

UNIVERSITY OF SOUTH CAROLINA LONGSTREET THEATRE EXTERIOR RESTORATION USC PROJECT # H27-Z147-B

PROJECT INFORMATION

Address: 1300 Greene Street
Columbia, SC 29208

TMS#: R11303-04-01

CONTACTS

Owner

University of South Carolina
743 Greene Street
Columbia, South Carolina 29208

Christian Mergner
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Columbia, SC 29208
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Architect

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PO Box 21758
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Fax: 843.577.3107

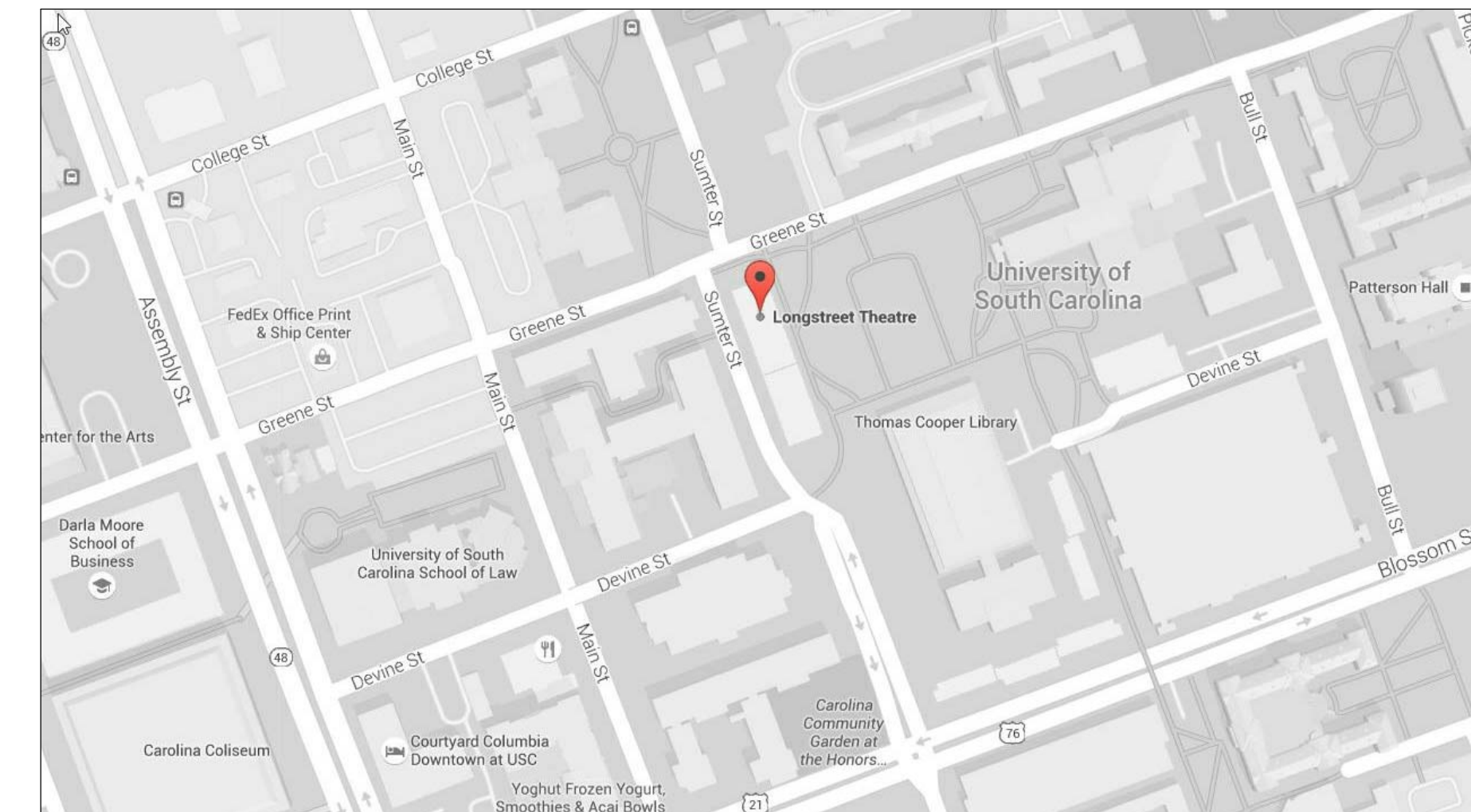
Betty Prime, AIA, LEED AP
Project Architect, Architectural Conservator
Email: betty@meadorsinc.com

Civil

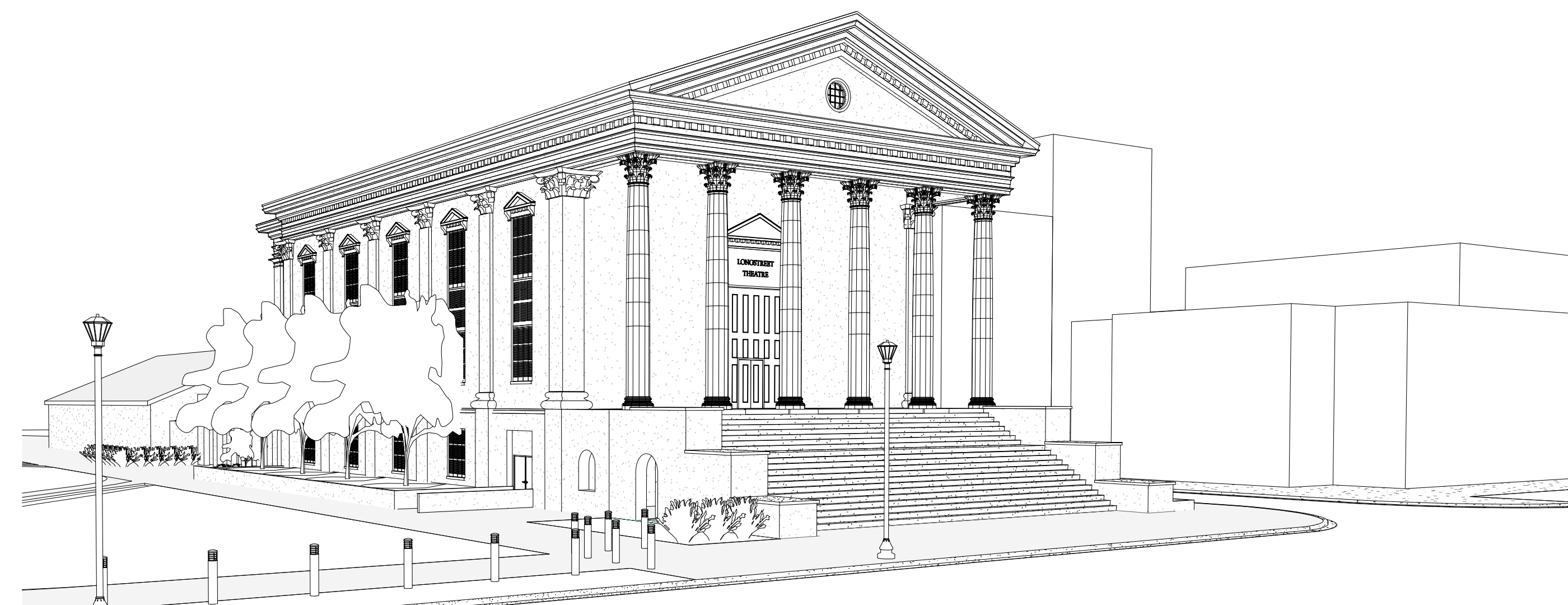
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Columbia, SC 29063
Tel: 803.781.3141 ext. 303
Fax: 803.781.3142

Clay Cannon, P.E.
Email: clay@rbtodd.com

| DRAWING LIST | |
|---------------|---|
| SHEET # | SHEET NAME |
| GENERAL | |
| T001 | TITLE SHEET |
| T101 | NOTES, LEGENDS & ABBREVIATIONS |
| CIVIL | |
| C100 | EXISTING CONDITIONS AND SITE DEMO |
| C200 | ROOF DRAIN AND PIPING PLAN |
| ARCHITECTURAL | |
| A001 | SITE PLAN |
| A101 | EXISTING DEMO & NEW WORK- GROUND FLOOR PLAN |
| A201 | BUILDING ELEVATIONS |
| A202 | BUILDING ELEVATIONS |
| A301 | ENLARGED PLAN DETAILS & PHOTOS |
| A302 | ENLARGED DETAILS- GENERATOR PLATFORM |

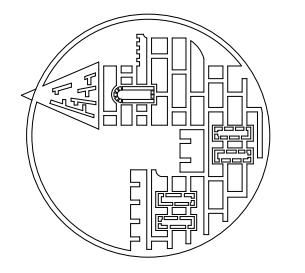


LOCATOR MAP- LONGSTREET THEATRE COLUMBIA, SC

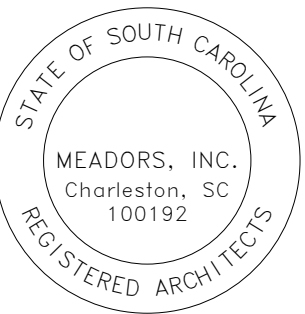


SUMMARY OF WORK

Remove sections of existing planter and trees on the east elevation. Lower grade at existing planter on west elevation. Repair select retaining walls, repair and stucco exposed walls, and paint all disturbed areas. Execute civil work associated with new underground piping for downspouts and drainage. Repoint masonry foundation and replace lost or damaged brick under steps at north elevation.



