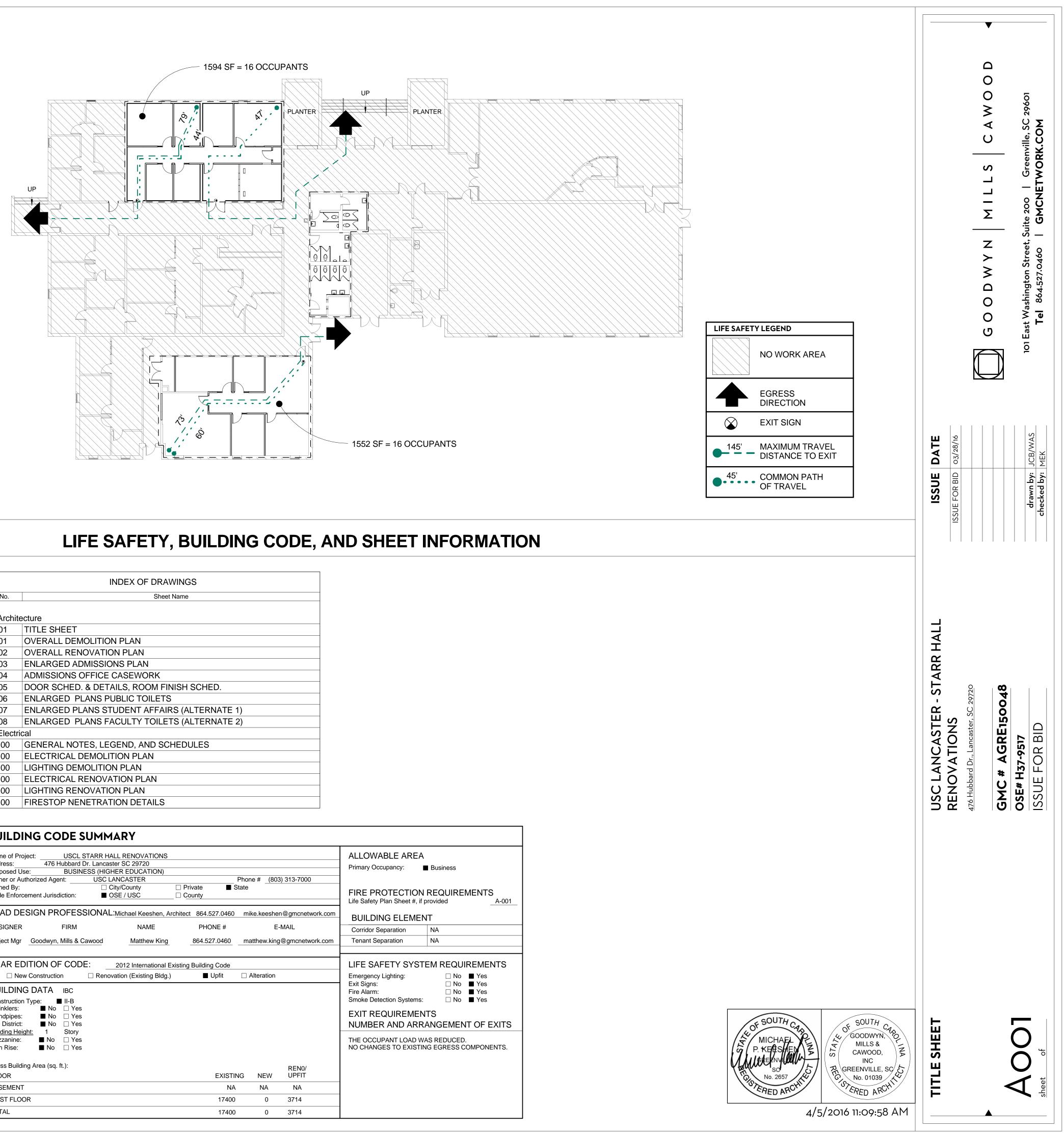
ARCHITECTS ELECTRICAL ENGINEERS GOODWYN MILLS AND CAWOOD, INC. LAND ENGINEERING ASSOCIATES

VICINITY MAP





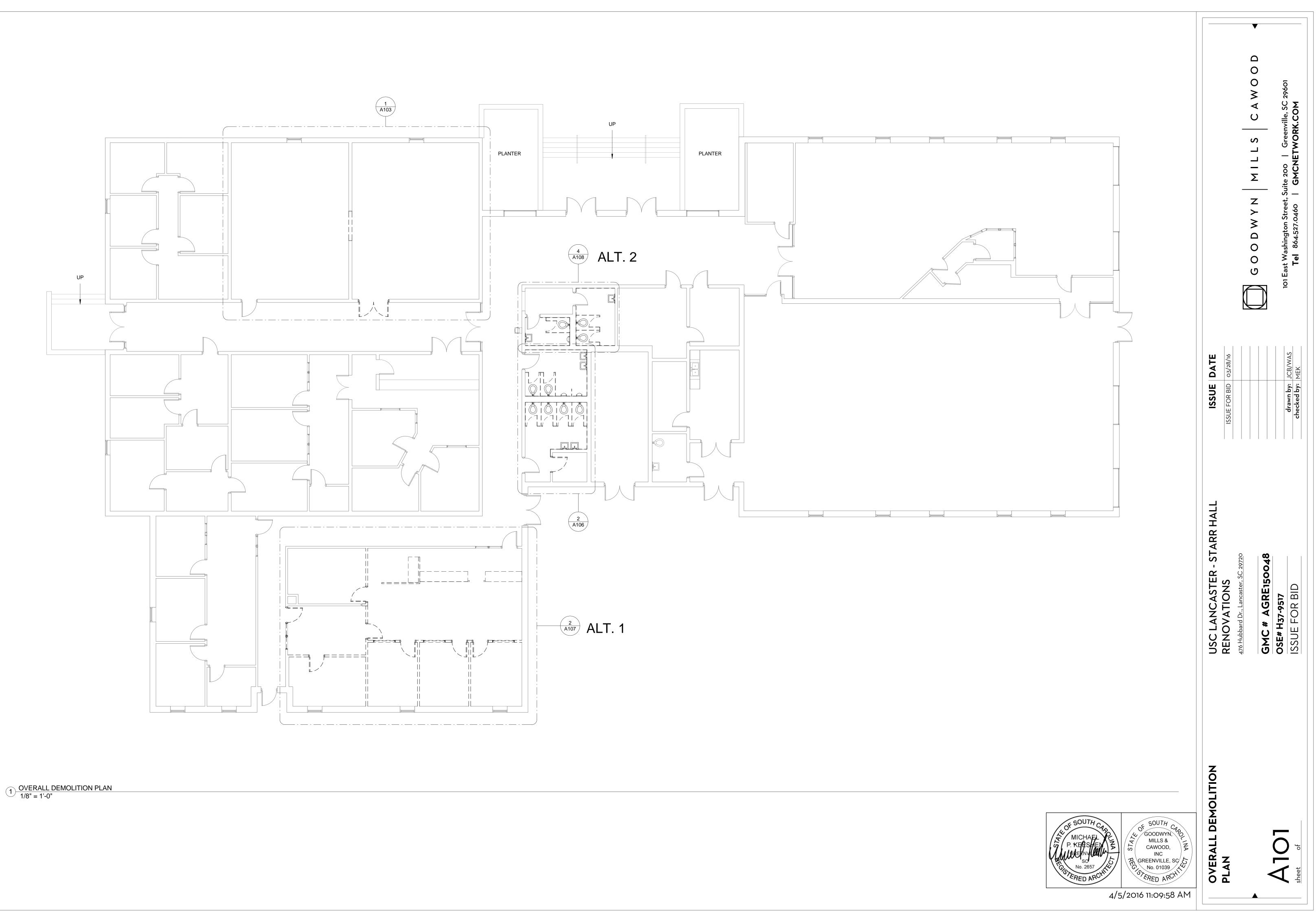


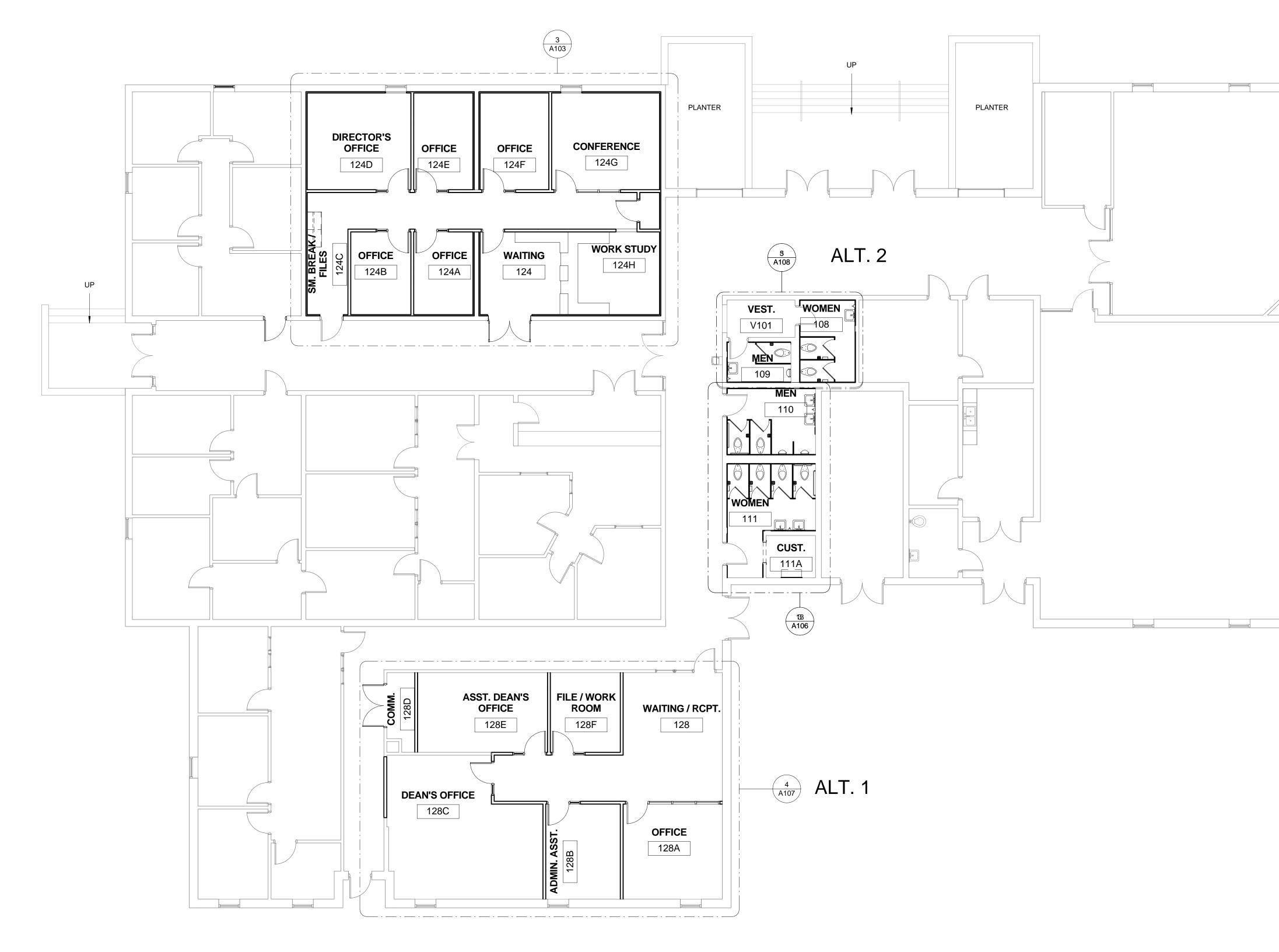


No.	Sheet Name							
1. Archite	ecture							
A001	TITLE SHEET							
A101	OVERALL DEMOLITION PLAN							
A102	OVERALL RENOVATION PLAN							
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A108	ENLARGED PLANS FACULTY TOILETS (ALTERNATE 2)							
2. Electri	cal							
E1.00	GENERAL NOTES, LEGEND, AND SCHEDULES							
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E3.00	LIGHTING DEMOLITION PLAN							
E4.00	ELECTRICAL RENOVATION PLAN							
E5.00	LIGHTING RENOVATION PLAN							
E6.00	FIRESTOP NENETRATION DETAILS							

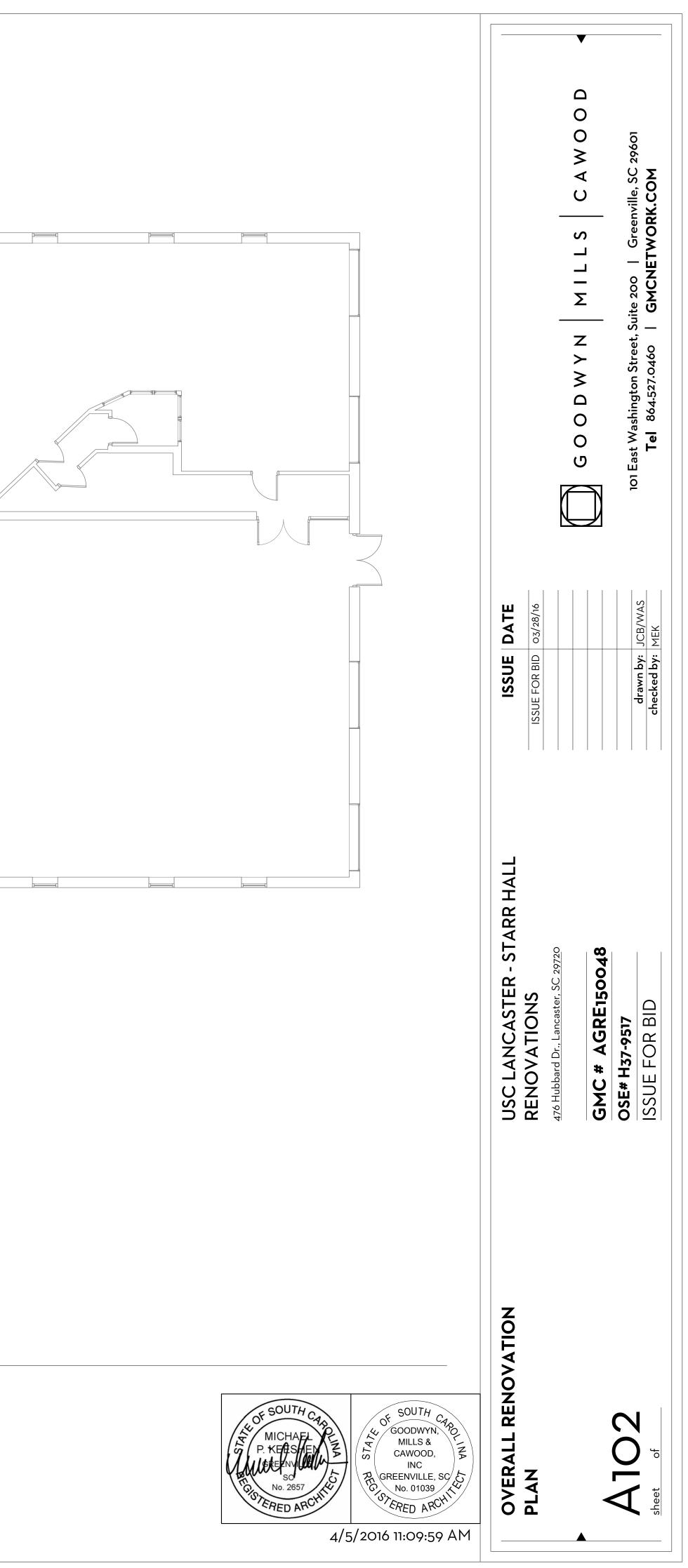
BUILDING CODE SUMMARY
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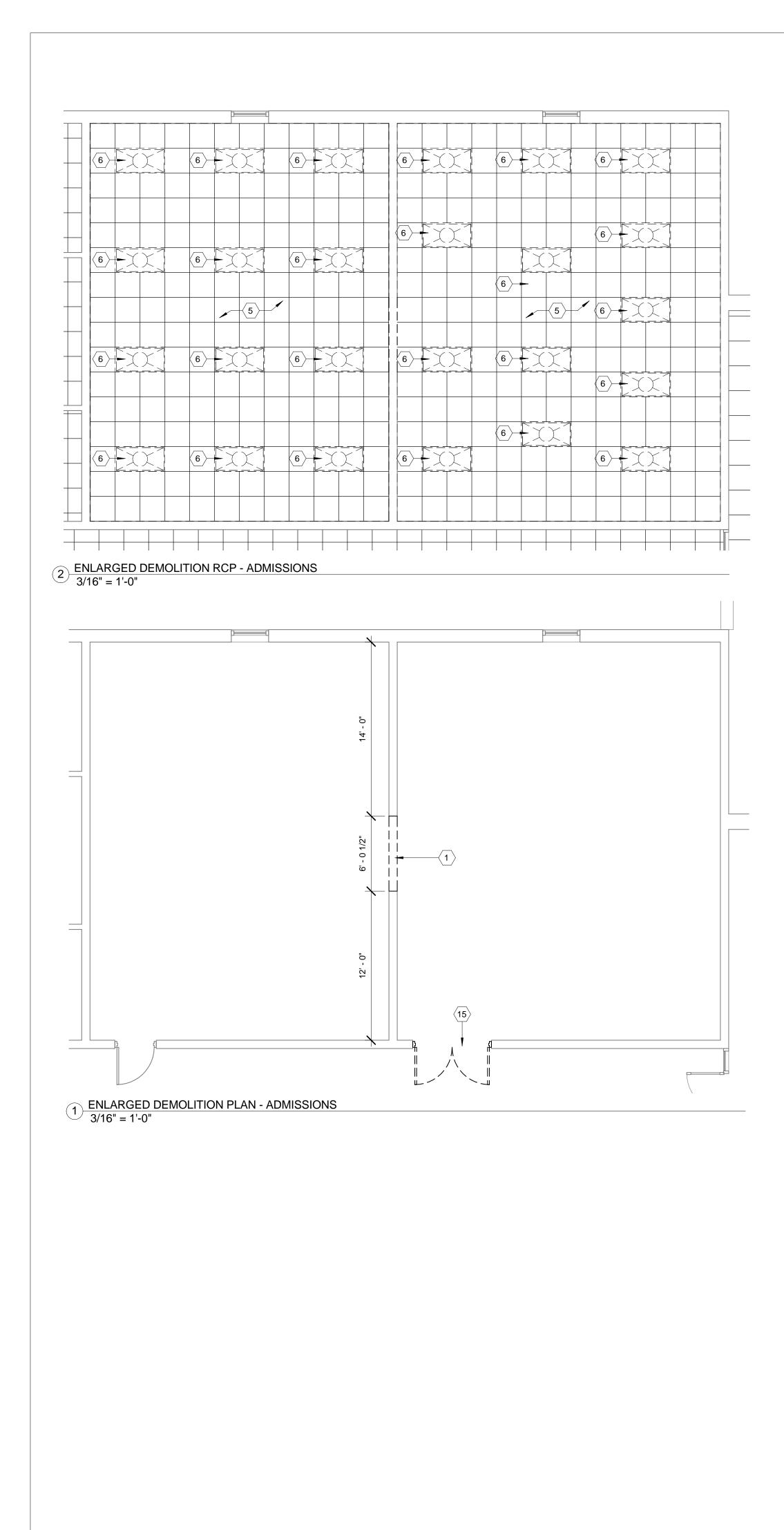
LEAD DESIGN PROFESSIONAL:Michael Keeshen, Architect 864.527.0400 mike.keeshen@gmonetwork.com       BUILDING ELEMENT         DESIGNER       FIRM       NAME       PHONE #       E-MAIL       Corridor Separation       NA         Project Mgr       Goodwyn, Mills & Cawood       Matthew King       864.527.0460       matthew.king@gmonetwork.com       Tenant Separation       NA         YEAR EDITION OF CODE:       2012 International Existing Building Code       LIFE SAFETY SYSTEM REQUIREMENTS         BUILDING DATA       IBC       Image:	Name of Project:       USCL STARR HALL RENOVATIONS         Address:       476 Hubbard Dr. Lancaster SC 29720         Proposed Use:       BUSINESS (HIGHER EDUCATION)         Owner or Authorized Agent:       USC LANCASTER         Owned By:       City/County       P         Code Enforcement Jurisdiction:       OSE / USC       C	ALLOWABLE AREA Primary Occupancy: ■ Business FIRE PROTECTION REQUIREMENTS Life Safety Plan Sheet #, if provided				
Project Mgr Goodwyn, Mills & Cawood Matthew King 864.527.0460 matthew.king@gmcnetwork.com Tenant Separation NA   YEAR EDITION OF CODE: 2012 International Existing Building Code LIFE SAFETY SYSTEM REQUIREMENTS   BUILDING DATA IBC   Construction Type: II-B   Sprinklers: No   Yes   Standpipes:   No   Yes   Standpipes:   No   Yes   Standpipes:   No   Yes   Standpipes:   No   Yes   Standpipes:   No   Yes   Standpipes:   No   Yes   Standpipes:   No   Yes   Standpipes:   No   Yes   Standpipes:   No   Yes   Standpipes:   No   Yes   Standpipes:   No   Yes   Standpipes:   No   Yes <td></td> <td></td> <td></td> <td></td> <td>BUILDING ELEMEN</td> <td>IT</td>					BUILDING ELEMEN	IT
YEAR EDITION OF CODE:       2012 International Existing Building Code       LIFE SAFETY SYSTEM REQUIREMENTS         BUILDING DATA       IBC       II-B       No       Yes         Sprinklers:       No       Yes       Smoke Detection Systems:       No       Yes         Standpipes:       No       Yes       Yes       Smoke Detection Systems:       No       Yes         Standpipes:       No       Yes       Yes       Yes       Yes       Yes       Yes         Standpipes:       No       Yes       Yes       Yes       Yes       Yes       Yes         Building Height:       1       Story       Yes       Yes       Yes       Yes       Yes         Standpipes:       No       Yes       Yes       Yes       Yes       Yes       Yes         Building Height:       1       Story       Yes       Yes       Yes       Yes       Yes         High Rise:       No       Yes       Yes       Yes       Yes       Yes       Yes         Gross Building Area (sq. ft.):       EXISTING       NEW       WUPFIT       Yes       Yes         BASEMENT       NA       NA       NA       NA       Yes         FIRST FLOOR	DESIGNER FIRM NAME	PHONE #	E-I	MAIL	Corridor Separation	NA
New Construction Renovation (Existing Bldg.) Upfit Alteration   BUILDING DATA IBC   Construction Type: II-B   Sprinklers: No   Yes   Standpipes: No   Yes   Building Height: 1   Story   Mezzanine:   No   Yes   High Rise:   No   Yes   FICOR   FIRST FLOOR               Intervention (Existing Bldg.)                     BUILDING DATA   IBC   Construction Type:   II-B   Sprinklers:   No   Yes   Standpipes:   No   Yes   Building Height:   1   Story   Mezzanine:   No   Yes   High Rise:   No   Yes   Fire District:   No   Yes   BASEMENT   Fire Strice   Resolution   Yes   Resolution   Yes   High Rise:   No   Yes   BASEMENT   Ne   Yes   Resolution   Yes   Strice   Yes   Strice   Strice   Yes   Strice   Hig	Project Mgr Goodwyn, Mills & Cawood Matthew King	864.527.0460 ma	atthew.king	@gmcnetwork.com	Tenant Separation	NA
New Construction Renovation (Existing Bldg.) Upfit Alteration   BUILDING DATA IBC   Construction Type: II-B   Sprinklers: No   Yes   Standpipes: No   Yes   Building Height: 1   Story   Mezzanine:   No   Yes   High Rise:   No   Yes   FLOOR   FIRST FLOOR               In Renovation (Existing Bldg.)               BUILDING DATA   IBC   Construction Type:   II-B   Sprinklers:   No   Yes   Standpipes:   No   Yes   Building Height:   1   Story   Mezzanine:   No   Yes   High Rise:   No   Yes   FLOOR      FIRST FLOOR                     Standpipes in No     Standpipes in No     Standpipes in No Yes  Standpipes in No Yes Standpipes in No Yes Standpipes in No Yes Standpipes in No Yes Standpipes in No Yes Standpipes in No Yes Standpipes in No Yes Standpipes in No Yes Standpipes in No Yes <p< td=""><td></td><td></td><td></td><td></td><td></td><td></td></p<>						
BUILDING DATA       IBC       INO       INO       Yes         Construction Type:       II-B       No       Yes         Sprinklers:       INO       Yes         Standpipes:       INO       Yes         Building Height:       1       Story         Mezzanine:       INO       Yes         High Rise:       INO       Yes         FLOOR       EXISTING       NEW         Gross Building Area (sq. ft.):       RENO/         FIRST FLOOR       IT400       0         ASEMENT       NA       NA	YEAR EDITION OF CODE:2012 International Existing	g Building Code			LIFE SAFETY SYST	EM REQUIREMENTS
BUILDING DATA       IBC         Construction Type:       II-B         Sprinklers:       No         Yes         Standpipes:       No         Yes         Standpipes:       No         Sory         Mezzanine:       No         No       Yes         Building Height:       1         Story       Ndeprese         Mezzanine:       No         No       Yes         Standpipes:       No         Story       Mezzanine:         Mezzanine:       No         No       Yes         Gross Building Area (sq. ft.):       Fice Airming         FLOOR       EXISTING         BASEMENT       NA         NA       NA         NA       NA         ITHE OCCUPANT LOAD WAS REDUCED.         NO CHANGES TO EXISTING EGRESS COMPONENTS.	$\Box$ New Construction $\Box$ Renovation (Existing Bldg.)	Upfit 🗌 A	Alteration			
Sprinklers:       No       Yes         Standpipes:       No       Yes         Fire District:       No       Yes         Building Height:       1       Story         Mezzanine:       No       Yes         High Rise:       No       Yes         Gross Building Area (sq. ft.):       FLOOR       EXISTING         BASEMENT       NA       NA         FIRST FLOOR       17400       0       3714	BUILDING DATA IBC				Fire Alarm:	🗆 No 🔳 Yes
Standpipes: No Yes   Fire District: No   Building Height: 1   Story Story   Mezzanine: No   No Yes   High Rise: No   No Yes   Gross Building Area (sq. ft.):   FLOOR   BASEMENT   NA					Smoke Detection Systems:	□ No ■ Yes
Fire District: No Yes   Building Height: 1 Story   Mezzanine: No   No Yes   High Rise: No   Yes No   Gross Building Area (sq. ft.): EXISTING   FLOOR EXISTING   BASEMENT NA   FIRST FLOOR 17400   0 3714					EXIT REQUIREMEN	TS
Mezzanine: No Yes   High Rise: No   Yes THE OCCUPANT LOAD WAS REDUCED.   Gross Building Area (sq. ft.): REN0/   FLOOR EXISTING   BASEMENT NA   FIRST FLOOR 17400   0 3714	Fire District: INO IYes				NUMBER AND ARR	ANGEMENT OF EXITS
High Rise: No   Gross Building Area (sq. ft.):   FLOOR   EXISTING   NA						
FLOOREXISTINGNEWUPFITBASEMENTNANANAFIRST FLOOR1740003714						
FLOOREXISTINGNEWUPFITBASEMENTNANANAFIRST FLOOR1740003714						
BASEMENTNANAFIRST FLOOR174000	Gross Building Area (sq. ft.):			REN0/		
FIRST FLOOR 17400 0 3714	FLOOR	EXISTING	NEW	UPFIT		
	BASEMENT	NA	NA	NA		
TOTAL 17400 0 3714	FIRST FLOOR	17400	0	3714		
	TOTAL	17400	0	3714		











### **REFLECTED CEILING PLAN**

### **GENERAL NOTES**

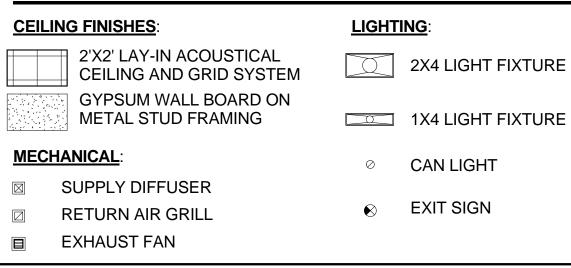
1. INTERIOR CEILING HEIGHTS AS INDICATED ON THE REFLECTED CEILING PLANS.

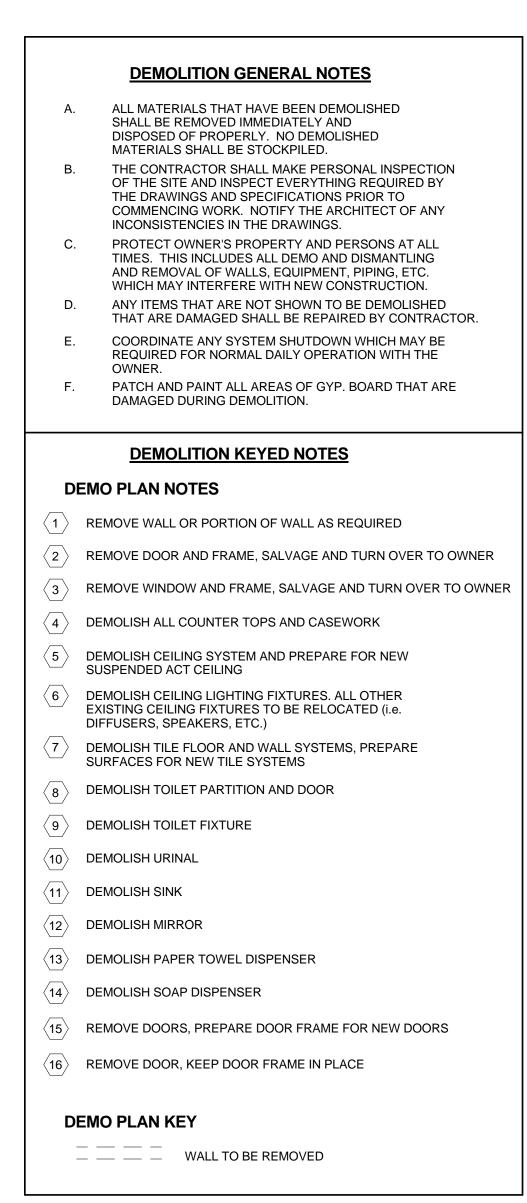
2. REFER TO CONSTRUCTION FLOOR PLANS FOR REQUIRED COMPOSITION OF WALL CONSTRUCTION.

3. LOCATION OF LIGHTS, DIFFUSERS, AND RETURN AIR GRILLES TO BE COORDINATED BETWEEN REFLECTED CEILING PLANS, LIGHTING PLANS, AND HVAC PLANS AND FINAL LOCATION TO BE APPROVED BY ARCHITECT.

4. SEE SPECIFICATIONS FOR ADDITIONAL CEILING FINISH INFORMATION AND REQUIREMENTS. NOTIFY ARCHITECT WITH ANY DISCREPANCIES BETWEEN SPECIFICATION AND DRAWINGS.