MEADORS INC.
2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



**USC LONGSTREET THEATRE
EXTERIOR RESTORATION**
H27-Z147-B
1300 GREENE STREET, COLUMBIA, SC 29201

ISSUED FOR
BIDDING

PROJ. NO.
USC PROJ. NO. H27-Z147-B
DATE: 03/28/2016
DRAWN BY: BLP

REVISIONS

| NO. | DATE | NOTES |
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| | | |

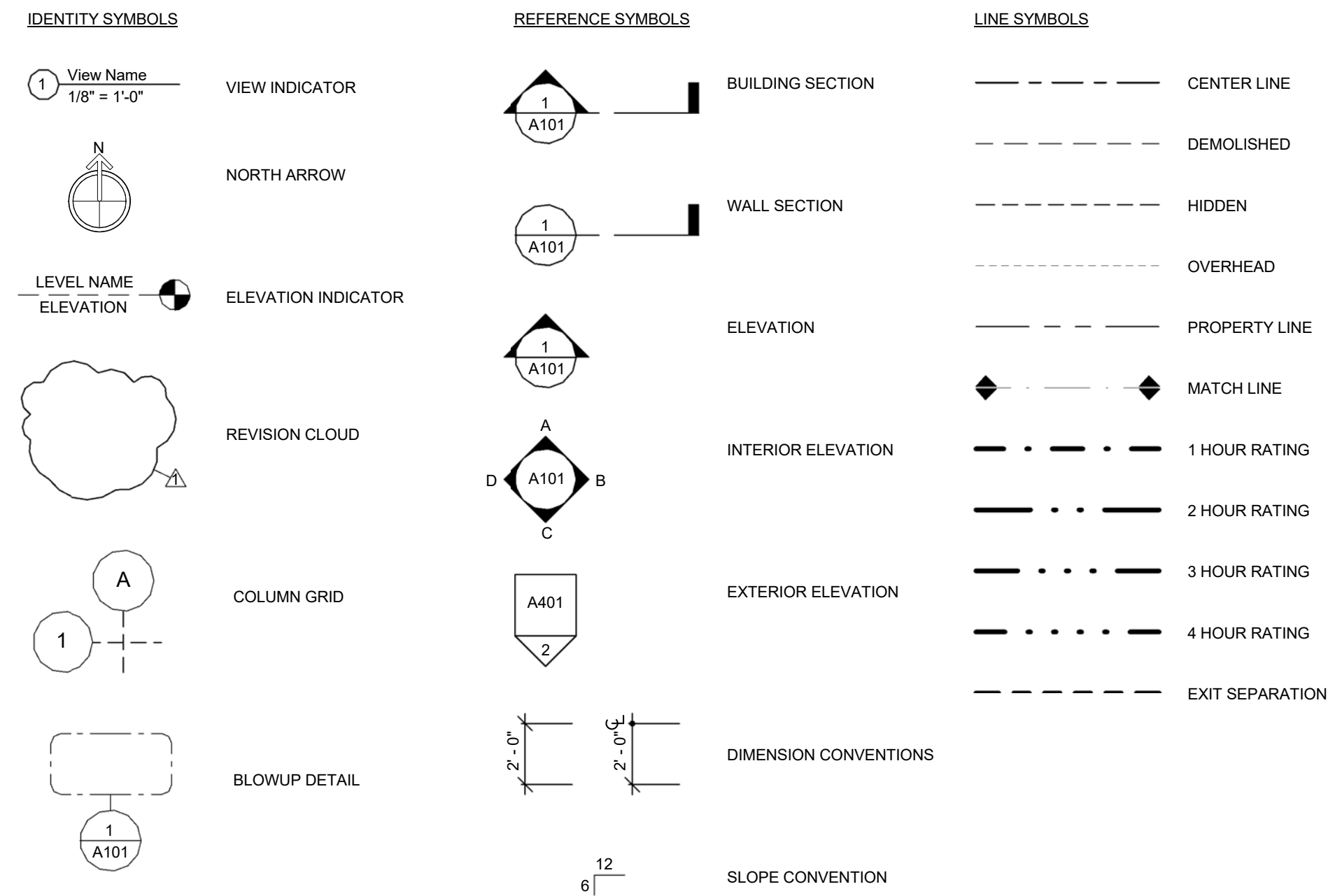
TITLE SHEET

T001

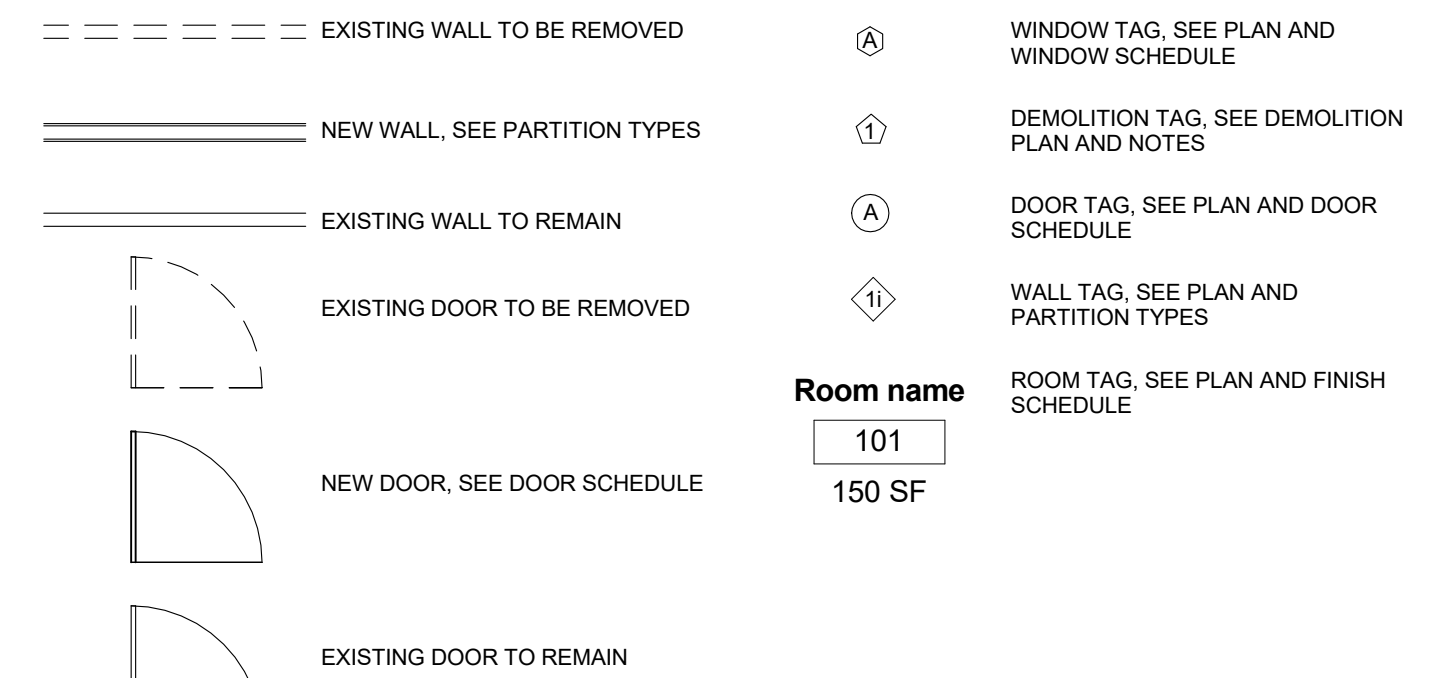
ABBREVIATIONS

| | | | |
|-----------|--|--------|------------------------|
| & | AND | INSUL | INSULATION |
| @ | AT | INTR | INTERIOR |
| AFF | ABOVE FINISHED FLOOR | | |
| ALT | ALTERNATE | MAT'L | MATERIAL |
| APPROX | APPROXIMATE | MAX | MAXIMUM |
| ARCH | ARCHITECTURAL | MECH | MECHANICAL |
| | | MFR | MANUFACTURER |
| BLDG | BUILDING | MIN | MINIMUM |
| B.O. | BOTTOM OF | MISC | MISCELLANEOUS |
| | | M.O. | MASONRY OPENING |
| | | MTL | METAL |
| CL | CENTERLINE | NIC | NOT IN CONTRACT |
| CLG | CEILING | NTS | NOT TO SCALE |
| COL | COLUMN | | |
| CONC | CONCRETE | OC | ON CENTER |
| CONST | CONSTRUCTION | | |
| DET / DTL | DETAIL | PLUMB | PLUMBING |
| DIA | DIAMETER | PT | PRESSURE-TREATED |
| DIM | DIMENSION | | |
| DN | DOWN | REF | REFERENCE |
| DR | DOOR | REINF | REINFORCING |
| DWGS | DRAWINGS | REQ'D | REQUIRED |
| | | REV | REVISION |
| EA | EACH | SCHED | SCHEDULE |
| EJ | EXPANSION JOINT | SIM | SIMILAR |
| ELEV | ELEVATION | SPECS | SPECIFICATIONS |
| EQ | EQUAL | SQ | SQUARE |
| EQUIP | EQUIPMENT | SQ FT | SQUARE FEET |
| EXIST | EXISTING | STD | STANDARD |
| EXTR | EXTERIOR | STRUCT | STRUCTURE / STRUCTURAL |
| | | SYM | SYMMETRICAL |
| FV | FIELD VERIFY | TEMP | TEMPORARY |
| FF | FINISH FLOOR | T.O. | TOP OF |
| FACP | FIRE ALARM CONTROL PANEL | TRTD | TREATED |
| FD | FLOOR DRAIN | TYP | TYPICAL |
| FDN | FOUNDATION | VERT | VERTICAL |
| FE | FIRE EXTINGUISHER | VIF | VERIFY IN FIELD |
| FEC | FIRE EXTINGUISHER & CABINET | | |
| FIG | FIGURE | W/ | WITH |
| FIN | FINISH | W/O | WITHOUT |
| FLR | FLOOR | WP | WATERPROOFING |
| | | WT | WEIGHT |
| GALV | GALVANIZED | | |
| GA | GAUGE OR GAGE | | |
| GYP BD | GYPSUM BOARD | | |
| HORIZ | HORIZONTAL | | |
| HT | HEIGHT | | |
| HVAC | HEATING, VENTILATION, & AIR CONDITIONING | | |

DRAWING CONVENTIONS

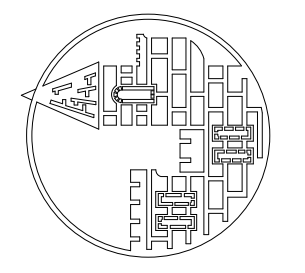


PLAN LEGEND

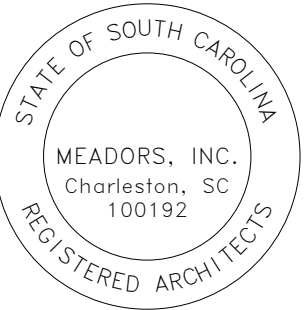


DRAWING NOTES

- THE BUILDING IS AN HISTORIC STRUCTURE. CARE SHALL BE TAKEN TO PROTECT THE BUILDING AND PROPERTY FROM DAMAGE DURING THE WORK.
- REFERENCE MEADORS CONSERVATION ASSESSMENT DATED 03/16/2015 FOR EXISTING PHOTOGRAPHS AND BUILDING CONDITIONS.
- THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.
- THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUB-CONTRACTORS.
- THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, TAXES, PERMITS, AND FEES AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE PROJECT.
- PLANS ARE GENERAL AND DIAGRAMMATIC IN NATURE. THE PLANS ARE NOT INTENDED TO REPRESENT THE TOTAL SCOPE OF WORK. EACH CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL CONDITIONS AS THEY EXIST IN THE FIELD THROUGH SITE INSPECTION AND REVIEW OF THESE DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND COORDINATE THE REMOVAL AND DEMOLITION WORK AS REQUIRED TO ACHIEVE THE FINAL PRODUCT AS INDICATED IN THESE DOCUMENTS.
- BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS, OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- THE ARCHITECT SHALL HAVE UNRESTRICTED ACCESS TO THE SITE DURING CONSTRUCTION OF THE PROJECT. IF A CONDITION EXISTS THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ANY OF THE ARCHITECT'S CONSULTANTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION. COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY ARE THE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS, ALL SAFETY PROCEDURES, AND FOR COORDINATION OF ALL PORTIONS OF THE WORK AS OUTLINED IN THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE, UNLESS NOTED OTHERWISE IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS, FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIALS USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES AND SUBCONTRACTORS.
- CLEANING UP: THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH AND, AT THE COMPLETION OF THE WORK, SHALL REMOVE ALL RUBBISH, IMPLEMENTS, AND SURPLUS MATERIALS, AND LEAVE THE PROJECT CLEAN AND IN SAFE CONDITION.
- CONTRACTOR TO PROVIDE THE OWNER WITH A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES AND OPERATIONS AND MAINTENANCE MANUALS ASSOCIATED WITH ANY COMPONENT INCLUDED AS PART OF THE SCOPE OF WORK.
- CONTRACTOR SHALL KEEP A RECORD SET OF DRAWINGS ON SITE AND NOTE DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS AND DOCUMENT SPECIAL CONDITIONS THAT ARE EXPOSED. CONTRACTOR SHALL TURN THE RECORD SET OVER TO THE OWNER AT THE COMPLETION OF THE PROJECT.
- NO OPEN FLAME DEVICES ARE ALLOWED WITHIN THE BUILDING OR ON COMPONENTS STILL ATTACHED TO THE BUILDING. THIS INCLUDES, BUT IS NOT LIMITED TO, TORCHES, WELDERS OR CIGARETTES.
- DO NOT SCALE DRAWINGS.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- THESE DOCUMENTS ARE THE COPYRIGHTED PROPERTY AND INTELLECTUAL PROPERTY OF MEADORS INC. THE DOCUMENTS ARE NOT TO BE REPRODUCED OR UTILIZED FOR ANY PURPOSE OTHER THAN ORIGINALLY INTENDED AS STIPULATED ON THE COVER SHEET AND TITLEBLOCK. USE OF THE DOCUMENTS FOR ANY PURPOSE, SPECIFICALLY STIPULATED OR NOT, SHALL BE GRANTED ONLY VIA AUTHORIZATION IN WRITING BY MEADORS INC.
- NONE OF THE DOCUMENTS INCLUDED IN DRAWING INDEX ARE INTENDED TO BE CONSIDERED IN ISOLATION OF ONE ANOTHER. ALL PARTIES/ENTITIES UTILIZING THESE DOCUMENTS FOR BIDDING, QUANTITY SURVEY, AND/OR CONSTRUCTION SHALL CONSULT THE GENERAL NOTES AND INFORMATION LOCATED ON THIS SHEET AND DESCRIBED IN DOCUMENTS LISTED IN THE DRAWING INDEX BEFORE PROCEEDING WITH PROCUREMENT AND/OR CONSTRUCTION. ALL BIDDERS, SUB-BIDDERS, CONTRACTORS, AND SUB-CONTRACTORS SHALL UTILIZE COMPLETE SETS OF THE BIDDING AND/OR CONSTRUCTION DOCUMENTS IN QUANTIFYING AND CONSTRUCTING. NEITHER THE OWNER NOR ARCHITECT ASSUMES RESPONSIBILITY FOR ERRORS, OMISSIONS, OR MISINTERPRETATIONS RESULTING FROM THE USE OF INCOMPLETE SETS OF BIDDING AND/OR CONSTRUCTION DOCUMENTS.
- ALL CONSTRUCTION, MATERIALS, AND INSTALLATIONS SHALL CONFORM TO THE IBC 2012, AS WELL AS APPLICABLE STATE AND LOCAL CODES, TRADE ASSOCIATION STANDARDS AND/OR MANUFACTURER'S STANDARDS.
- COORDINATE AREAS FOR LAYDOWN, STORAGE AND PARKING WITH ARCHITECT AND OWNER PRIOR TO BEGINNING THE WORK.
- THE OWNER AND HIS DESIGNATED REPRESENTATIVES HAVE FIRST RIGHT OF REFUSAL REGARDING SALVAGEABLE ITEMS. CONTRACTOR SHALL COORDINATE WITH OWNER.
- DURING THE COURSE OF DEMOLITION, IF ITEMS OR AREAS OF HISTORIC SIGNIFICANCE ARE DISCOVERED, CONTRACTOR SHALL CEASE WORK ON ITEM OR AREA OF INTEREST AND IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE AND ARCHITECT.
- EACH EXISTING HISTORICAL COMPONENT MAY VARY SLIGHTLY IN SIZE, SHAPE, AND DETAIL. VERIFY EACH COMPONENT IN THE FIELD PRIOR TO PERFORMING WORK IN THAT AREA.
- ANY ITEMS NOT SHOWN TO BE DEMOLISHED THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ANY ITEMS NOT TO BE RETAINED BY THE OWNER, SHALL BE DISPOSED OF BY THE CONTRACTOR PER APPROPRIATE REGULATIONS.
- COORDINATE LOCATION OF CONSTRUCTION BARRICADES AND DUMPSTER WITH OWNER. DUMPSTER SHALL HAVE A COVER TO AVOID WIND-BLOWN DEBRIS ONTO THE SITE.
- PROVIDE DUST & CONSTRUCTION DEBRIS CONTROL & CONTAINMENT IN AREAS WHERE WORK IS BEING PERFORMED.
- NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK IF MATERIALS ARE EXPOSED THAT ARE DAMAGED AND WERE NOT SCHEDULED FOR REPLACEMENT.
- PROTECT AREAS IN AND ADJACENT TO DEMOLITION AND CONSTRUCTION AREAS.
- AVOID DAMAGE TO INTERIOR & EXTERIOR FINISHES DURING THE COURSE OF THE WORK. SPECIAL CARE SHOULD BE TAKEN TO PRESERVE FINISHES ADJACENT TO WORK.
- ALL PLANTINGS AND PAVING TO REMAIN UNLESS OTHERWISE NOTED. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO RESTORE THE SITE TO THE CONDITION IS WAS FOUND. IF GRASS IS DAMAGED DURING THE COURSE OF CONSTRUCTION IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO HYDROSEED THE SITE WITH IN KIND GRASS.
- DIMENSIONS TO FACE OF STUD UNLESS NOTED OTHERWISE.



MEADORS INC.
2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



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EXTERIOR RESTORATION**
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1300 GREENE STREET, COLUMBIA, SC 29201

**ISSUED FOR
BIDDING**

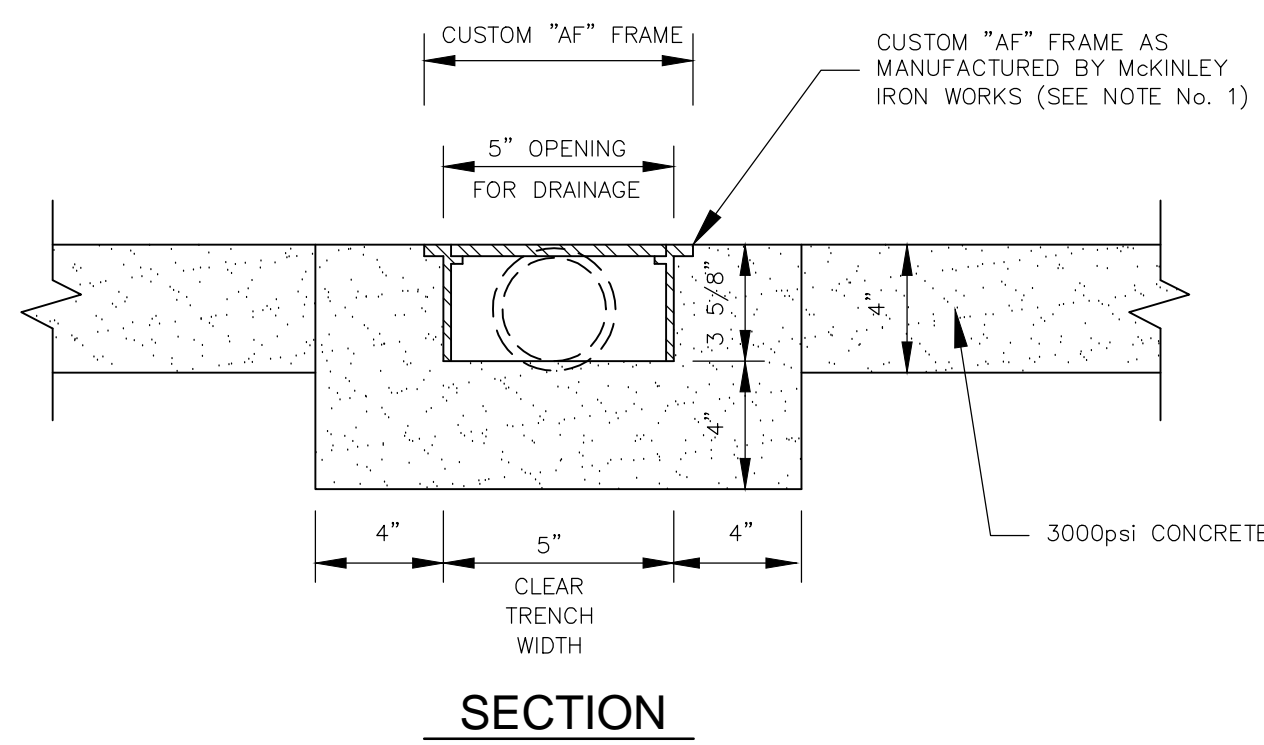
PROJ. NO.
USC PROJ. NO. H27-Z147-B
DATE: 03/28/2016
DRAWN BY: BLP