### **REFLECTED CEILING PLAN LEGEND**

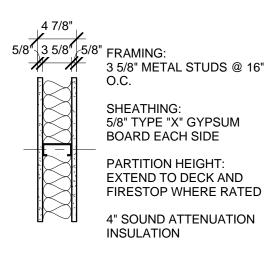


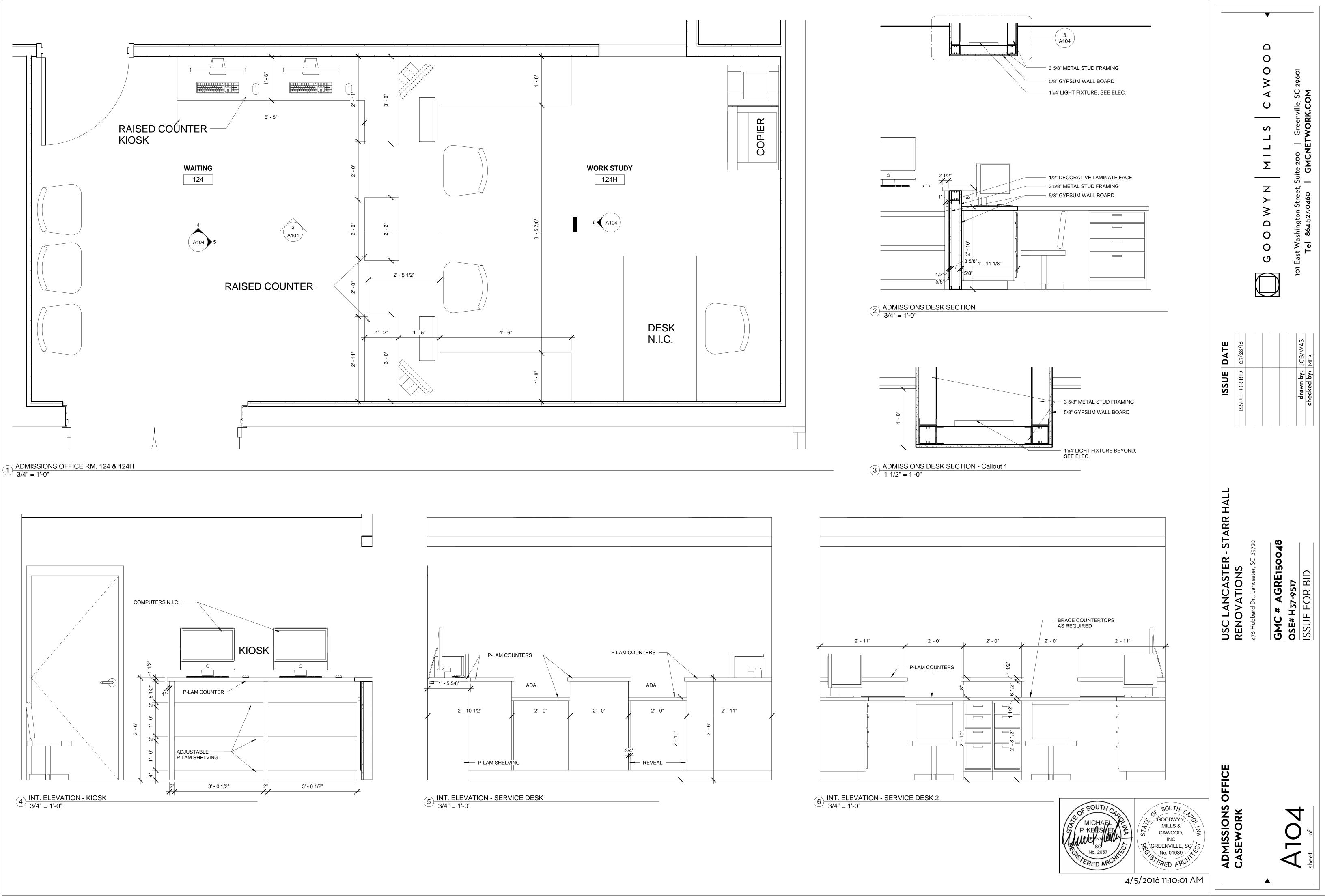




5 ENLARGED RENOVATION RCP - ADMISSIONS 3/16" = 1'-0"

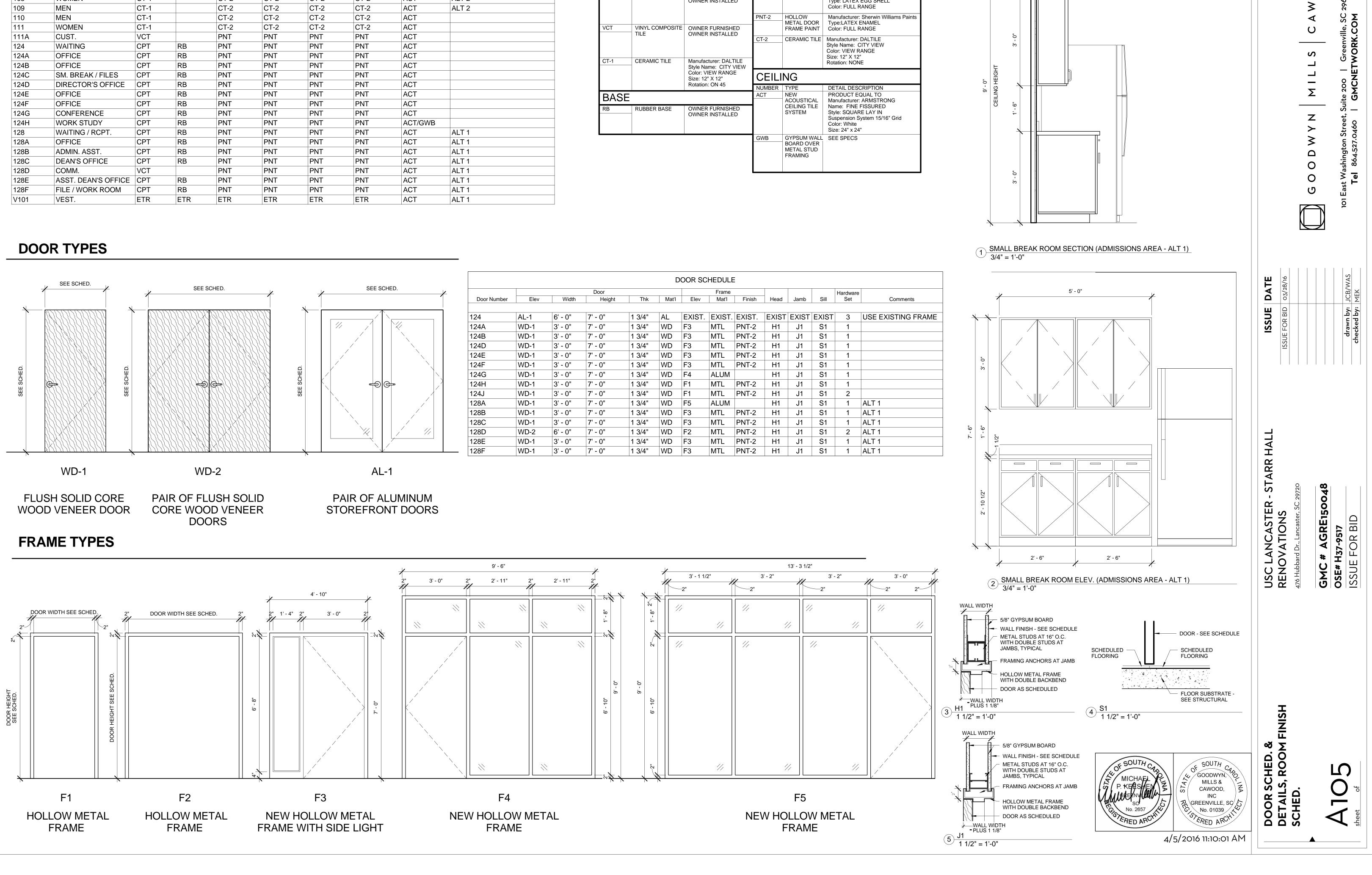












ish	Comments	
	ALT 2	
	ALT 2	
	ALT 1	

FINISH LEGEND								
FLOO	R		WALL	_				
NUMBER	TYPE	DETAIL DESCRIPTION	NUMBER	TYPE	DETAIL DESCRIPTION			
CPT	CARPET	OWNER FURNISHED OWNER INSTALLED	PNT-1	FIELD PAINT	Manufacturer: Sherwin Williams Paints Type: LATEX EGG SHELL Color: FULL RANGE			
			PNT-2	HOLLOW	Manufacturer: Sherwin Williams Paints			
VCT	VINYL COMPOSITE	OWNER FURNISHED OWNER INSTALLED	-	METAL DOOR FRAME PAINT	Type:LATEX ENAMEL Color: FULL RANGE			
			CT-2	CERAMIC TILE	Manufacturer: DALTILE			
					Style Name: CITY VIEW Color: VIEW RANGE Size: 12" X 12"			
CT-1	CERAMIC TILE	Manufacturer: DALTILE Style Name: CITY VIEW			Rotation: NONE			
		Color: VIEW RANGE Size: 12" X 12"	CEILING					
		Rotation: ON 45	NUMBER	TYPE	DETAIL DESCRIPTION			
BASE			ACT	NEW ACOUSTICAL	PRODUCT EQUAL TO Manufacturer: ARMSTRONG			
RB	RUBBER BASE	OWNER FURNISHED OWNER INSTALLED		CEILING TILE SYSTEM	Name: FINE FISSURED Style: SQUARE LAY IN Suspension System 15/16" Grid Color: White Size: 24" x 24"			
			GWB	GYPSUM WALL BOARD OVER METAL STUD FRAMING	SEE SPECS			

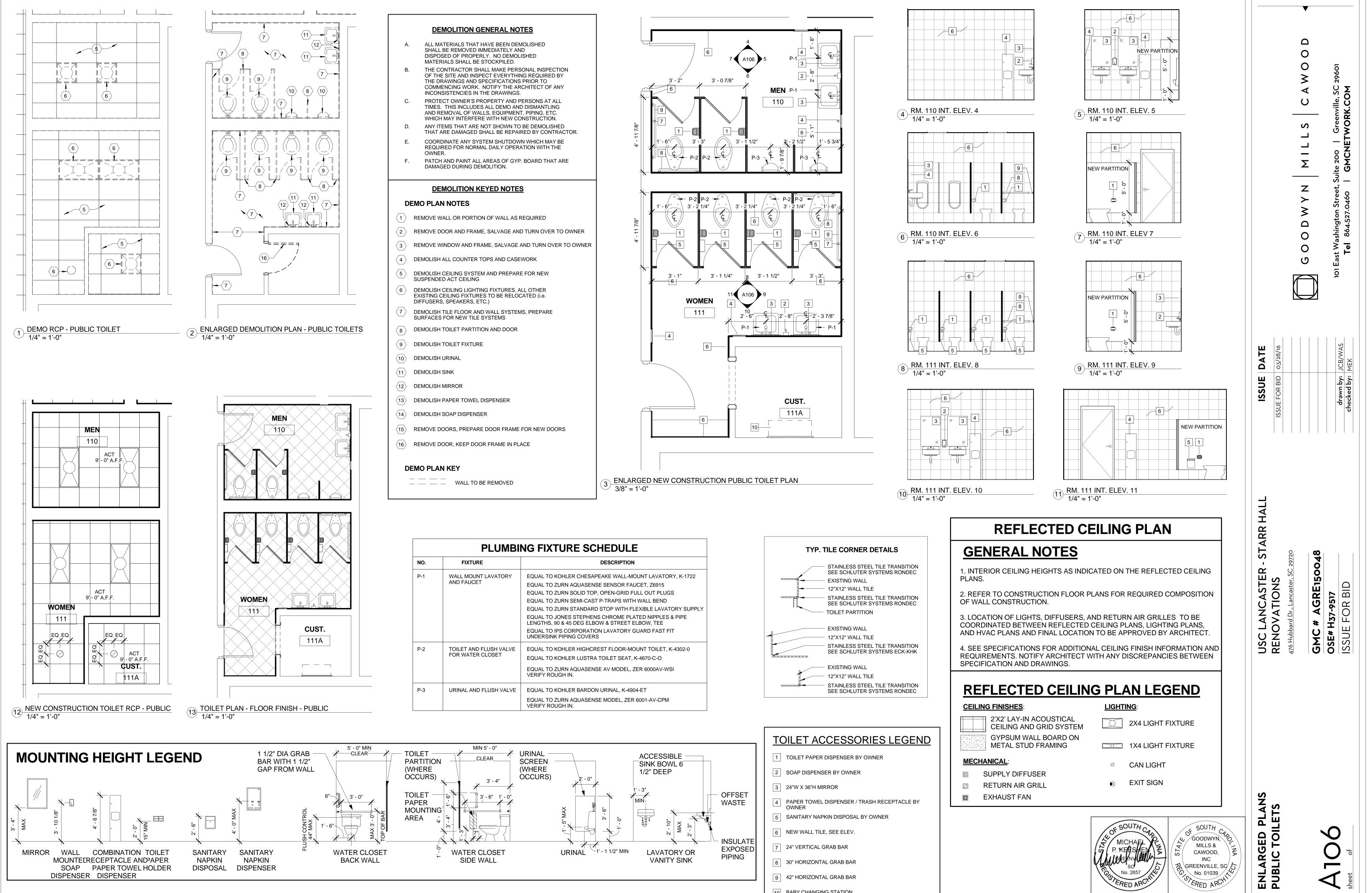
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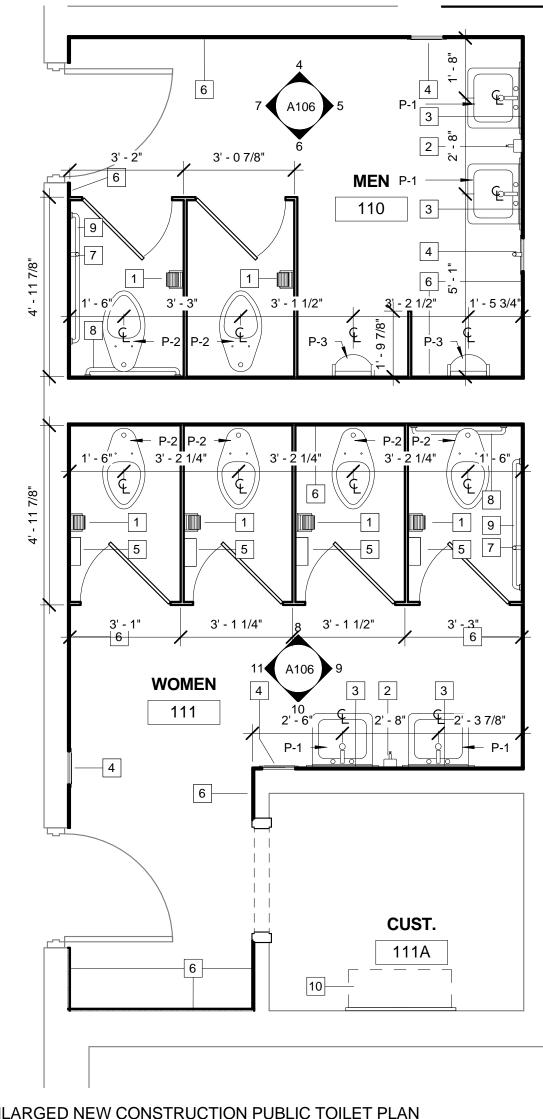
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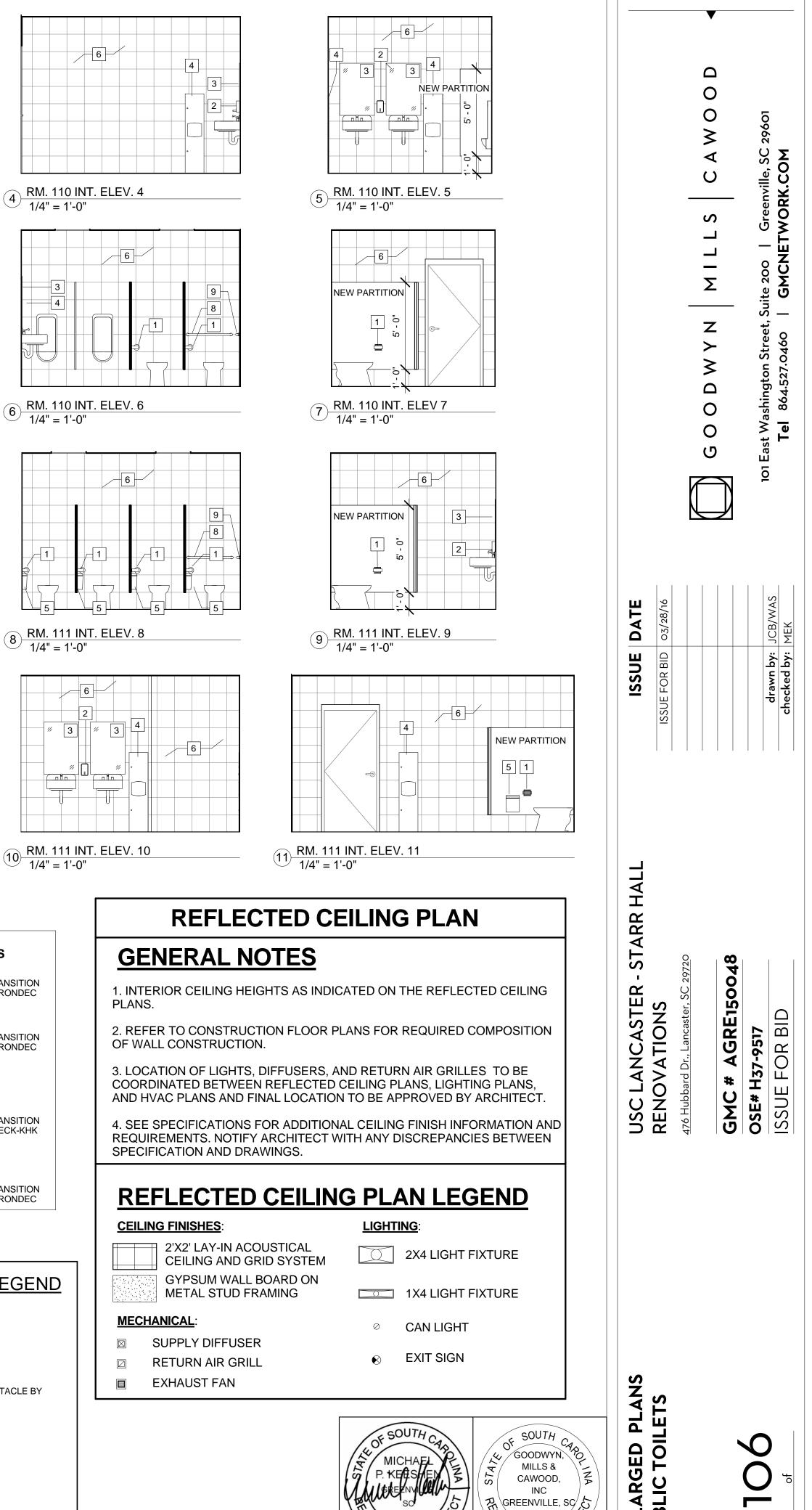
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DOOR SCHEDULE													
			Door			Frame						Hardware	
Door Number	Elev	Width	Height	Thk	Mat'l	Elev	Mat'l	Finish	Head	Jamb	Sill	Set	Comments
124	AL-1	6' - 0"	7' - 0"	1 3/4"	AL	EXIST.	EXIST.	EXIST.	EXIST	EXIST	EXIST	3	USE EXISTING FRAM
124A	WD-1	3' - 0"	7' - 0"	1 3/4"	WD	F3	MTL	PNT-2	H1	J1	S1	1	
124B	WD-1	3' - 0"	7' - 0"	1 3/4"	WD	F3	MTL	PNT-2	H1	J1	S1	1	
124D	WD-1	3' - 0"	7' - 0"	1 3/4"	WD	F3	MTL	PNT-2	H1	J1	S1	1	
124E	WD-1	3' - 0"	7' - 0"	1 3/4"	WD	F3	MTL	PNT-2	H1	J1	S1	1	
124F	WD-1	3' - 0"	7' - 0"	1 3/4"	WD	F3	MTL	PNT-2	H1	J1	S1	1	
124G	WD-1	3' - 0"	7' - 0"	1 3/4"	WD	F4	ALUM		H1	J1	S1	1	
124H	WD-1	3' - 0"	7' - 0"	1 3/4"	WD	F1	MTL	PNT-2	H1	J1	S1	1	
124J	WD-1	3' - 0"	7' - 0"	1 3/4"	WD	F1	MTL	PNT-2	H1	J1	S1	2	
128A	WD-1	3' - 0"	7' - 0"	1 3/4"	WD	F5	ALUM		H1	J1	S1	1	ALT 1
128B	WD-1	3' - 0"	7' - 0"	1 3/4"	WD	F3	MTL	PNT-2	H1	J1	S1	1	ALT 1
128C	WD-1	3' - 0"	7' - 0"	1 3/4"	WD	F3	MTL	PNT-2	H1	J1	S1	1	ALT 1
128D	WD-2	6' - 0"	7' - 0"	1 3/4"	WD	F2	MTL	PNT-2	H1	J1	S1	2	ALT 1
128E	WD-1	3' - 0"	7' - 0"	1 3/4"	WD	F3	MTL	PNT-2	H1	J1	S1	1	ALT 1
128F	WD-1	3' - 0"	7' - 0"	1 3/4"	WD	F3	MTL	PNT-2	H1	J1	S1	1	ALT 1