REVISIONS

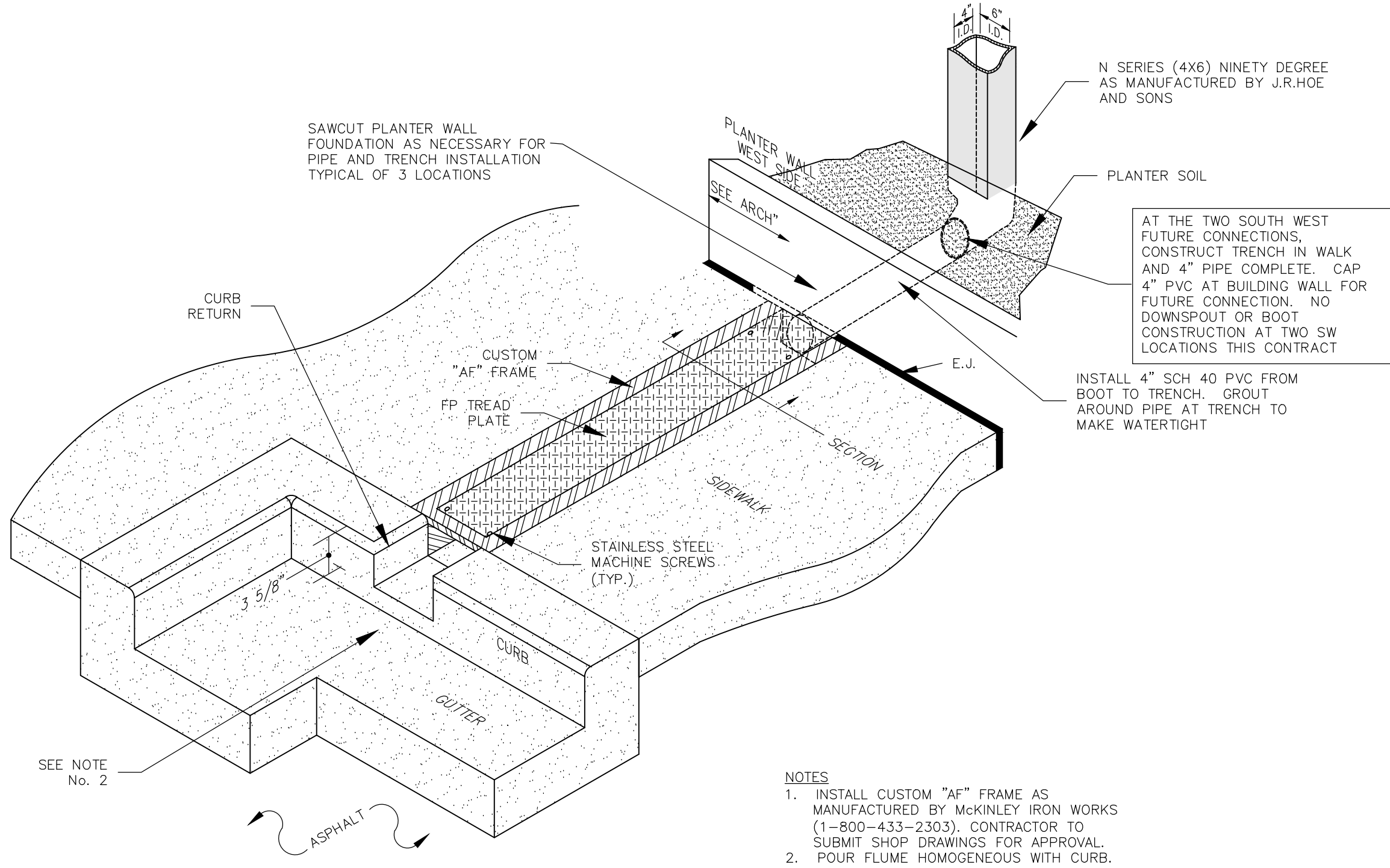
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**NOTES,
LEGENDS &
ABBREVIATIONS**