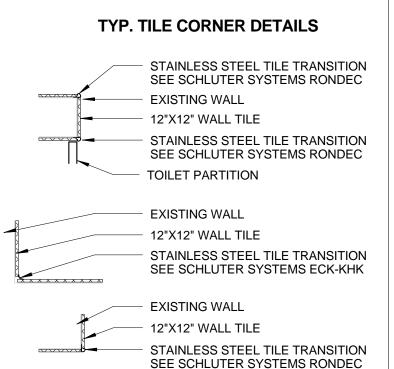
MOLITION GENERAL NOTES
ATERIALS THAT HAVE BEEN DEMOLISHED BE REMOVED IMMEDIATELY AND SED OF PROPERLY. NO DEMOLISHED HALS SHALL BE STOCKPILED. ONTRACTOR SHALL MAKE PERSONAL INSPECTION E SITE AND INSPECT EVERYTHING REQUIRED BY RAWINGS AND SPECIFICATIONS PRIOR TO ENCING WORK. NOTIFY THE ARCHITECT OF ANY SISTENCIES IN THE DRAWINGS. CT OWNER'S PROPERTY AND PERSONS AT ALL THIS INCLUDES ALL DEMO AND DISMANTLING EMOVAL OF WALLS, EQUIPMENT, PIPING, ETC. MAY INTERFERE WITH NEW CONSTRUCTION. EMS THAT ARE NOT SHOWN TO BE DEMOLISHED ARE DAMAGED SHALL BE REPAIRED BY CONTRACTOR. DINATE ANY SYSTEM SHUTDOWN WHICH MAY BE RED FOR NORMAL DAILY OPERATION WITH THE R. AND PAINT ALL AREAS OF GYP. BOARD THAT ARE BED DURING DEMOLITION.
MOLITION KEYED NOTES
NOTES
ALL OR PORTION OF WALL AS REQUIRED
OOR AND FRAME, SALVAGE AND TURN OVER TO OWNER
INDOW AND FRAME, SALVAGE AND TURN OVER TO OWNER
ALL COUNTER TOPS AND CASEWORK
CEILING SYSTEM AND PREPARE FOR NEW D ACT CEILING
CEILING LIGHTING FIXTURES. ALL OTHER EILING FIXTURES TO BE RELOCATED (i.e. 9, SPEAKERS, ETC.)
TILE FLOOR AND WALL SYSTEMS, PREPARE FOR NEW TILE SYSTEMS
TOILET PARTITION AND DOOR
TOILET FIXTURE
URINAL
SINK
MIRROR
PAPER TOWEL DISPENSER
SOAP DISPENSER
OORS, PREPARE DOOR FRAME FOR NEW DOORS
OOR, KEEP DOOR FRAME IN PLACE
N KEY





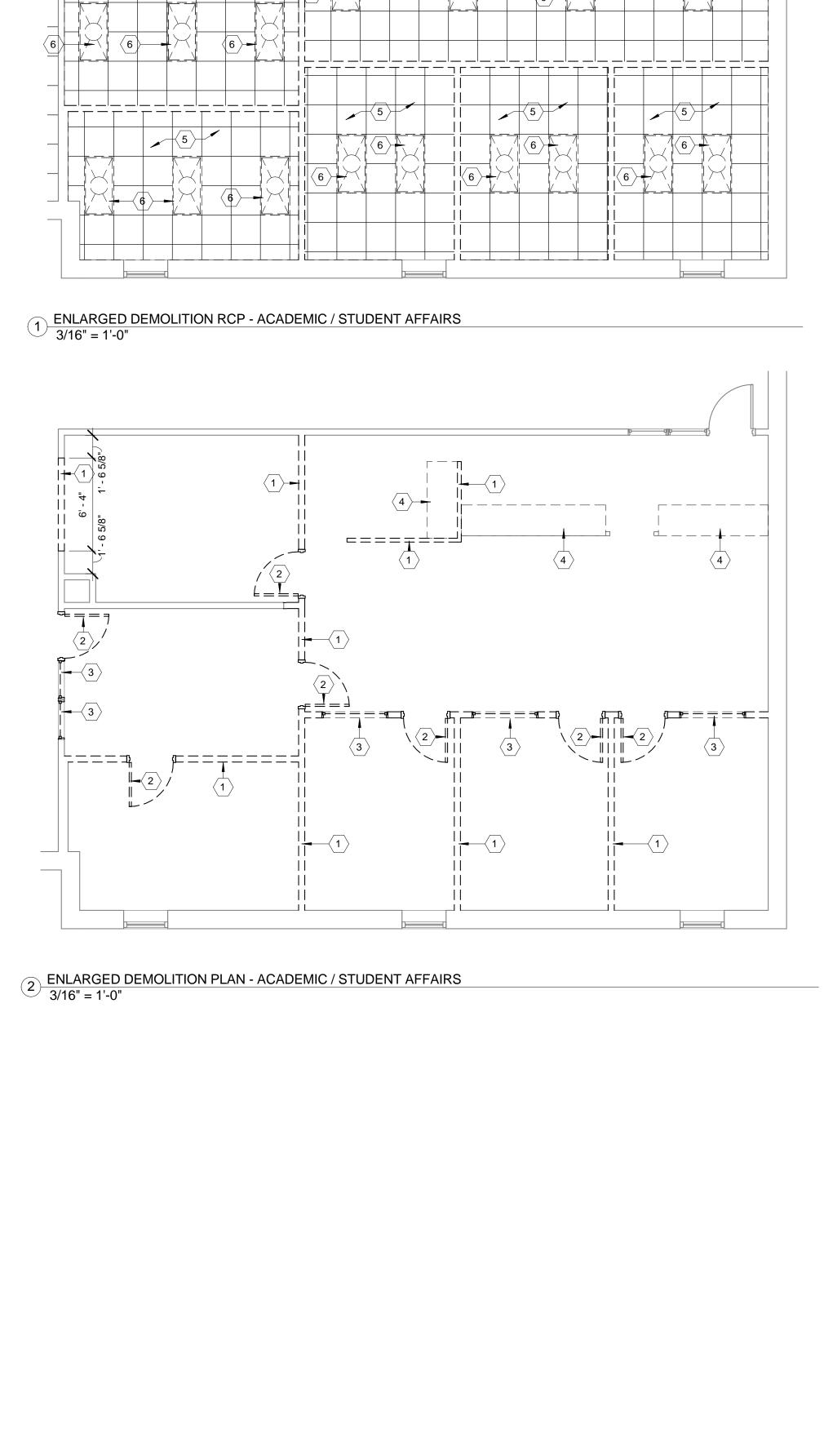
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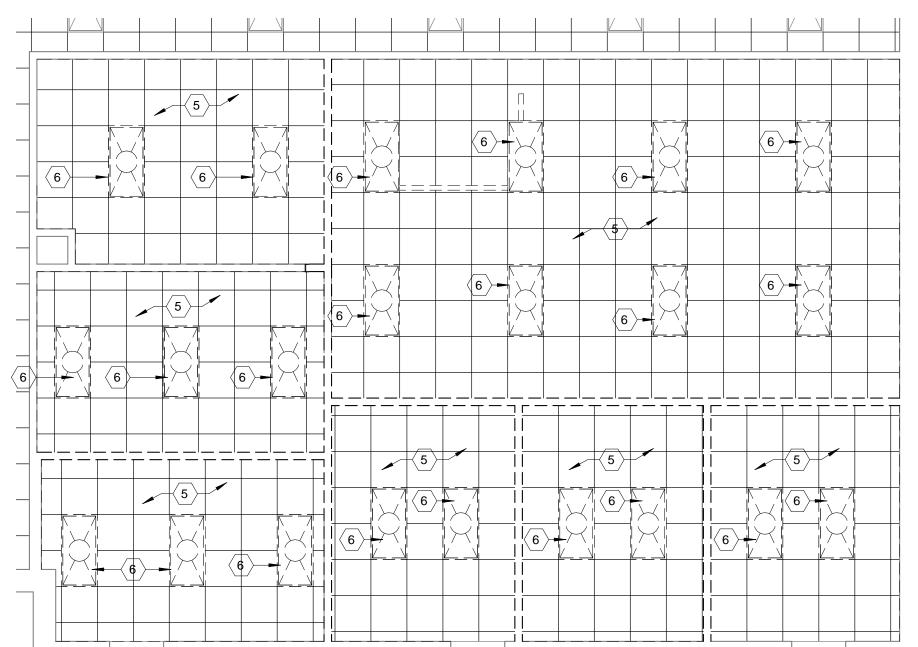
PLUMBING FIXTURE SCHEDULE								
FIXTURE	DESCRIPTION							
WALL MOUNT LAVATORY AND FAUCET	EQUAL TO KOHLER CHESAPEAKE WALL-MOUNT LAVATORY, K-1722 EQUAL TO ZURN AQUASENSE SENSOR FAUCET, Z6915 EQUAL TO ZURN SOLID TOP, OPEN-GRID FULL OUT PLUGS EQUAL TO ZURN SEMI-CAST P-TRAPS WITH WALL BEND EQUAL TO ZURN STANDARD STOP WITH FLEXIBLE LAVATORY SUPPLY EQUAL TO JONES STEPHENS CHROME PLATED NIPPLES & PIPE LENGTHS, 90 & 45 DEG ELBOW & STREET ELBOW, TEE EQUAL TO IPS CORPORATION LAVATORY GUARD FAST FIT UNDERSINK PIPING COVERS							
TOILET AND FLUSH VALVE FOR WATER CLOSET	EQUAL TO KOHLER HIGHCREST FLOOR-MOUNT TOILET, K-4302-0 EQUAL TO KOHLER LUSTRA TOILET SEAT, K-4670-C-O EQUAL TO ZURN AQUASENSE AV MODEL, ZER 6000AV-WSI VERIFY ROUGH IN.							
URINAL AND FLUSH VALVE	EQUAL TO KOHLER BARDON URINAL, K-4904-ET EQUAL TO ZURN AQUASENSE MODEL, ZER 6001-AV-CPM VERIFY ROUGH IN.							



10 BABY CHANGING STATION

4/5/2016 11:10:03 AM





### **REFLECTED CEILING PLAN**

### **GENERAL NOTES**

1. INTERIOR CEILING HEIGHTS AS INDICATED ON THE REFLECTED CEILING PLANS.

2. REFER TO CONSTRUCTION FLOOR PLANS FOR REQUIRED COMPOSITION OF WALL CONSTRUCTION.

3. LOCATION OF LIGHTS, DIFFUSERS, AND RETURN AIR GRILLES TO BE COORDINATED BETWEEN REFLECTED CEILING PLANS, LIGHTING PLANS, AND HVAC PLANS AND FINAL LOCATION TO BE APPROVED BY ARCHITECT.

4. SEE SPECIFICATIONS FOR ADDITIONAL CEILING FINISH INFORMATION AND REQUIREMENTS. NOTIFY ARCHITECT WITH ANY DISCREPANCIES BETWEEN SPECIFICATION AND DRAWINGS.

### **REFLECTED CEILING PLAN LEGEND**

### **CEILING FINISHES**:

### LIGHTING:

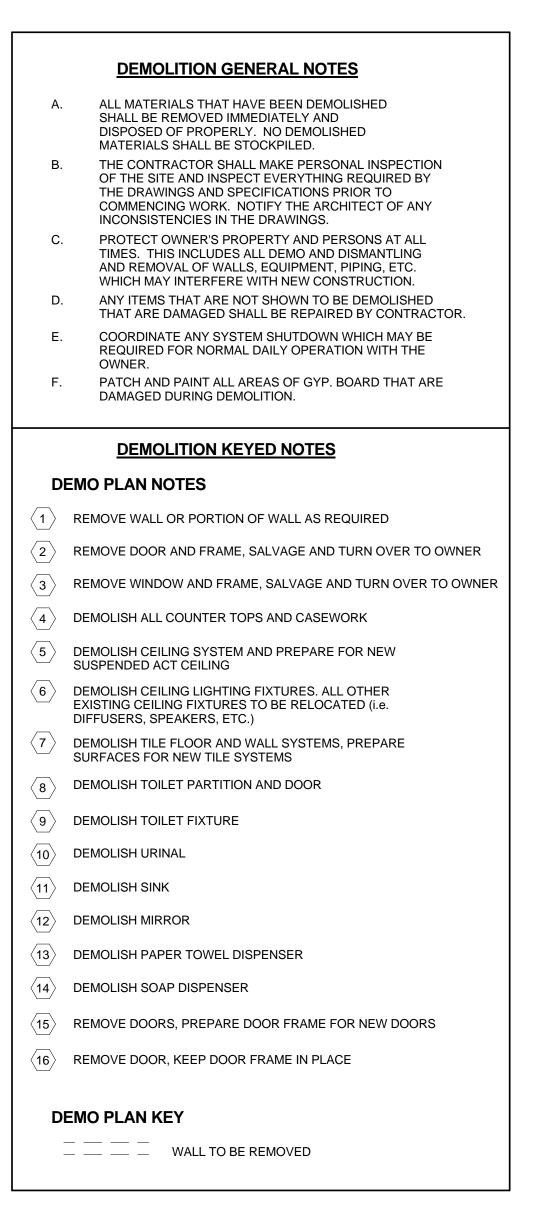
2'X2' LAY-IN ACOUSTICAL CEILING AND GRID SYSTEM GYPSUM WALL BOARD ON METAL STUD FRAMING