T101

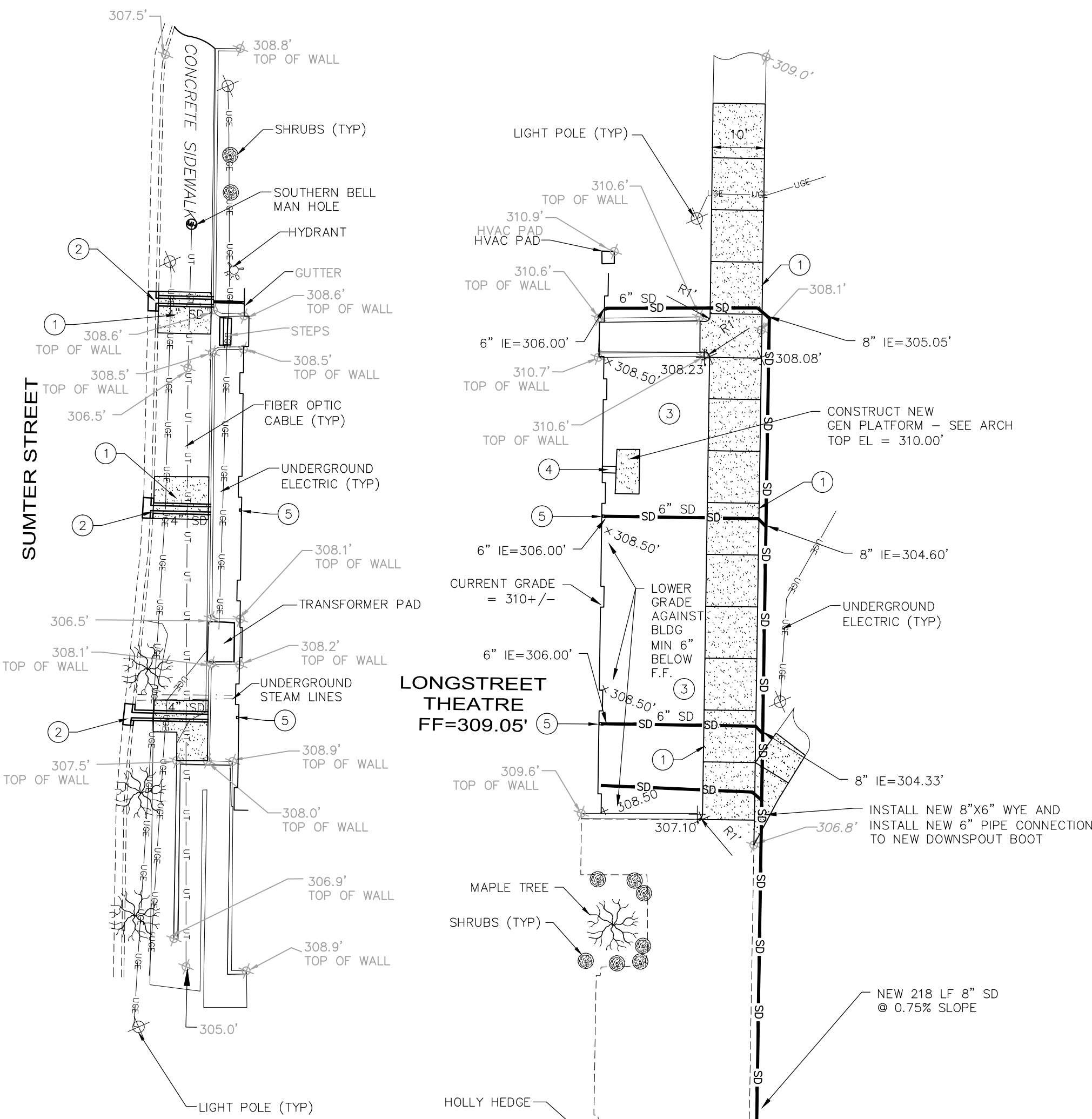


SECTION

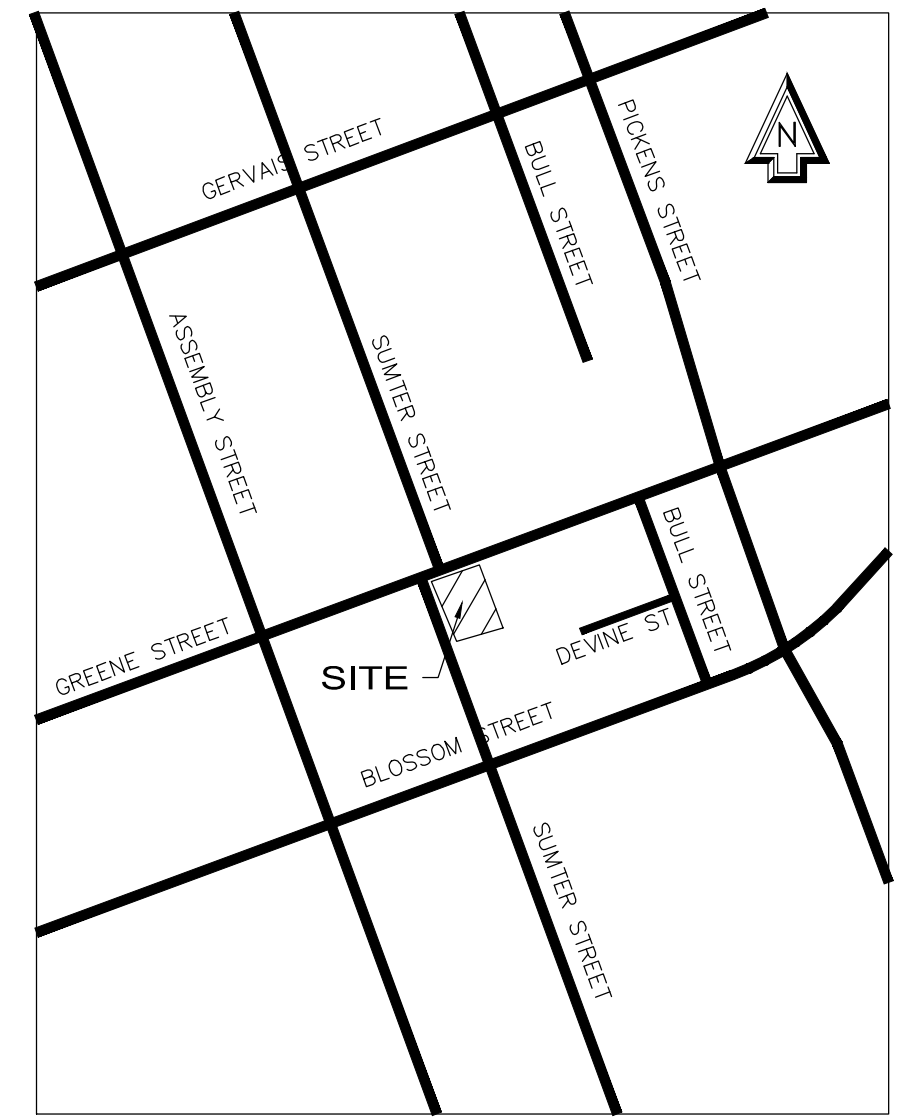


DOWNSPOUT/TRENCH DISCHARGE AT CURB (TYP.) - WEST SIDE OF BUILDING

- NOTES
1. INSTALL CUSTOM "AF" FRAME AS MANUFACTURED BY MCKINLEY IRON WORKS (1-800-433-2303). CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL.
 2. POUR FLUME HOMOGENEOUS WITH CURB. MATCH ELEVATION WITH TRENCH BOTTOM.



LONGSTREET THEATRE FF=309.05'



VICINITY MAP SCALE: 1" = 1000'

GENERAL NOTES

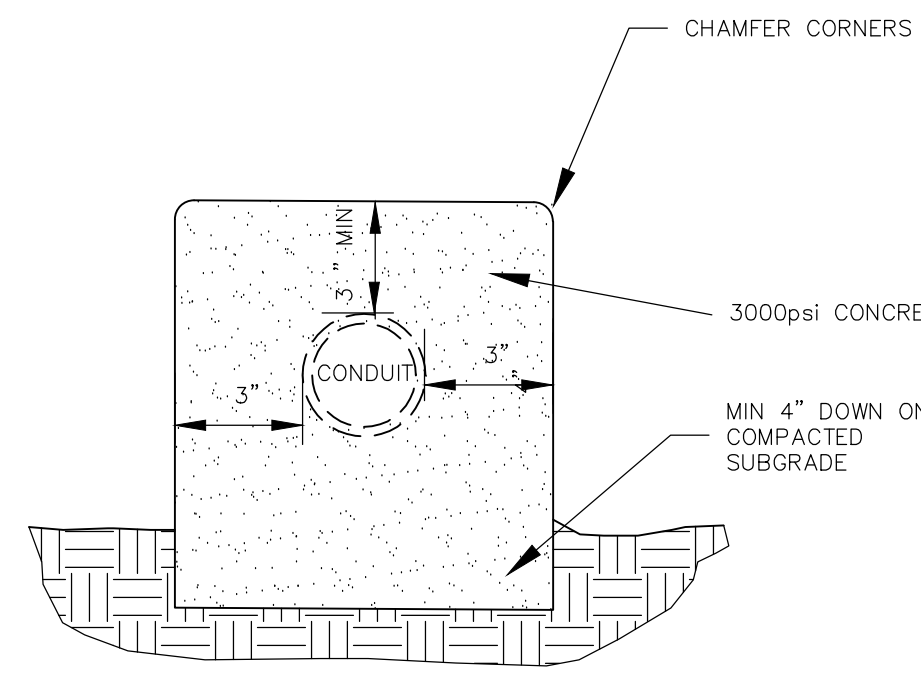
1. NO BOUNDARY OR TOPOGRAPHIC SURVEY WAS PERFORMED BY R.B. TODD CONSULTING ENGINEERS. THE SURVEY IS A COMPILATION OF DATA FROM FIELD SURVEYS AND INPUT FROM USC MAINTENANCE PERSONNEL.
2. PROPERTY INFORMATION
TMS# R11303-04-01
OWNER: UNIVERSITY OF SOUTH CAROLINA
DEVELOPMENT ADDRESS: 1300 LONGSTREET THEATRE
CONTACT: CHRISTIAN MERGNER
PHONE NO.: 803-587-0893
EMAIL: CMERGNER@MC.SC.EDU
ZONING: C-1 OFFICE AND INSTITUTIONAL
3. ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 45079C 0094H, DATED FEBRUARY 20, 2002, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X".
4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS.
5. THE CONTRACTOR SHALL NOTIFY PUPS AT 811 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION TO HAVE ALL UNDERGROUND UTILITIES LOCATED.

LEGEND

| NEW | EXISTING | DESCRIPTION |
|----------|----------|-------------------------|
| N/A | (Symbol) | BENCHMARK/CONTROL POINT |
| N/A | (Symbol) | BUILDING |
| N/A | (Symbol) | LIGHT POLE |
| (Symbol) | (Symbol) | CURB AND GUTTER |
| (Symbol) | (Symbol) | CONCRETE SIDEWALK |
| (Symbol) | (Symbol) | BITUMINOUS SURFACE |
| (Symbol) | (Symbol) | CHAIN LINK FENCE |
| (Symbol) | (Symbol) | KEY NOTE REFERENCE |
| (Symbol) | (Symbol) | STORM DRAIN LINE |

KEY NOTES

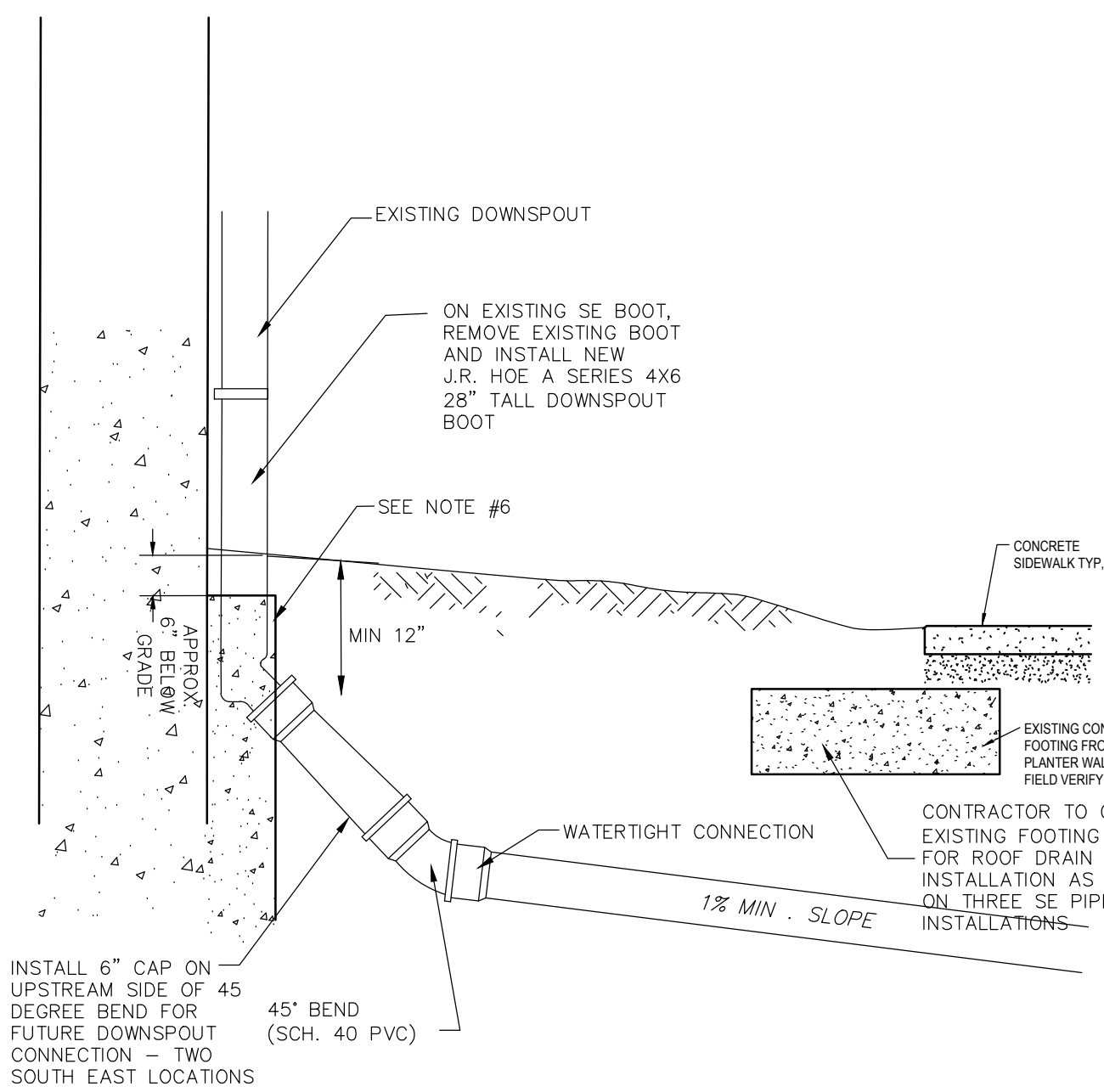
1. NEW 4" THICK CONC. SIDEWALK (3000 PSI) REPLACE TO NEAREST JOINT AT ALL LOCATIONS.
2. NEW CONC. FLUME WITH STEEL PLATE COVER AND OPEN CURB INSTALLATION AT THREE LOCATIONS ALONG SUMMER STREET - SEE DETAIL THIS SHEET. TWO SW FUTURE LOCATIONS INSTALL 4" PIPE INTO PLANTER AND CAP.
3. FINISH REGRADED PLANTER AREA WITH 1" SHREDDED HARDWOOD MULCH
4. FORM AND POUR CONCRETE AROUND GENERATOR CONDUITS FROM NEW PLATFORM TO BUILDING. MAINTAIN 3" MIN CONCRETE AROUND CONDUIT.
5. FUTURE DOWNSPOUT BOOT LOCATIONS