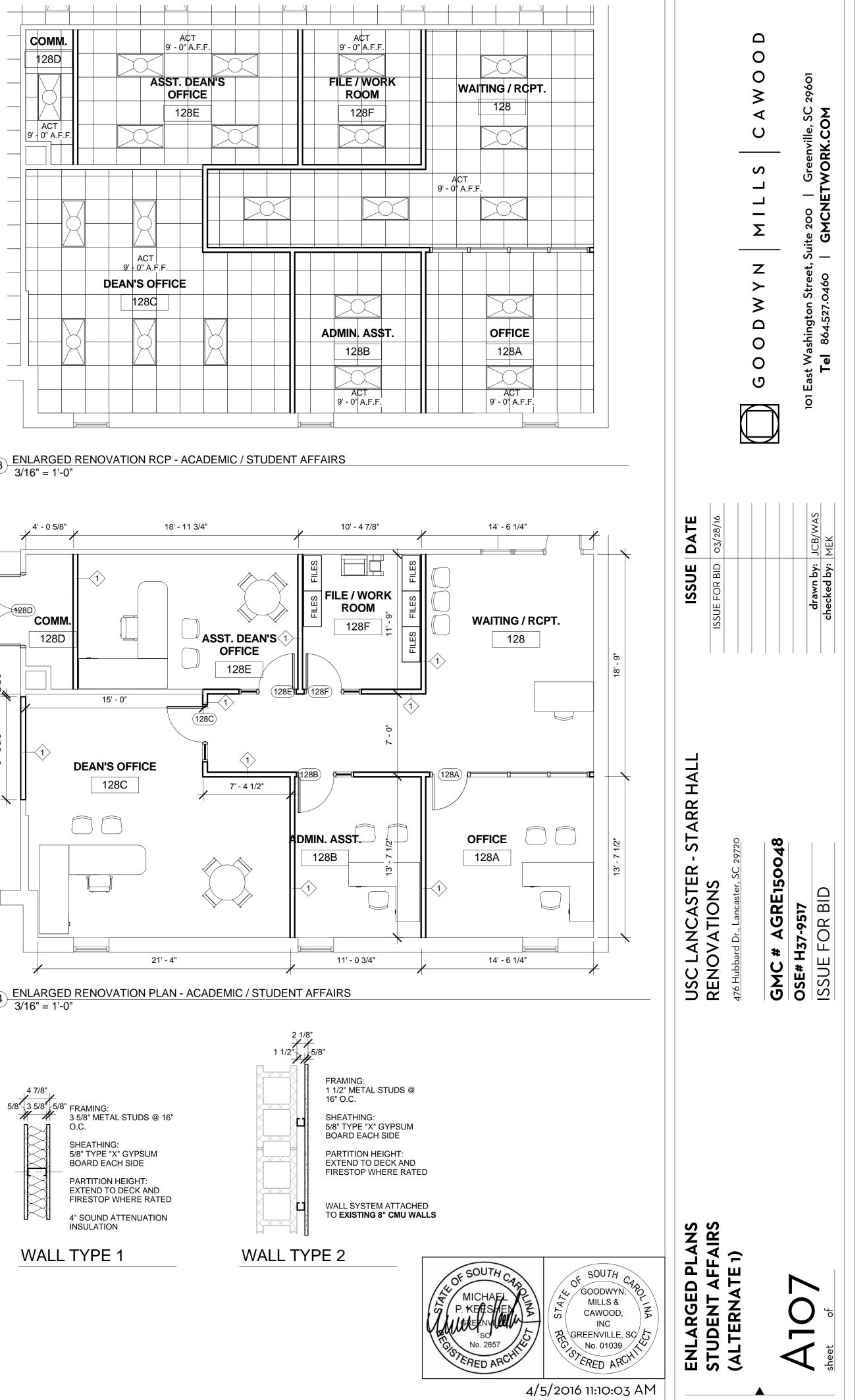
2X4 LIGHT FIXTURE

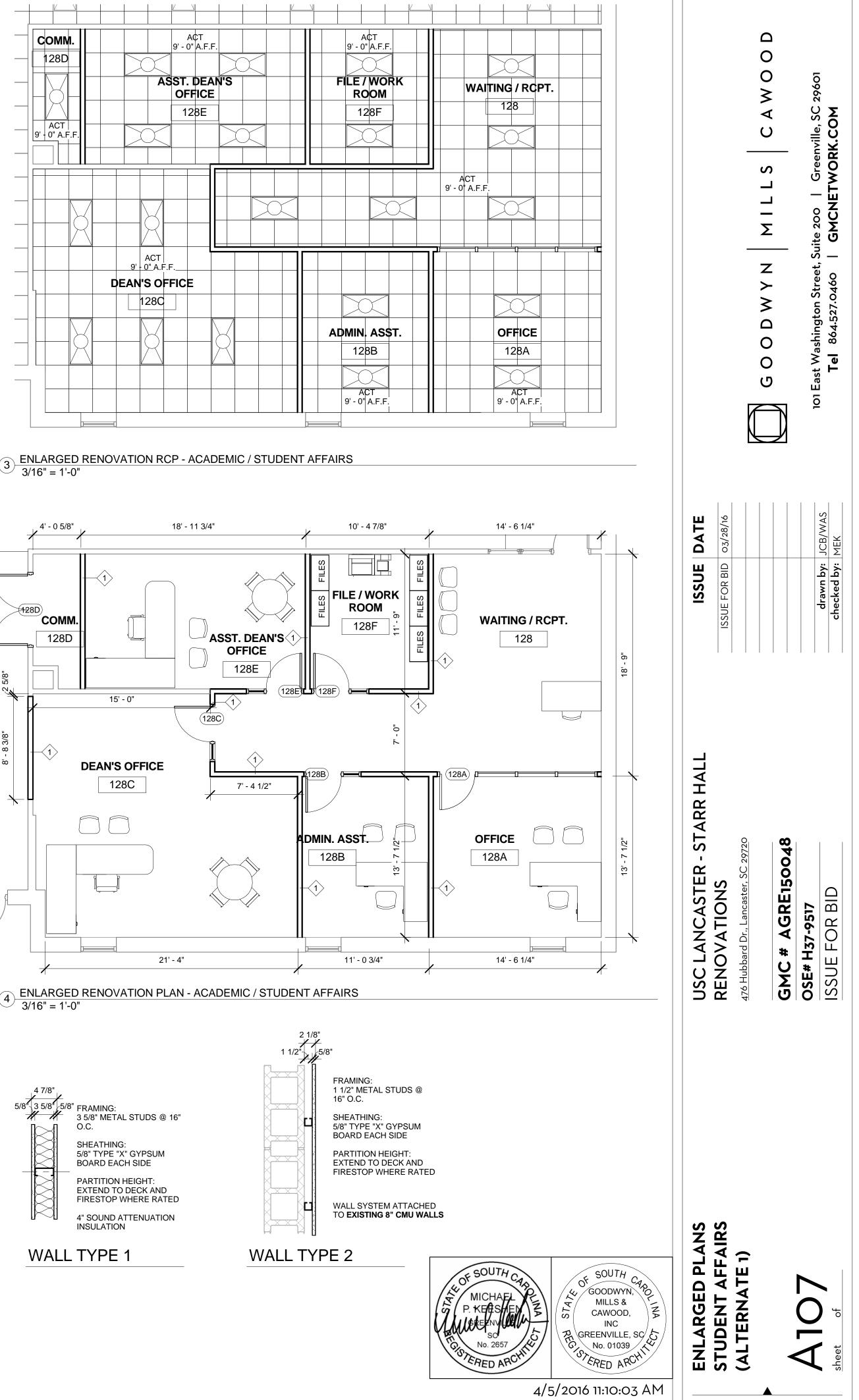
1X4 LIGHT FIXTURE

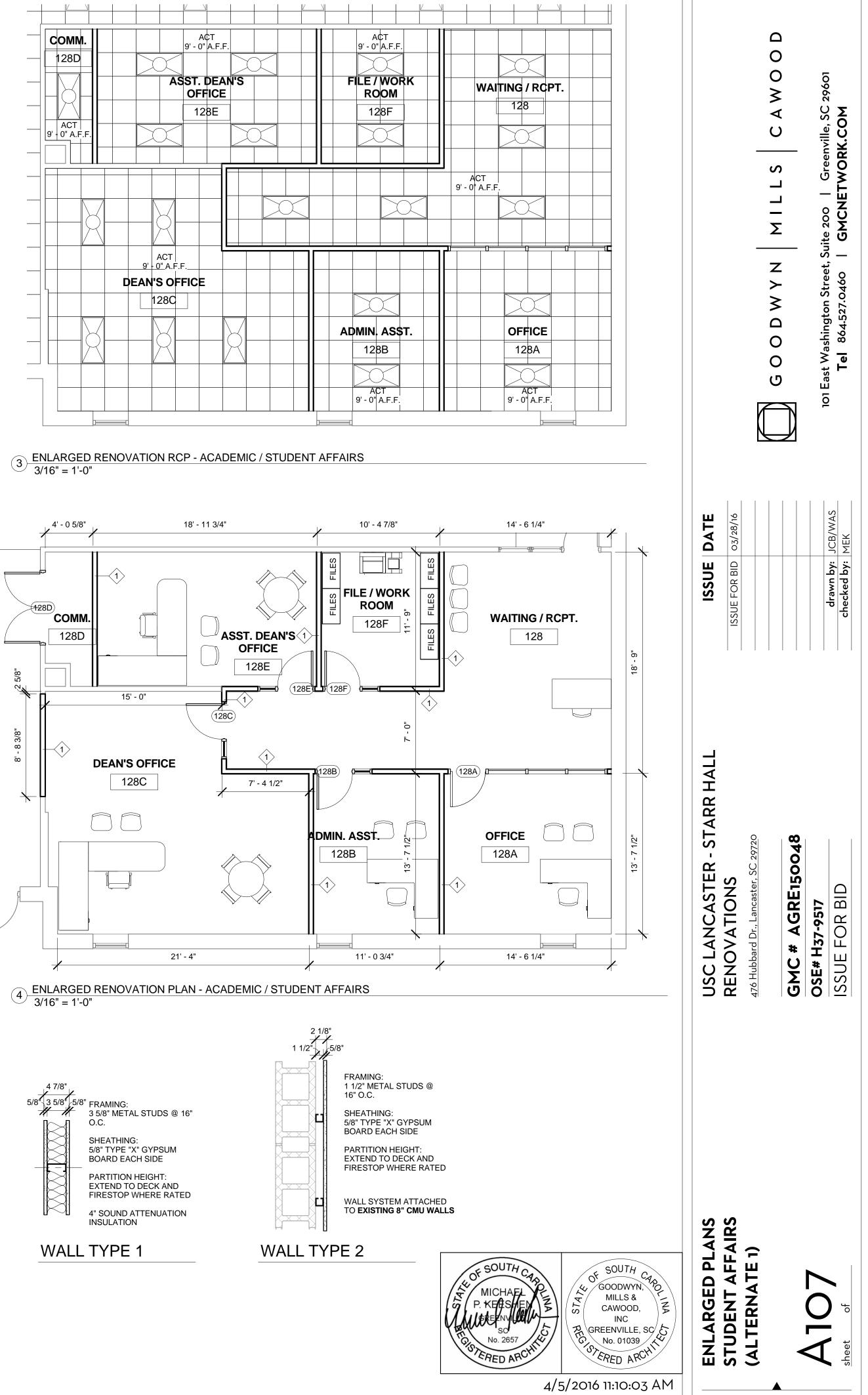
- MECHANICAL:
- SUPPLY DIFFUSER  $\boxtimes$ **RETURN AIR GRILL**
- ⊘ CAN LIGHT
- € EXIT SIGN

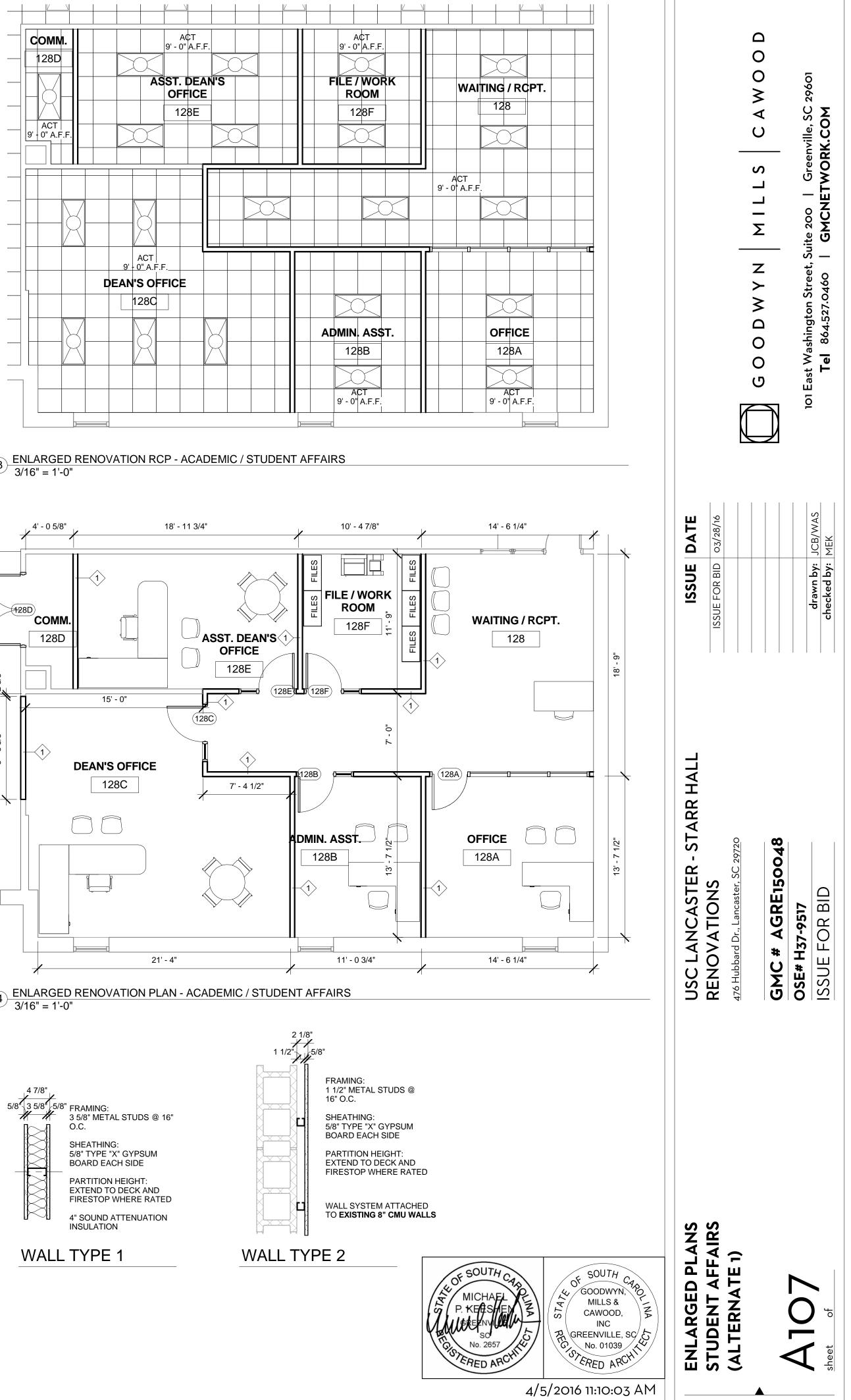


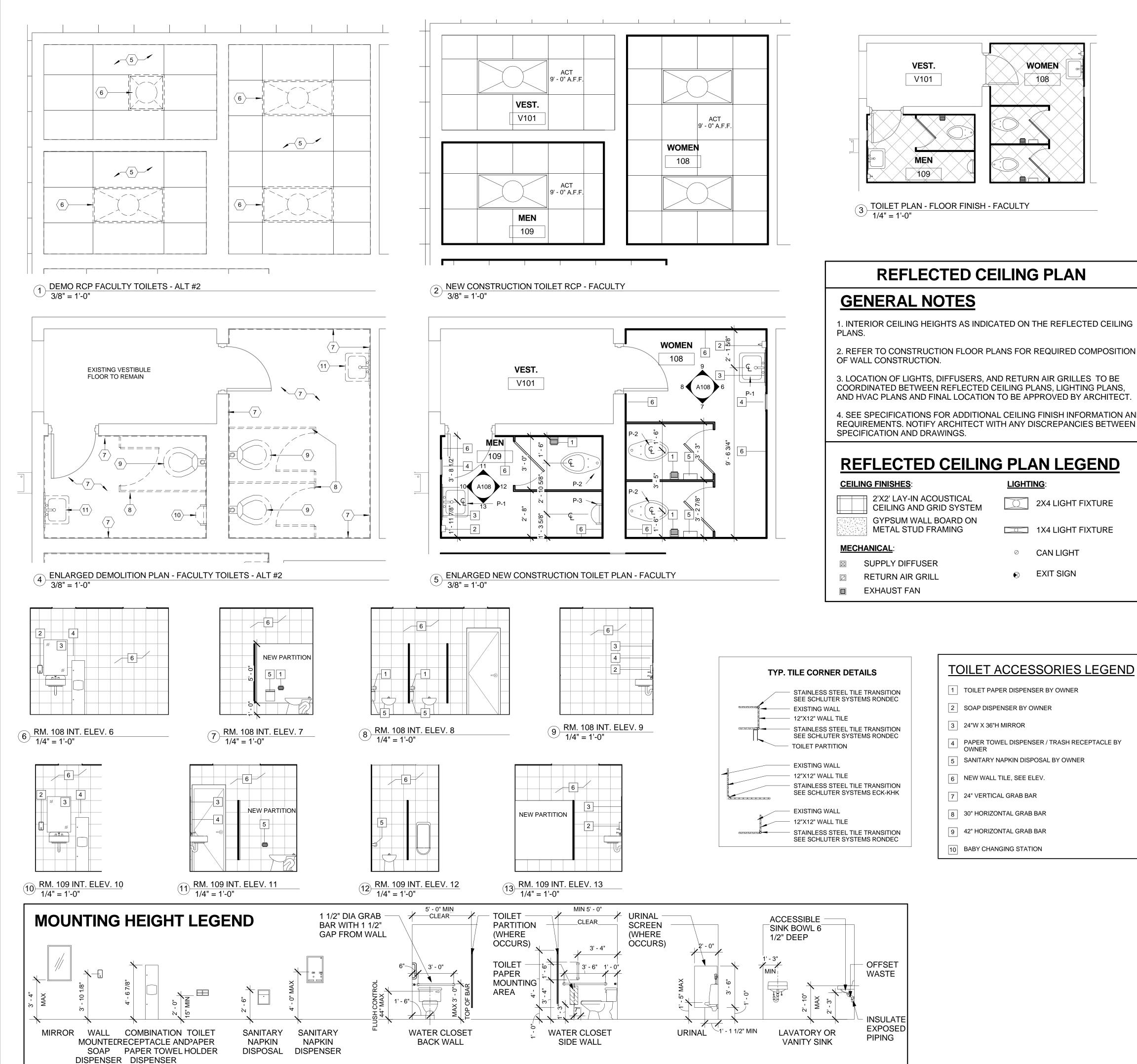












1. INTERIOR CEILING HEIGHTS AS INDICATED ON THE REFLECTED CEILING

4. SEE SPECIFICATIONS FOR ADDITIONAL CEILING FINISH INFORMATION AND

CEILING	FINISHES:	LIC
	2'X2' LAY-IN ACOUSTICAL CEILING AND GRID SYSTEM	
	GYPSUM WALL BOARD ON METAL STUD FRAMING	
MECHAN		

$\boxtimes$	SUPPLY DIFFUSER
	RETURN AIR GRILL
	EXHAUST FAN

	HLEGEN			
FLOC				
NUMBER	TYPE	DETAIL DESCRIPTION		
CT-1	CERAMIC TILE	Manufacturer: DALTILE Style Name:		
		Color: Size: 12" X 12"		
		Rotation: ON 45		
WALI	_			
CT-2	CERAMIC TILE	Manufacturer: DALTILE		
	_	Style Name: Color:		
		Size: 12" X 12" Rotation: NONE		
CEIL				
ACT	ACOUSTICAL CEILING TILE	Manufacturer: ARMSTRONG Name:		
	SYSTEM	Style: Color:		
		Size: 24" x 24"		
TOILI	ET PARTI	TION		
TP-1	TOILET	Manufacturer: CAROLINA PART	TTIONS	
	SYSTEM	Style:		
		Finish: Color:		
B. 1 6. 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	OF THE SITE AND INSPEC THE DRAWINGS AND SPE COMMENCING WORK. NO NCONSISTENCIES IN THI PROTECT OWNER'S PRO TIMES. THIS INCLUDES A AND REMOVAL OF WALLS WHICH MAY INTERFERE ANY ITEMS THAT ARE NO THAT ARE DAMAGED SHA COORDINATE ANY SYSTE REQUIRED FOR NORMAL OWNER. PATCH AND PAINT ALL AI DAMAGED DURING DEMO	Y. NO DEMOLISHED TOCKPILED. LI MAKE PERSONAL INSPECTION CT EVERYTHING REQUIRED BY ECIFICATIONS PRIOR TO OTIFY THE ARCHITECT OF ANY E DRAWINGS. PERTY AND PERSONS AT ALL ALL DEMO AND DISMANTLING S, EQUIPMENT, PIPING, ETC. WITH NEW CONSTRUCTION. DT SHOWN TO BE DEMOLISHED ALL BE REPAIRED BY CONTRACTOR. EM SHUTDOWN WHICH MAY BE DAILY OPERATION WITH THE REAS OF GYP. BOARD THAT ARE DLITION.		ISSUE FOR BID 03/28/16
DEMO	DEMOLITION KEY	<u>red notes</u>		Ļ
$\frown$		OF WALL AS REQUIRED		HÞ
		SALVAGE AND TURN OVER TO OWNER		ARR
	OVE WINDOW AND FRAM	IE, SALVAGE AND TURN OVER TO OWNER		
	OLISH ALL COUNTER TO	PS AND CASEWORK		- ST
		AND PREPARE FOR NEW		
$\frown$	PENDED ACT CEILING OLISH CEILING LIGHTING	FIXTURES ALL OTHER		
EXIS	TING CEILING FIXTURES USERS, SPEAKERS, ETC.	TO BE RELOCATED (i.e.		CANCAST CVATION
	OLISH TILE FLOOR AND V FACES FOR NEW TILE SY	NALL SYSTEMS, PREPARE 'STEMS		
	OLISH TOILET PARTITION	N AND DOOR		
	OLISH TOILET FIXTURE			USC REN
	OLISH URINAL			
	OLISH SINK			
	OLISH MIRROR			
	OLISH PAPER TOWEL DIS	SPENSER		
	OLISH SOAP DISPENSER			
	OVE DOORS, PREPARE D	DOOR FRAME FOR NEW DOORS		
(16) REM	OVE DOOR, KEEP DOOR			
DEMO	PLAN KEY			
	WALL TO BE	REMOVED		s s
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LIGHTING FIXTURE SCHEDULE									
SYMBOL	TYPE	DESCRIPTION	MANUFACTURER	MODEL NUMBER	OPTICAL ELEMENT	MOUNTING	VOLTS	LAMPS (PHILIPS)	
•	A	2'x4' DIRECT/INDIRECT STATIC L.E.D. GRID TROFFER.	CREE	ZR24-40L-40K-NON-DIM	DIRECT/ INDIRECT w/CENTER BASKET	CEILING RECESSED	120/277V UNIVERS.	L.E.D 4000 lumens, 4000K	
•	В	2'x4' DIRECT/INDIRECT STATIC L.E.D. GRID TROFFER.	CREE	ZR24-50L-40K-NON-DIM	DIRECT/ INDIRECT w/CENTER BASKET	CEILING RECESSED	120/277V UNIVERS.	L.E.D 5\000 lumens, 4000K	
<b></b>	С	8" L.E.D. RECESSED DOWNLIGHT WITH WET LOCATION LISTING.	H.E. WILLIAMS	LX4RT-R-4-L12/840-S-A-DRV-UNV	DIFFUSE ACRYLIC	GYPSUM CEILING RECESSED	120/277 UNIVERS.	L.E.D 1200 lumens, 4000k	
암	U	EMERGENCY LIGHTING UNIT, WALL MOUNTED WITH TWO HEADS, SELF DIAGNOSTICS, AND A 90 MINUTE BATTERY BACKUP SYSTEM.	EMERGI-LITE	PRO-3N-LA-AD	MR16 HEADLAMPS (FLOOD)	MOUNT OVER EXISTING BOX.	120/277V UNIVERS.	2 - 6-VOLT, 4-WATT MR16 L.E.D.	
<b>⊗</b> +⊗	-	EDGE-LIT L.E.D. EXIT SIGN WITH SINGLE FACE AND GREEN LETTERING. PROVIDE ARROWS/ CHEVRONS AS SHOWN ON PLAN.	EMERGI-LITE	TA-PEN-1-GC with 3-YEAR FULL WARRANTY.	GREEN LETTERING	UNIVERSAL WALL OR CEILING	120/277V UNIVERS.	L.E.D COMPLY WITH 2012 IBC	
€ +	-	EDGE-LIT L.E.D. EXIT SIGN WITH DOUBLE FACE AND GREEN LETTERING. PROVIDE ARROWS/ CHEVRONS AS SHOWN ON PLAN.	EMERGI-LITE	TA-PEN-2-GC with 3-YEAR FULL WARRANTY.	GREEN LETTERING	UNIVERSAL WALL OR CEILING	120/277V UNIVERS.	L.E.D COMPLY WITH 2012 IBC	

NOTE: PROVIDE GRID HOLD-DOWN CLIPS FOR EACH 2'x2' FIXTURE AS REQUIRED TO COMPLY WITH ASTM E-580 AND THE INTERNATIONAL BUILDING CODE.

### GENERAL DEMOLITION NOTES

- REMOVE AND LEGALLY DISPOSE OF ALL EXISTING CONTROLS, DEVICES, LIGHTING FIXTURES, EXIT SIGNS, AND ALL ASSOCIATED RACEWAY AND WIRING NOTED ON PLANS.
- . REMOVE AND LEGALLY DISPOSE OF ALL EXISTING CONTROLS, DEVICES, LIGHTING FIXTURES, EXIT SIGNS, AND ALL ASSOCIATED RACEWAY AND WIRING NOTED ON PLANS. ROVIDE 2-HOUR RATED FIRESTOPPING COMPOUND IN HOLES WHERE EXISTING RACEWAYS ARE REMOVED.
- THE CONTRACTOR SHALL VISIT THE SITE/ BUILDING TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BID AND SHALL INCLUDE ALL WORK REQUIRED FOR COMPLETE DEMOLITION AND RENOVATION IN HIS BID.

### GENERAL CONSTRUCTION NOTES

1. PROVIDE ALL WORK IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS:

INTERNATIONAL BUILDING CODE

NFPA 70 - NATIONAL ELECTRICAL CODE

2011 EDITION

ANSI A117.1 - ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

2009 EDITION

2012 EDITION

PROVIDE NEW RACEWAY AND WIRING TO ALL DEVICES, FIXTURES, AND EQUIPMENT INDICATED ON THE CONTRACT DRAWINGS. THE DRAWINGS INDICATE PARTIAL RACEWAY AND WIRING REQUIREMENTS TO HELP CLARIFY DESIGN INTENT. WHERE RACEWAY AND/OR WIRING IS NOT INDICATED FOR DEVICES, FIXTURES, OR EQUIPMENT THE ARRANGEMENT, GROUPING, AND ROUTING SHALL BE PROVIDED IN ACCORDANCE WITH THE 2011 EDITION OF THE NATIONAL ELECTRICAL CODE.

3. ALL CONDUIT PENETRATIONS THROUGH WALLS AND CEILINGS SHALL BE 2-HOUR FIRESTOPPED IN ACCORDANCE WITH DETAILS SHOWN ON DRAWING E6.00.

4. RACEWAYS SHALL BE EMT WITH COMPRESSION TYPE FITTINGS UNLESS NOTED OR DETAILED OTHERWISE. PROVIDE FIXTURE WHIPS THAT COMPLY WITH THE NATIONAL ELECTRICAL CODE.

5. JUNCTION BOXES SHALL BE STEEL TYPE WITH SCREW COVER, SIZED AND SUPPORTED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. PROVIDE JUNCTION BOXES AS REQUIRED FOR POWER AND CONTROL WIRING RENOVATIONS.

6. INSTALL ELECTRICAL SYSTEMS WITHOUT INTERFERING WITH DUCTS, PIPES, STRUCTURAL MEMBERS, OR OTHER SYSTEMS.

PROVIDE SEISMIC WIRE SUPPORTS TO SUPPORT ALL NEW LIGHTING FIXTURES - ENSURE INSTALLATION COMPLIES WITH ASTM E-580 AND THE INTERNATIONAL BUILDING CODE (ONE WIRE FOR EACH EXIT SIGN AND TWO WIRES FOR ALL OTHER LIGHTING FIXTURES). 8. THOROUGHLY CLEAN ALL EQUIPMENT AND SYSTEMS BEFORE PLACING IN OPERATION. RESTORE FINISHED SURFACES IF DAMAGED AND DELIVER THE ENTIRE INSTALLATION IN AN APPROVED CONDITION. THE CONTRACTOR SHALL INSTRUCT THE OWNER'S PERSONNEL IN THE PROPER OPERATION AND MAINTENANCE OF ALL FIXTURES AND SYSTEMS. FURNISH 3 SETS OF OPERATION AND MAINTENANCE MANUALS TO THE OWNER FOR THE INSTALLED LIGHTING SYSTEM.

9. THE CONTRACTOR SHALL GUARANTEE THE WORK INSTALLED UNDER THIS CONTRACT FOR A PERIOD OF ONE YEAR AFTER DATE OF FINAL ACCEPTANCE. DEFECTS WHICH APPEAR AS A RESULT OF NORMAL USAGE SHALL BE REMEDIED BY THE CONTRACTOR TO THE COMPLETE SATISFACTION OF THE OWNER WITHOUT COST TO THE OWNER. SEE SPECIAL LIGHTING WARRANTY REQUIREMENTS IN LIGHTING FIXTURE SCHEDULE.

10. CUTTING, DRILLING, AND PATCHING: PROVIDE CHASES, SLOTS, AND OPENINGS IN EXISTING BUILDING COMPONENTS TO ALLOW FOR ELECTRICAL INSTALLATIONS. PERFORM CUTTING, DRILLING, FITTING, AND PATCHING REQUIRED TO:

A) INSTALL EQUIPMENT, MATERIALS, AND RACEWAYS IN EXISTING STRUCTURES. B) REMOVE AND REPLACE DEFECTIVE WORK THAT DOES NOT CONFORM TO

REQUIREMENTS OF THE CONTRACT DOCUMENTS.

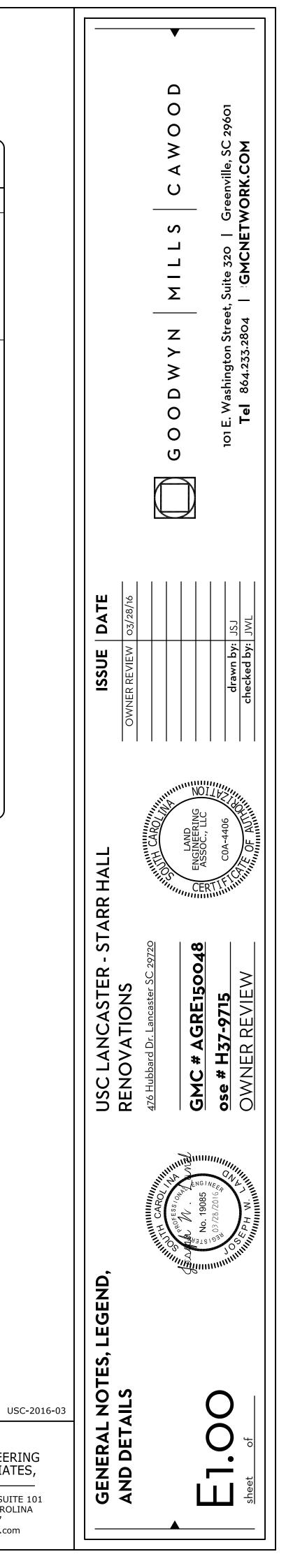
C) UPON WRITTEN INSTRUCTIONS FROM THE ARCHITECT/ENGINEER, UNCOVER AND RESTORE WORK TO PROVIDE FOR ARCHITECT/ENGINEER OBSERVATION OF CONCEALED WORK.

PROTECT EXISTING STRUCTURES, FURNISHINGS, FINISHES, MECHANICAL SYSTEMS, AND ELECTRICAL SYSTEMS WHILE PERFORMING CUTTING, DRILLING, FITTING, AND PATCHING.

PATCH EXISTING SURFACES AND BUILDING COMPONENTS USING NEW MATERIALS THAT MATCH EXISTING MATERIALS. PATCHING SHALL BE PERFORMED BY EXPERIENCED INSTALLERS.