GENERATOR CONDUIT CONCRETE

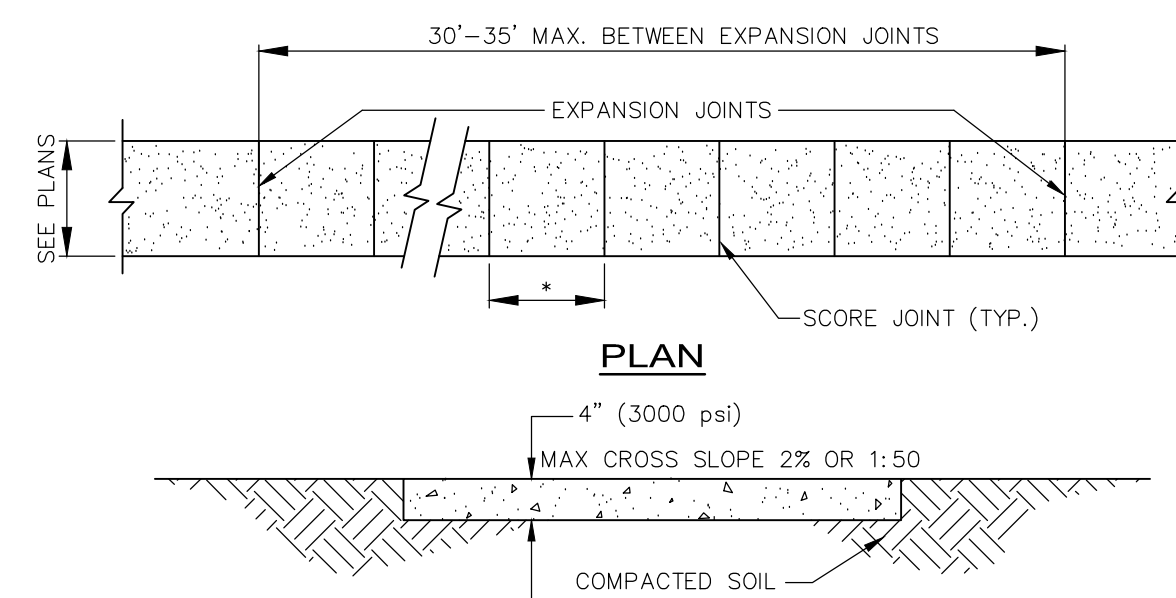
DOWNSPOUT COLLECTOR NOTES:

1. THE ROOF DRAIN COLLECTOR SYSTEM IS SCH 40 PVC PIPE LAID AT MINIMUM SLOPES AS INDICATED.
2. PIPES CONNECTING TO INDIVIDUAL DOWNSPOUTS ARE 6". PROVIDE MINIMUM 6" PIPE SIZE 5" OUTSIDE BUILDING. ALL OTHER DRAIN PIPES ARE SIZED AS INDICATED INCREASING IN SIZE FROM UPSTREAM TO DOWNSTREAM.
3. PROVIDE CLEANOUTS AS INDICATED, AS REQUIRED BY LOCAL BUILDING CODE.
4. CONTRACTOR TO REUSE EXISTING HISTORIC DOWNSPOUT BOOT LOCATIONS ON NE AND NW CORNER
5. MAINTAIN A WATERTIGHT CONNECTION AT ALL PIPE CONNECTIONS BELOW GRADE.
6. CONTRACTOR TO CUT CONCRETE FOUNDATION STEP OUT AS REQUIRED FOR NEW AND FUTURE DOWNSPOUT BOOT INSTALLATION - 3 LOCATIONS ON EAST SIDE. SEE ARCH PLANS FOR DIRECTION ON FINISHING OF CUT.



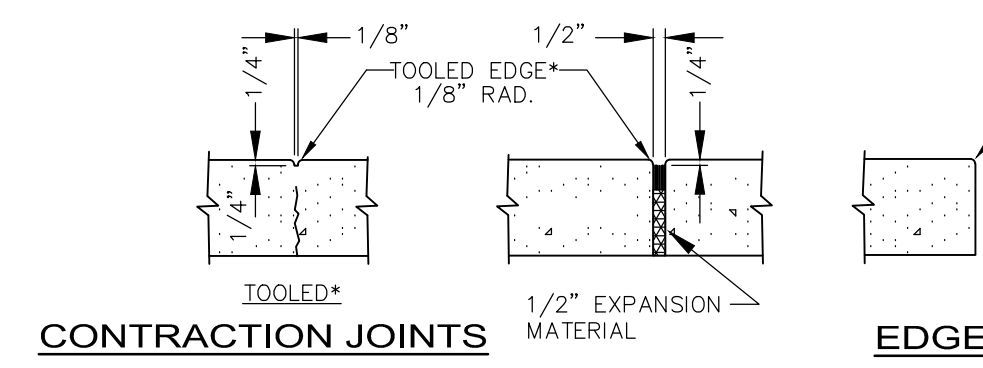
ROOF DRAIN SECTION EAST SIDE

N.T.S.



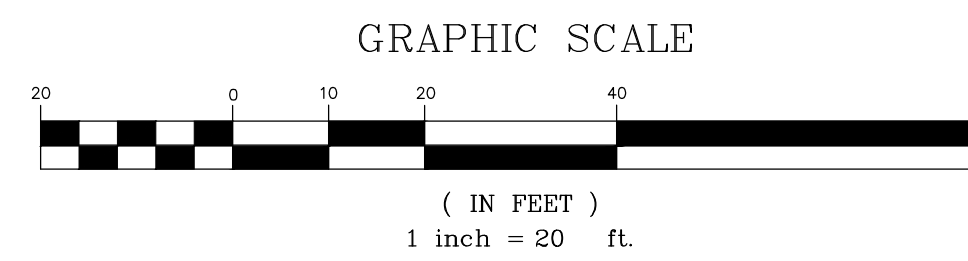
CONCRETE SIDEWALK

SCALE: 1" = 1'-0"



CONCRETE SIDEWALK JOINTS

NOT TO SCALE



| No. | REVISION | DATE |
|-----|----------|------|
| | | |
| | | |

RBTODD CONSULTING ENGINEERS
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www.rbtodd.com

Professional Engineer
C. B. TODD
No. 10000
S.C. 00000

Professional Engineer
C. B. TODD
No. 10000
S.C. 00000

USC LONGSTREET THEATRE
SUMMER WORK 2016

ROOF DRAIN PIPING PLAN

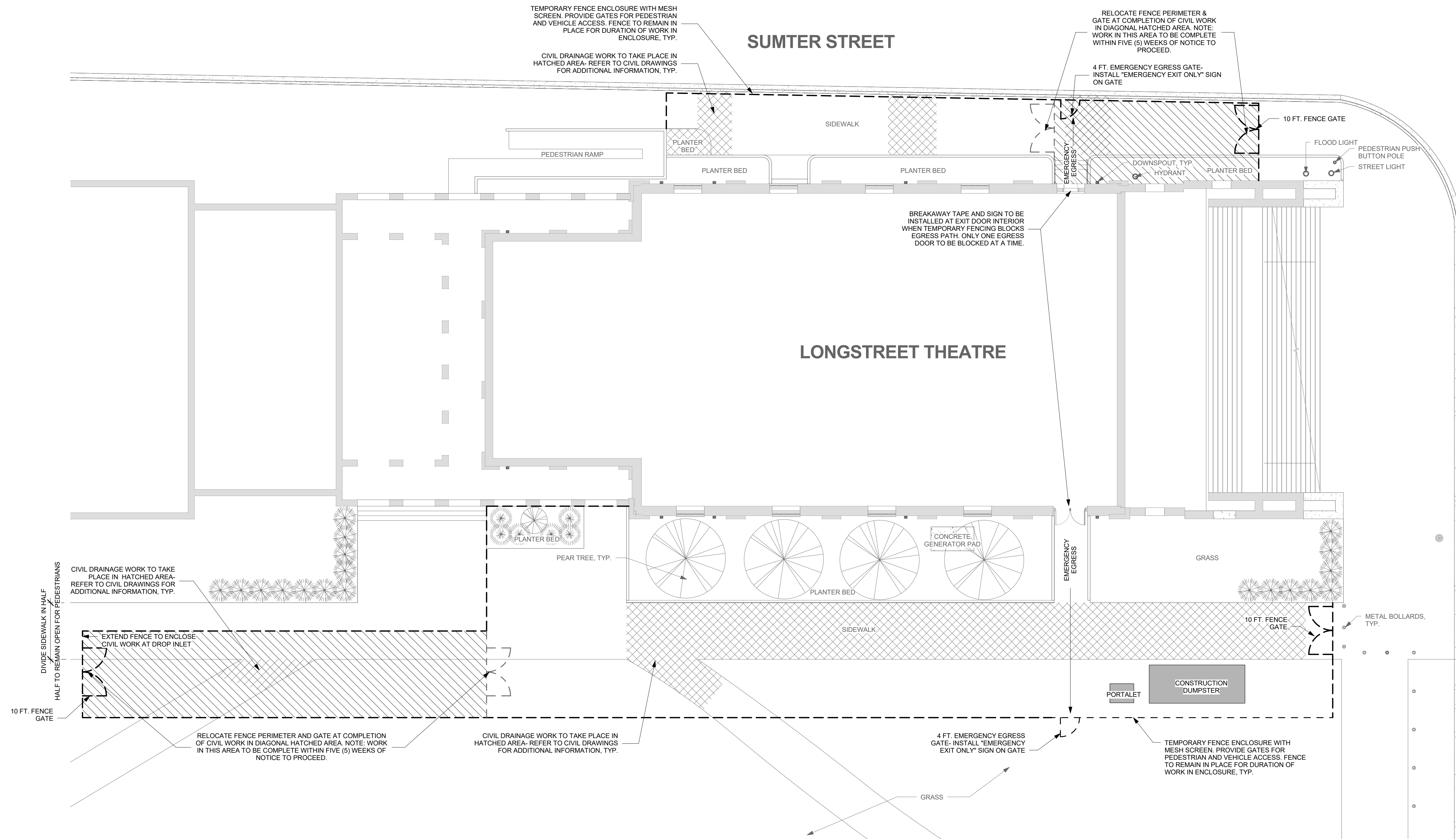
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FILE: 16-472