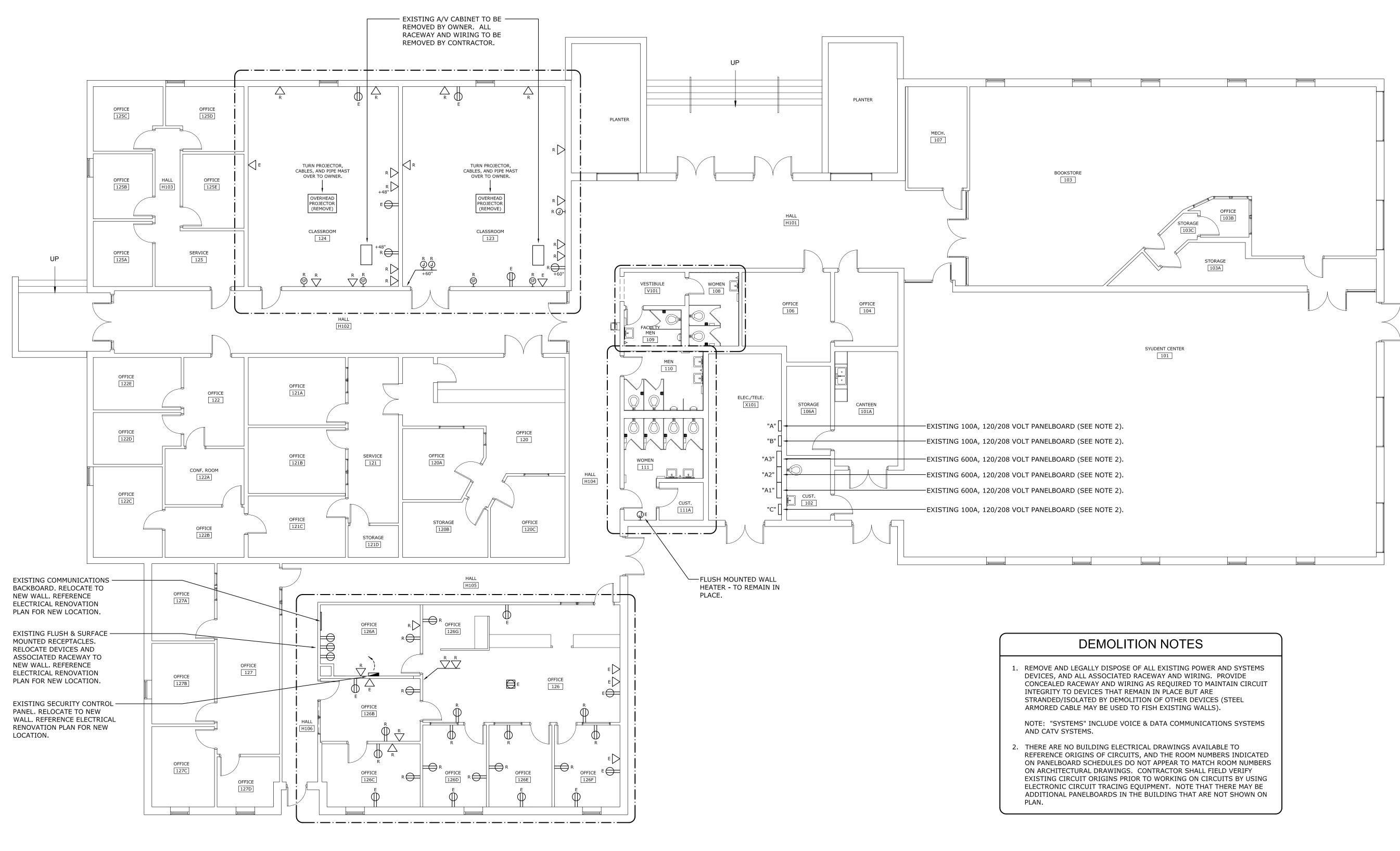
	ELECTRICA	L LEGEN	ND	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	
•	LIGHTING FIXTURE - TYPE AS INDICATED ON PLAN. SEE THE LIGHTING FIXTURE SCHEDULE FOR ADDITIONAL SYMBOLS AND TYPES.	⊕=	QUADPLEX RECEPTACLE OUTLET, TWO NEMA 5-20R RECEPTACLES IN A SINGLE STEEL BOX. FLUSH MOUNT DEVICES IN WALL AT 18" AFF UNLESS NOTED OTHERWISE.	
$\overline{2}$	SINGLE OR DOUBLE FACE EXIT SIGN, CEILING MOUNTED. PROVIDE DIRECTIONAL ARROWS/CHEVRONS AS INDICATED ON PLAN.		VOICE/DATA COMMUNICATIONS OUTLET. PROVIDE A 4" SQUARE STEEL BOX WITH SINGLE-GANG PLASTER RING FLUSH MOUNTED IN WALL AT 18" AFF UNLESS NOTED OTHERWISE. PROVIDE A ONE INCH EMT RACEWAY WITH PULL-STRING FROM OUTLET TO SPACE ABOVE ACOUSTICAL DROP CEILING. PROVIDE A FIBER BUSHING ON BOTH END OF RACEWAY.	
<b>₩ ₩</b>	SINGLE OR DOUBLE FACE EXIT SIGN, WALL OR BACK MOUNTED AT 7 FEET ABOVE FINISHED FLOOR OR 6 INCHES ABOVE DOORWAY. PROVIDE DIRECTIONAL CHEVRONS (ARROWS) AS INDICATED ON PLAN.			
(D) <sub>os</sub>	DUAL TECHNOLOGY OCCUPANCY SENSOR, CEILING MOUNTED. PROVIDE WATTSTOPPER #DT300 WITH #BZ-50 UNIVERSAL VOLTAGE POWER PACK OR EQUAL. PROVIDE CONTROL AND LOW-VOLTAGE WIRING AS RECOMMENDED BY THE SENSOR MANUFACTURER.		EXISTING ELECTRICAL PANELBOARD - TO REMAIN IN PLACE. PROVIDE MODIFICATIONS AND ADDITIONS AS NOTED ON PLANS.	
<b>S</b> os	SINGLE-POLE WALL SWITCH OCCUPANCY SENSOR - WATTSTOPPER #PW-301 WITH WHITE PHENOLIC WALLPLATE. FLUSH MOUNT SWITCH IN		EXISTING CONTROL PANEL - TYPE AS INDICATED ON PLAN. RELOCATE PANEL AS DESCRIBED ON PLAN.	
-	WALL AT 42" ABOVE FINISHED FLOOR.	H) E	EXISTING WALL MOUNTED JUNCTION BOX - TO REMAIN IN PLACE.	
• R	EXISTING 2'x4' RECESSED FLUORESCENT TROFFER - REMOVE TROFFER AND ALL ASSOCIATED RACEWAY AND WIRING.	H) R	EXISTING WALL MOUNTED JUNCTION BOX - REMOVE BOX AND ALL ASSOCIATED RACEWAY AND WIRING.	
• R	EXISTING 2'x2' RECESSED FLUORESCENT TROFFER - REMOVE TROFFER AND ALL ASSOCIATED RACEWAY AND WIRING.	E	EXISTING DUPLEX RECEPTACLE - TO REMAIN IN PLACE. MAINTAIN INTEGRITY OF EXISTING CIRCUIT. EXTEND/RELOCATE OUTLET TO NEV WALL SURFACE WHERE WALLS ARE FURRED-OUT (PROVIDE STEEL EXTENSION BOX AS APPLICABLE). PROVIDE A NEW IVORY WALLPLATE FOR OUTLET TO MATCH NEW OUTLETS.	
Юr	EXISTING INCANDESCENT VANITY WALL SCONCE - REMOVE SCONCE AND ALL ASSOCIATED RACEWAY AND WIRING.			
R os	EXISTING WALL OR CEILING MOUNTED OCCUPANCY SENSOR - REMOVE SENSOR AND ALL ASSOCIATED RACEWAY AND WIRING.	R 🔶	EXISTING DUPLEX RECEPTACLE OUTLET - REMOVE OUTLET AND ALL ASSOCIATED RACEWAY AND WIRING.	
Sos	EXISTING WALL MOUNTED OCCUPANCY SENSOR - REMOVE SENSOR AND ALL ASSOCIATED RACEWAY AND WIRING.	E	EXISTING FLOOR OUTLET WITH DUPLEX RECEPTACLE - TO REMAIN I PLACE. MAINTAIN INTEGRITY OF EXISTING CIRCUIT. MAKE	
Sr	EXISTING LIGHTING WALL SWITCH - REMOVE SWITCH AND ALL ASSOCIATED RACEWAY AND WIRING.		ADJUSTMENTS TO OUTLET AS REQUIRED TO INTERFACE WITH NEW FLOORING.	
	DUPLEX RECPTACLE, NEMA 5-20R. FLUSH MOUNT DEVICE IN WALL AT 18"	E	EXISTING VOICE, DATA, OR CATV COMMUNICATIONS OUTLET - TO REMAIN IN PLACE. EXTEND/RELOCATE OUTLET TO NEW WALL SURFACE WHERE WALLS ARE FURRED-OUT (PROVIDE STEEL EXTENSION BOX AS	
<b>e</b>	AFF UNLESS NOTED OTHERWISE.		APPLICABLE).	
€	DUPLEX RECPTACLE, NEMA 5-20R. FLUSH MOUNT DEVICE IN WALL AT 42" AFF OR 6" ABOVE COUNTERTOP, AS APPLICALE, UNLESS NOTED OTHERWISE ON PLAN. COORDINATE MOUNTING HEIGHT WITH ARCHITECTURAL MILLWORK WHERE APPLICABLE.	R 📐	EXISTING VOICE, DATA, OR CATV COMMUNICATIONS OUTLET - REMOVE OUTLET AND ALL ASSOCIATED RACEWAY AND WIRING.	
GFI	DUPLEX, GROUND-FAULT-INTERRUPT TYPE RECEPTACLE, NEMA 5-20R. FLUSH MOUNT DEVICE AT 18" AFF UNLESS NOTED OTHERWISE.	H®R	EXISTING WALL MOUNTED A/V SYSTEM SPEAKER - REMOVE SPEAKER AND TURN OVER TO OWNER. REMOVE ALL ASSOCIATED RACEWAY AND WIRING.	
GFI	DUPLEX, GROUND-FAULT-INTERRUPT RECPTACLE, NEMA 5-20R. FLUSH MOUNT DEVICE IN WALL AT 42" AFF OR 6" ABOVE COUNTERTOP, AS APPLICALE, UNLESS NOTED OTHERWISE ON PLAN. COORDINATE MOUNTING HEIGHT WITH ARCHITECTURAL MILLWORK WHERE APPLICABLE.			

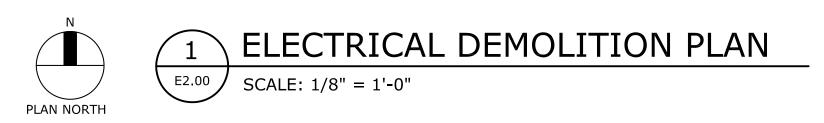
	ELECTRICAL DRAWING INDEX
E1.00	GENERAL NOTES, LEGEND, AND SCHEDULES
E2.00	ELECTRICAL DEMOLITION PLAN
E3.00	LIGHTING DEMOLITION PLAN
E4.00	ELECTRICAL RENOVATION PLAN
E5.00	LIGHTING RENOVATION PLAN
E6.00	FIRESTOP PENETRATION DETAILS

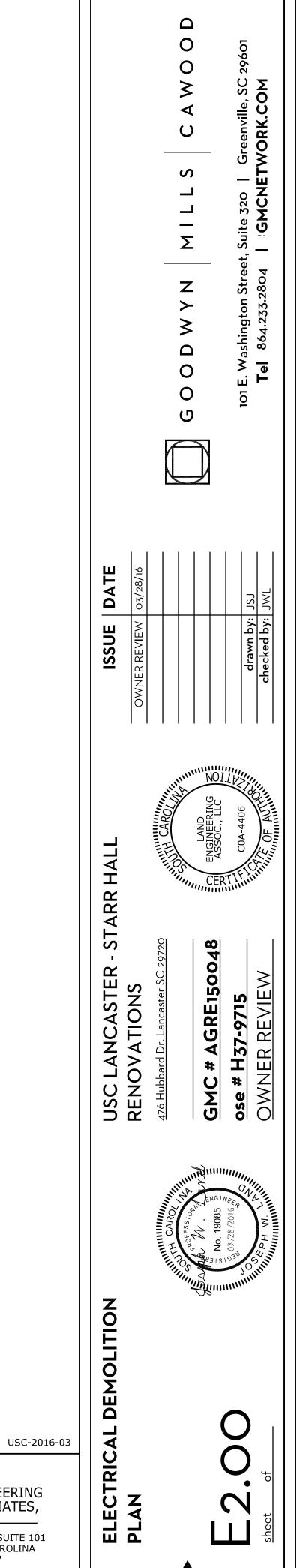


**E**A ENGINEERING ASSOCIATES, 262 SANDHURST ROAD, SUITE 101 COLUMBIA, SOUTH CAROLINA (803) 528<del>-</del>1437

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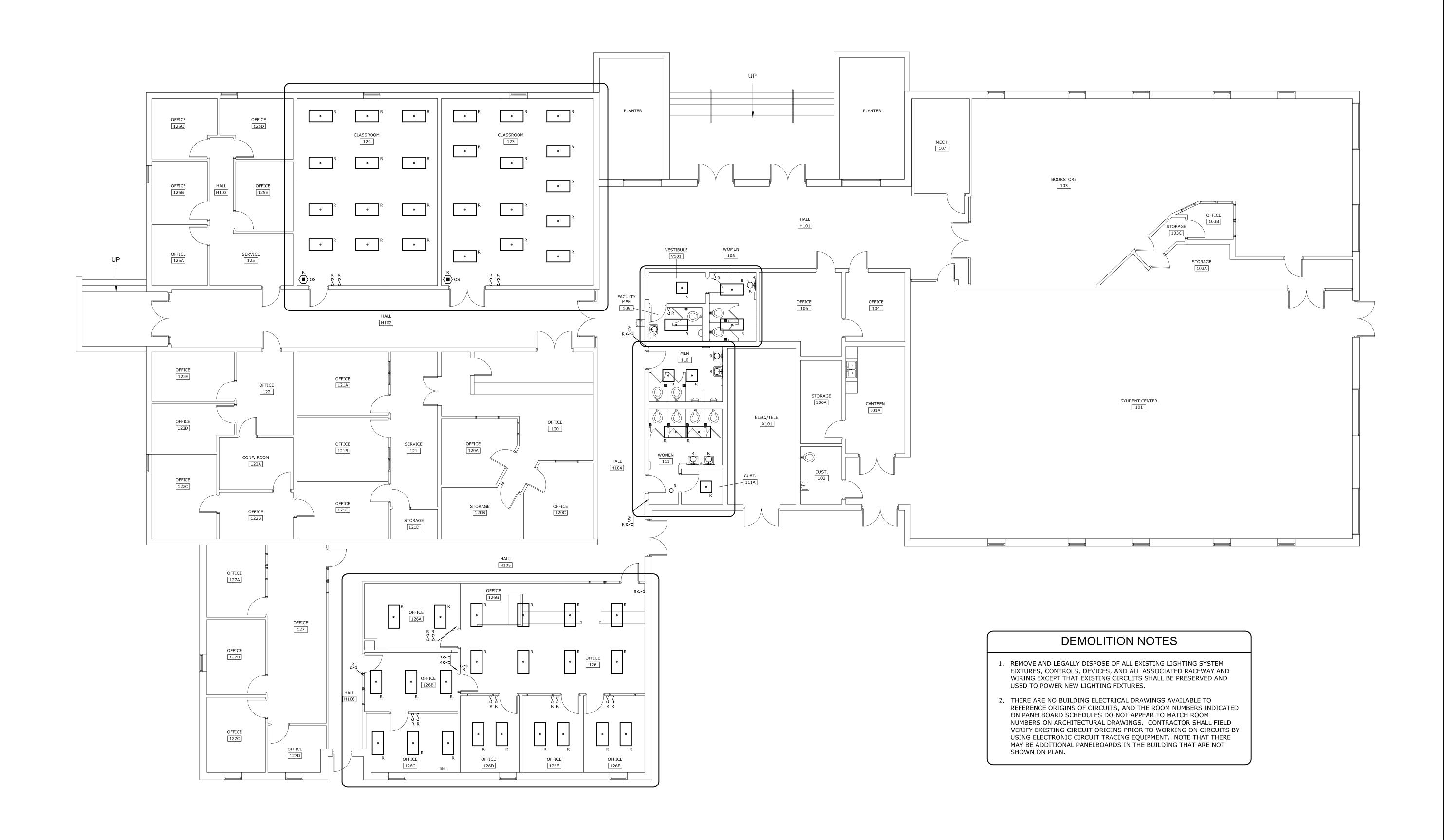


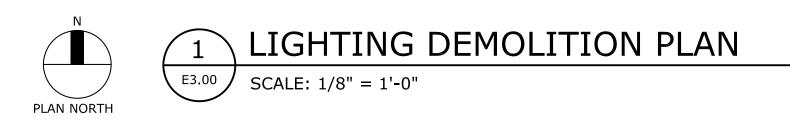






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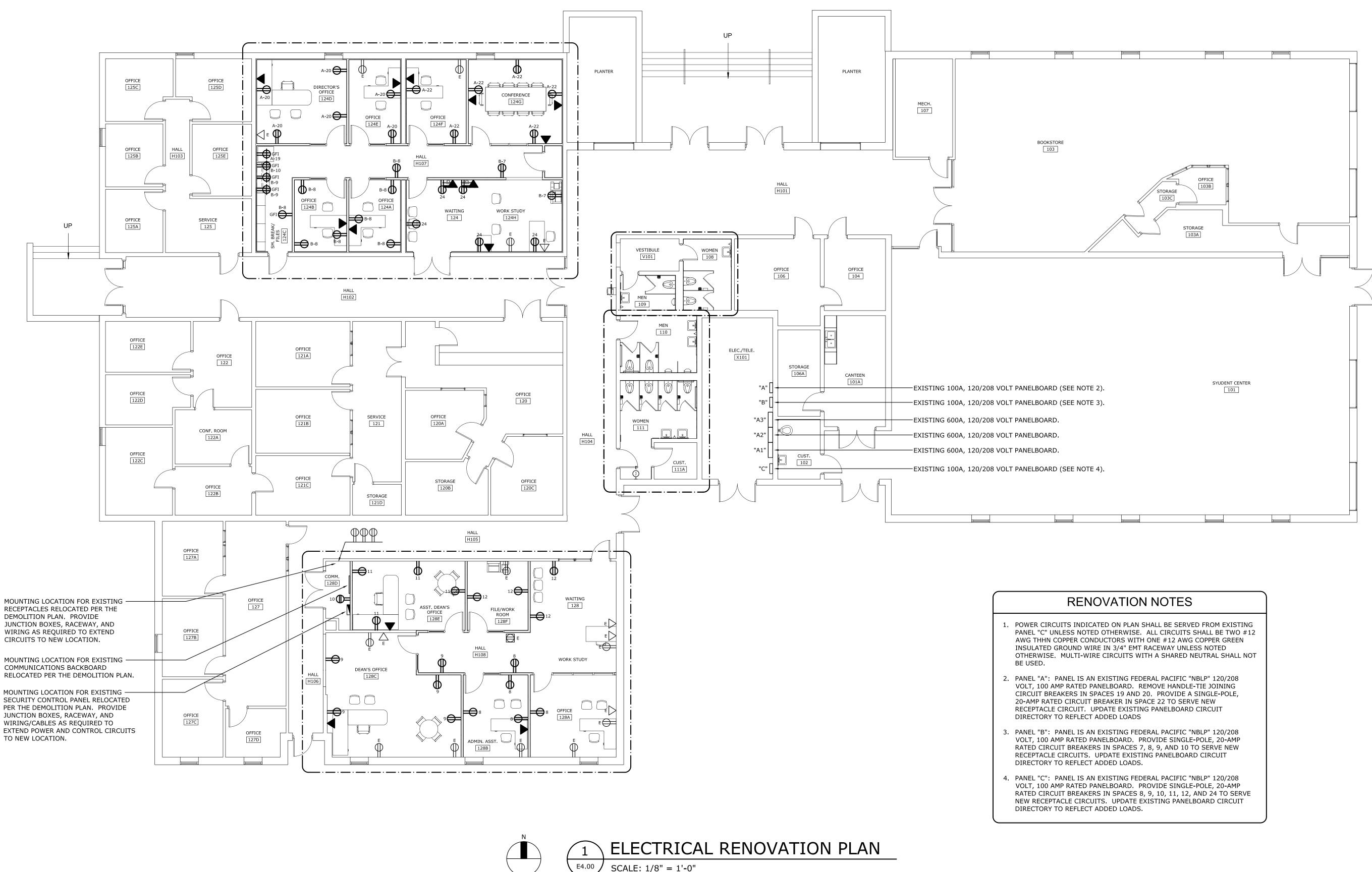




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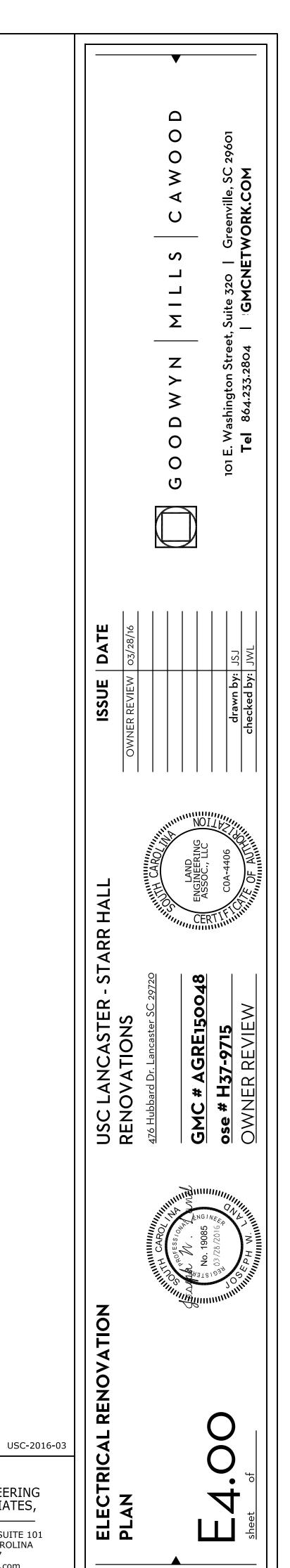


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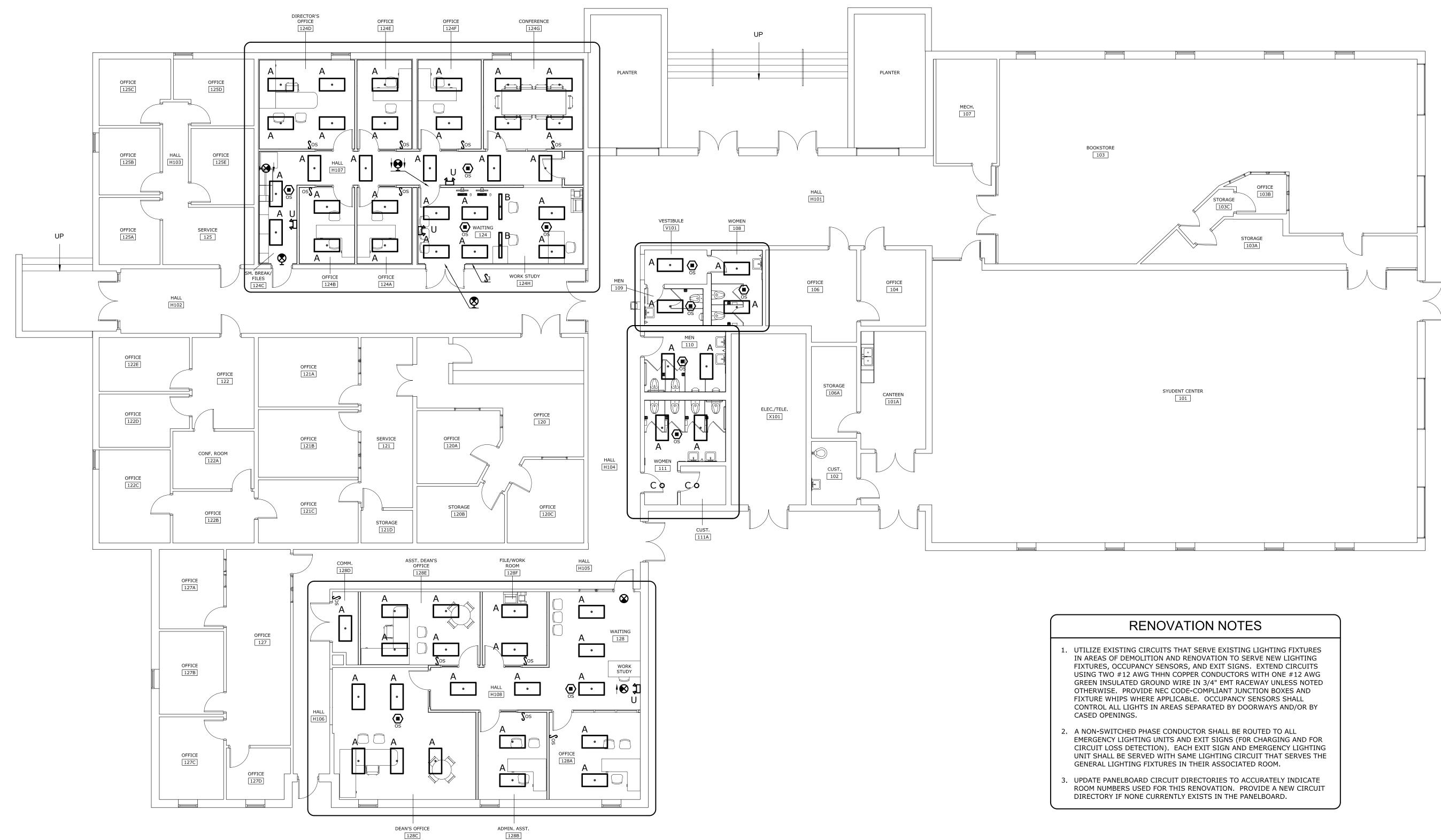
SCALE: 1/8" = 1'-0"

PLAN NORTH





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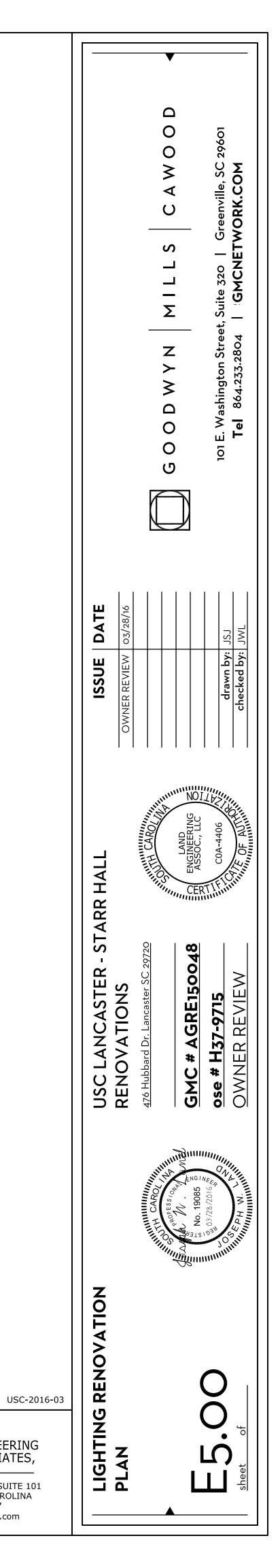
PLAN NORTH

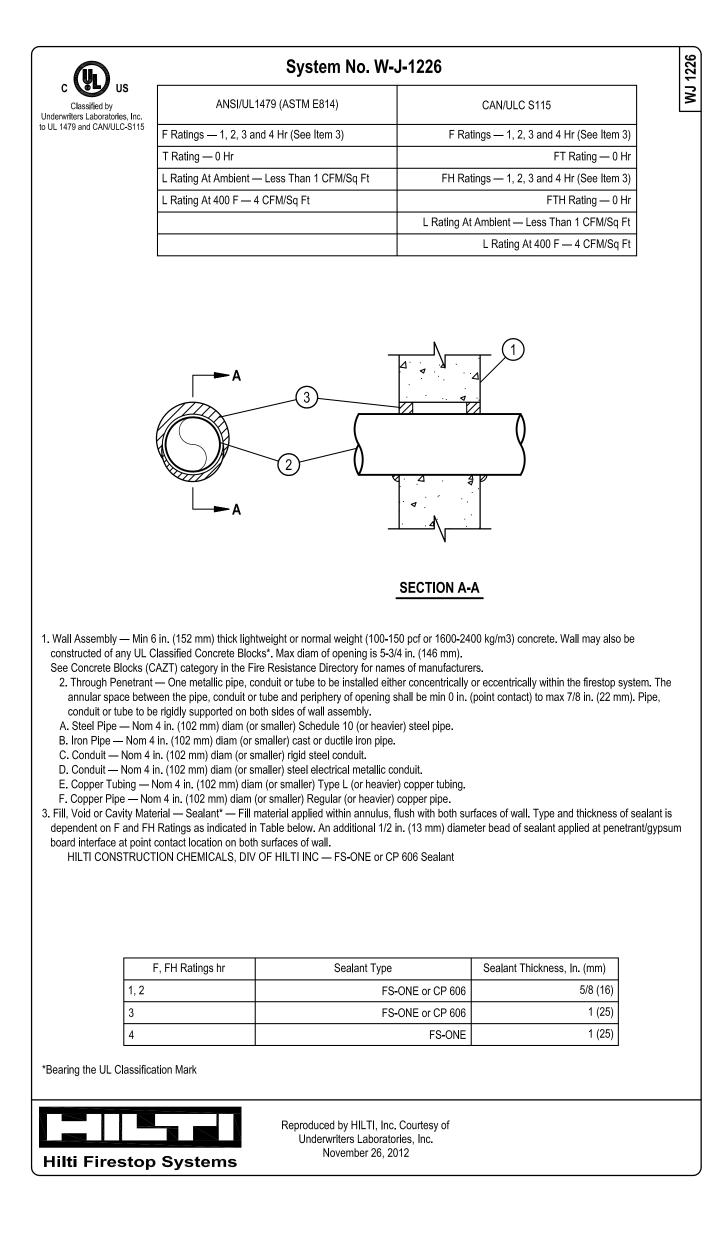
LIGHTING RENOVATION PLAN 1

E5.00 SCALE: 1/8" = 1'-0"

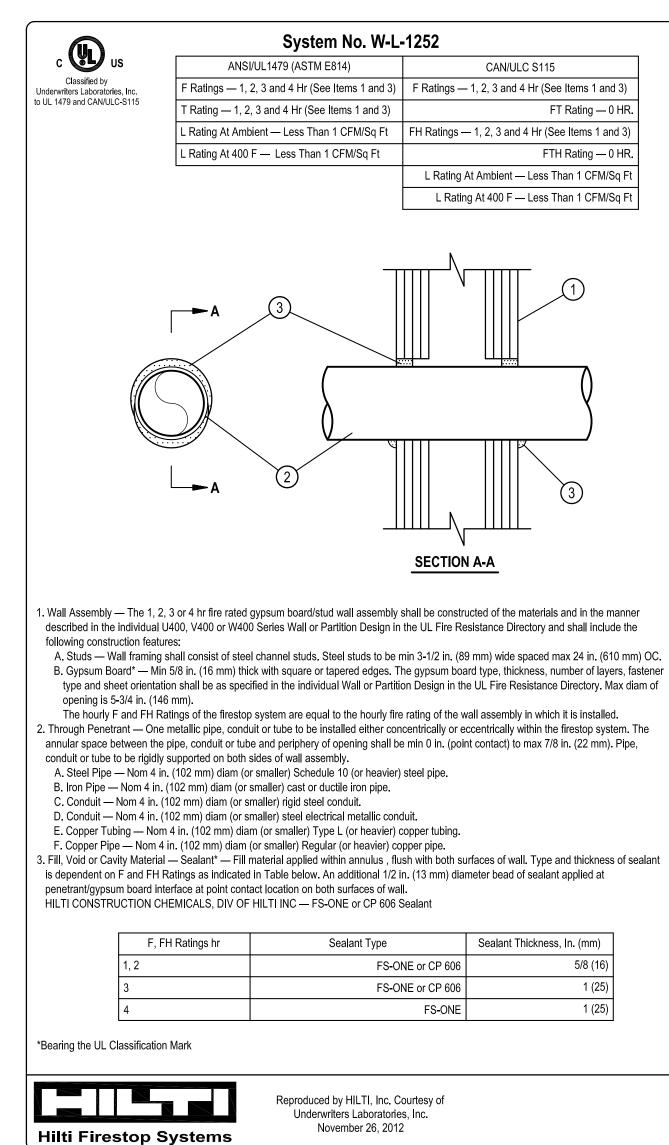
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**FIRESTOP DETAIL - STUD WALLS** E6.00 NOT TO SCALE