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PROJECT NO. 07-02
DATE 02 MARCH 2016
DRAWING NO. **C-200**

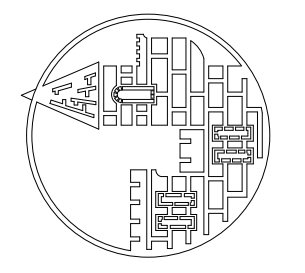
PRINTED ON: 3/28/2016 10:30:55 AM FILE LOCATION: P:\AutoCAD\16-0083 Longstreet Theatre Summer 2016\16-0083_DWG\16-0083_Summer_2016.dwg



1 SITE PLAN- EXISTING & TEMPORARY CONTROLS
3/32" = 1'-0"

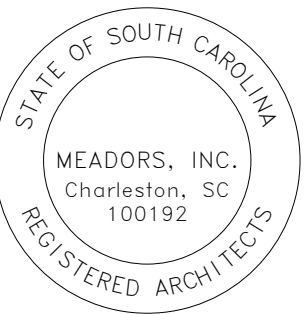
GENERAL NOTES

- MAINTAIN PLYWOOD OVER OPEN TRENCHES WITHIN 10 FEET OF EMERGENCY EGRESS



MEADORS INC.

2811 AZALEA DRIVE CHARLESTON, SC 29405



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REVISIONS
NO. DATE NOTES

SITE PLAN

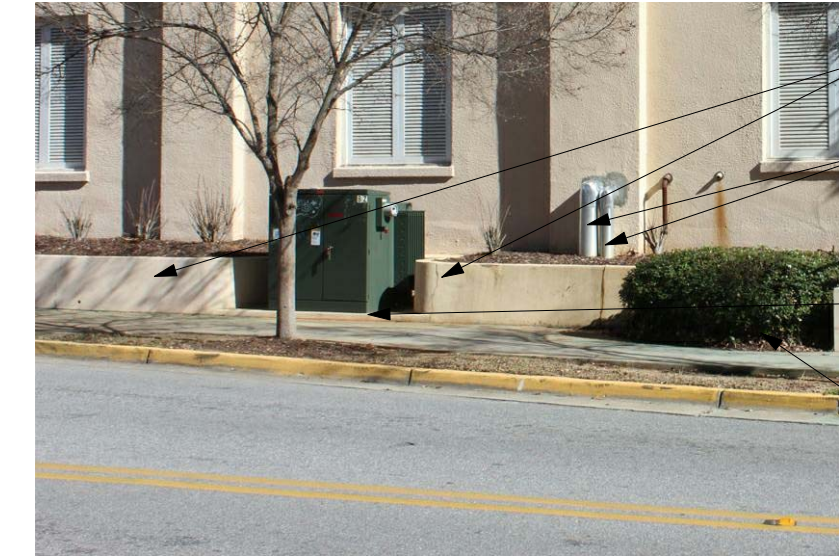
A001



PLANTING BED AT RAMP



PLANTING BED #4 AT SIDEWALK



EQUIPMENT ON WEST ELEVATION

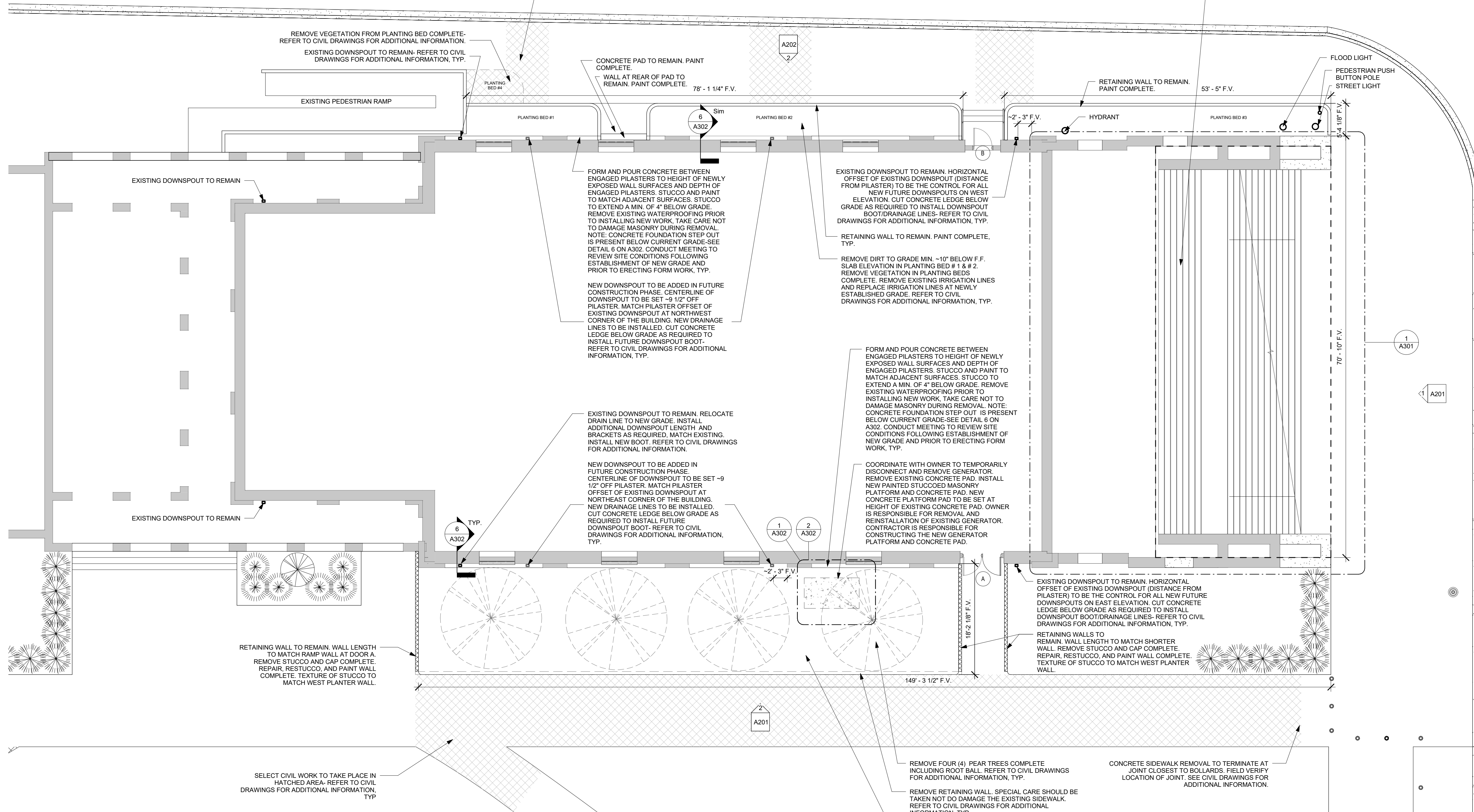


MASONRY WALLS UNDER STAIRS

REMOVE VEGETATION FROM PLANTING BED COMPLETE.
CONCRETE TO BE REMOVED DURING COURSE OF CIVIL WORK. INSTALL NEW SIDEWALK. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.

RETAINING WALLS TO REMAIN.
EXTEND INSULATION AND WRAP AS REQUIRED TO NEW GRADE. PAINT WRAP AND CONCRETE PATCH TO MATCH EXISTING WALL, TYP.
EQUIPMENT AND CONCRETE PAD TO REMAIN.
REMOVE VEGETATION FROM PLANTING BED COMPLETE.

ALTERNATE: REPOINT EXISTING MASONRY UNDER STAIRS. REPLACE LOST AND DAMAGED BRICK IN KIND. REPLACEMENT BRICK TO BE SALVAGED HISTORIC BRICK OF THE SAME TIME PERIOD, SIZE, COLOR, AND TEXTURE, TYP.



1 GROUND FLOOR - THEATER
1/8" = 1'-0"

MEADORS INC.
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STATE OF SOUTH CAROLINA
BETTY PRIME
Charleston, SC
89192
REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA
MEADORS, INC.
Charleston, SC
100192
REGISTERED ARCHITECTS

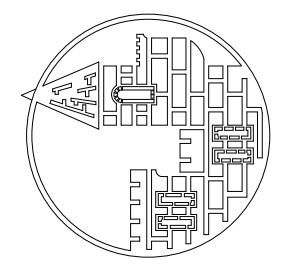
**USC LONGSTREET THEATRE
EXTERIOR RESTORATION**
H27-Z147-B
1300 GREENE STREET, COLUMBIA, SC 29201

ISSUED FOR BIDDING

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| PROJ. NO. | USC PROJ. NO. | H27-Z147-B |
| DATE: | | 03/28/2016 |
| DRAWN BY: | | BLP |
| REVISIONS | | |
| NO. | DATE | NOTES |

EXISTING, DEMO & NEW WORK-
GROUND FLOOR
PLAN
A101

PRINTED ON 3/28/2016 10:35:41 AM FILE LOCATION: P:\MEADORS\USC Longstreet Theatre Summer 2016\03010602_TheatreSummer_2016.rvt



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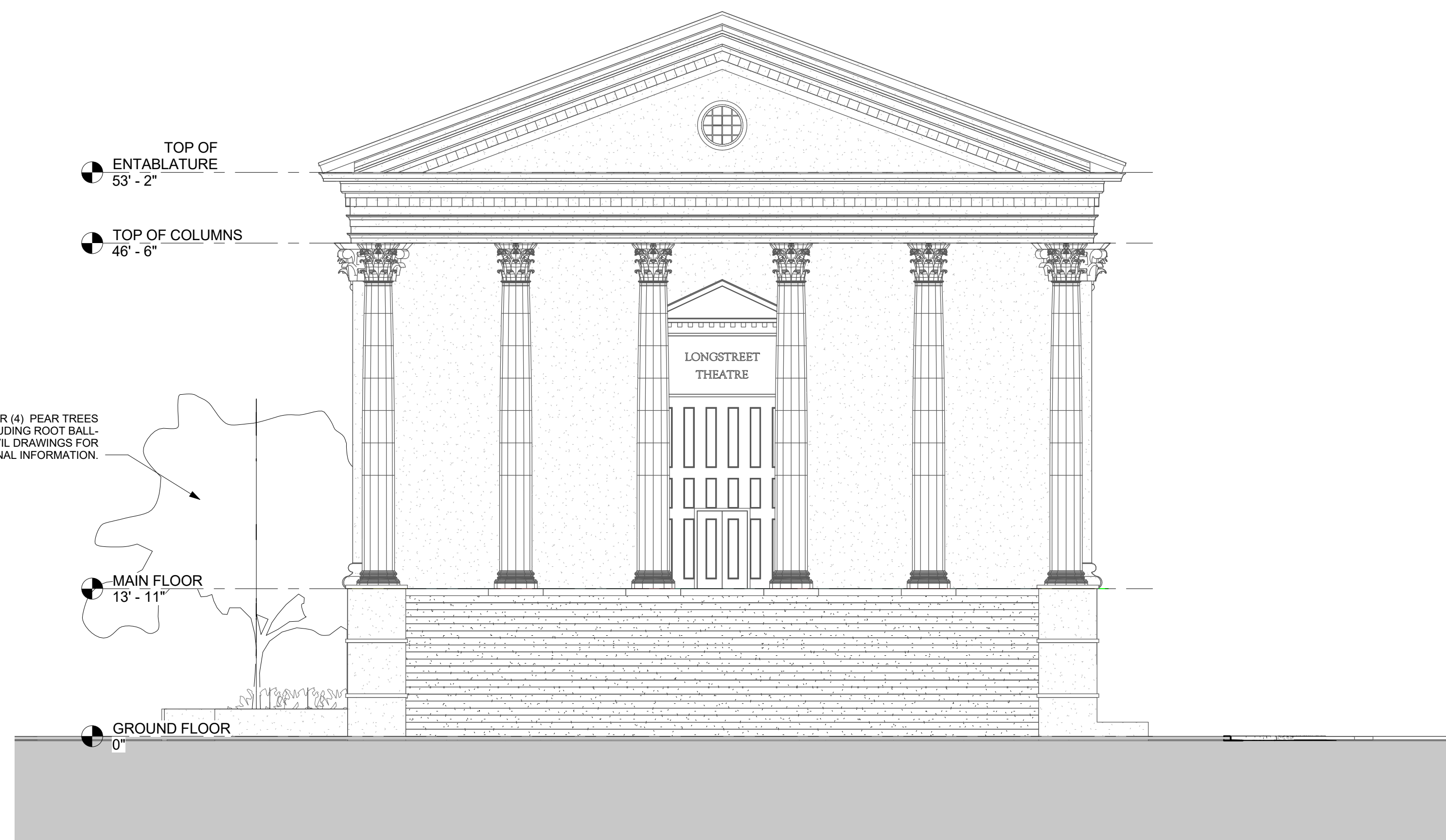
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PROJ. NO.
 USC PROJ. NO. H27-Z147-B
 DATE: 03/28/2016
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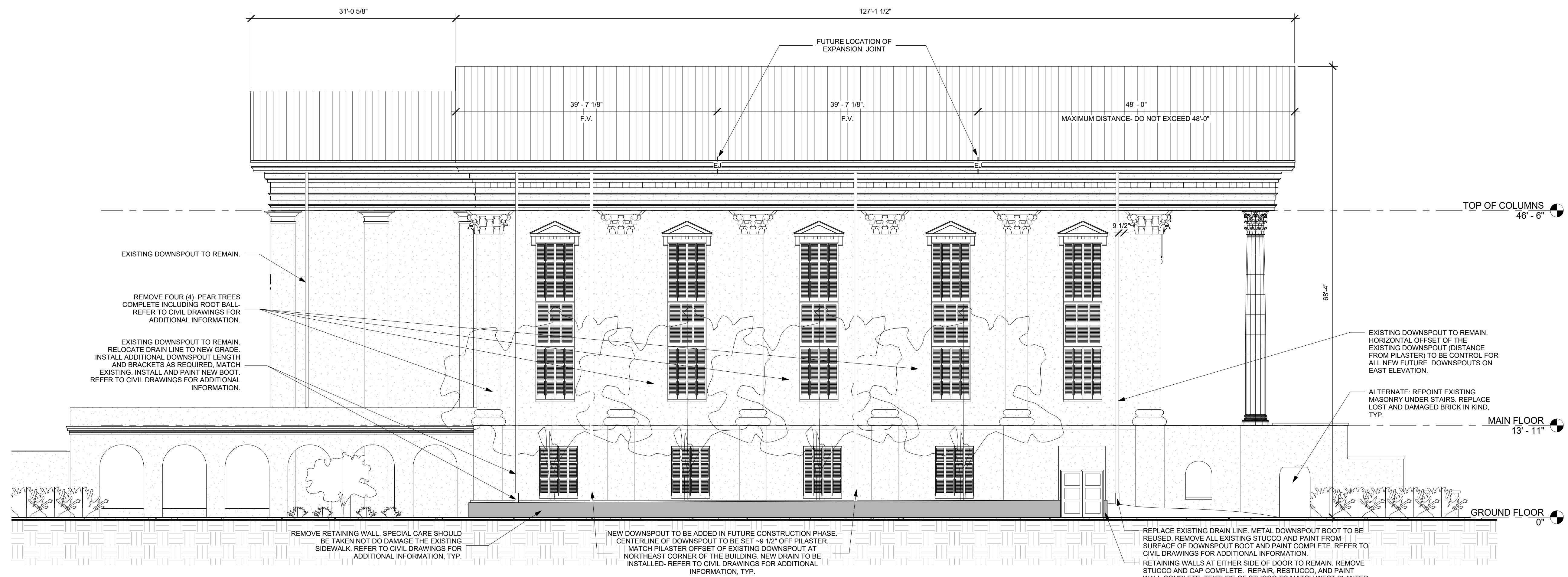
REVISIONS

| NO. | DATE | NOTES |
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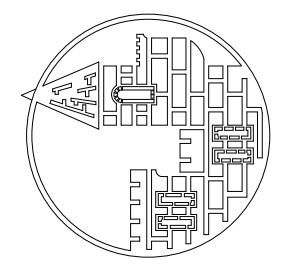
**BUILDING
 ELEVATIONS**
A201



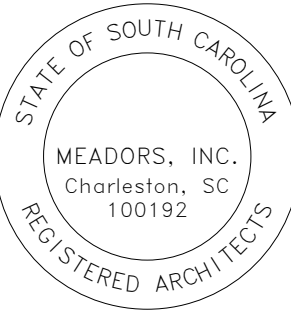
1 NORTH ELEVATION
 1/8" = 1'-0"



2 EAST ELEVATION
 1/8" = 1'-0"



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 EXTERIOR RESTORATION**
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**ISSUED FOR
 BIDDING**

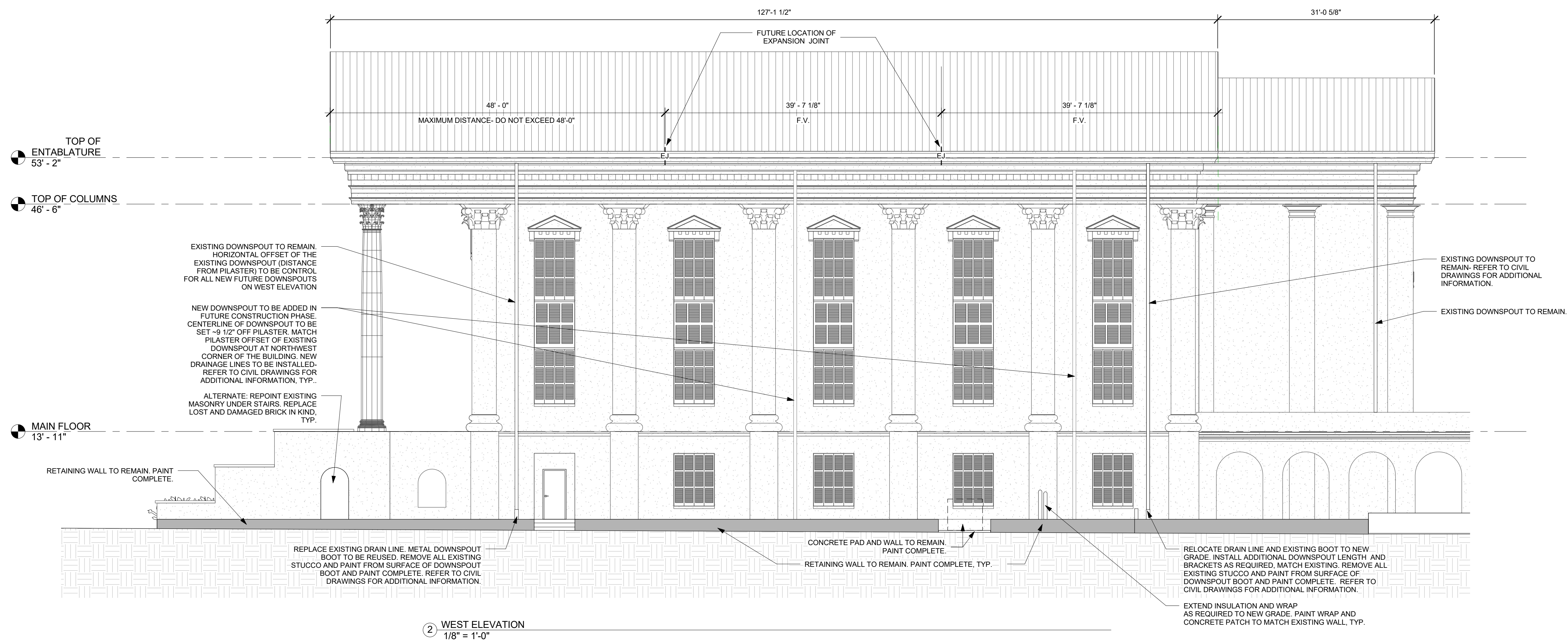
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 USC PROJ. NO. H27-Z147-B
 DATE: 03/28/2016
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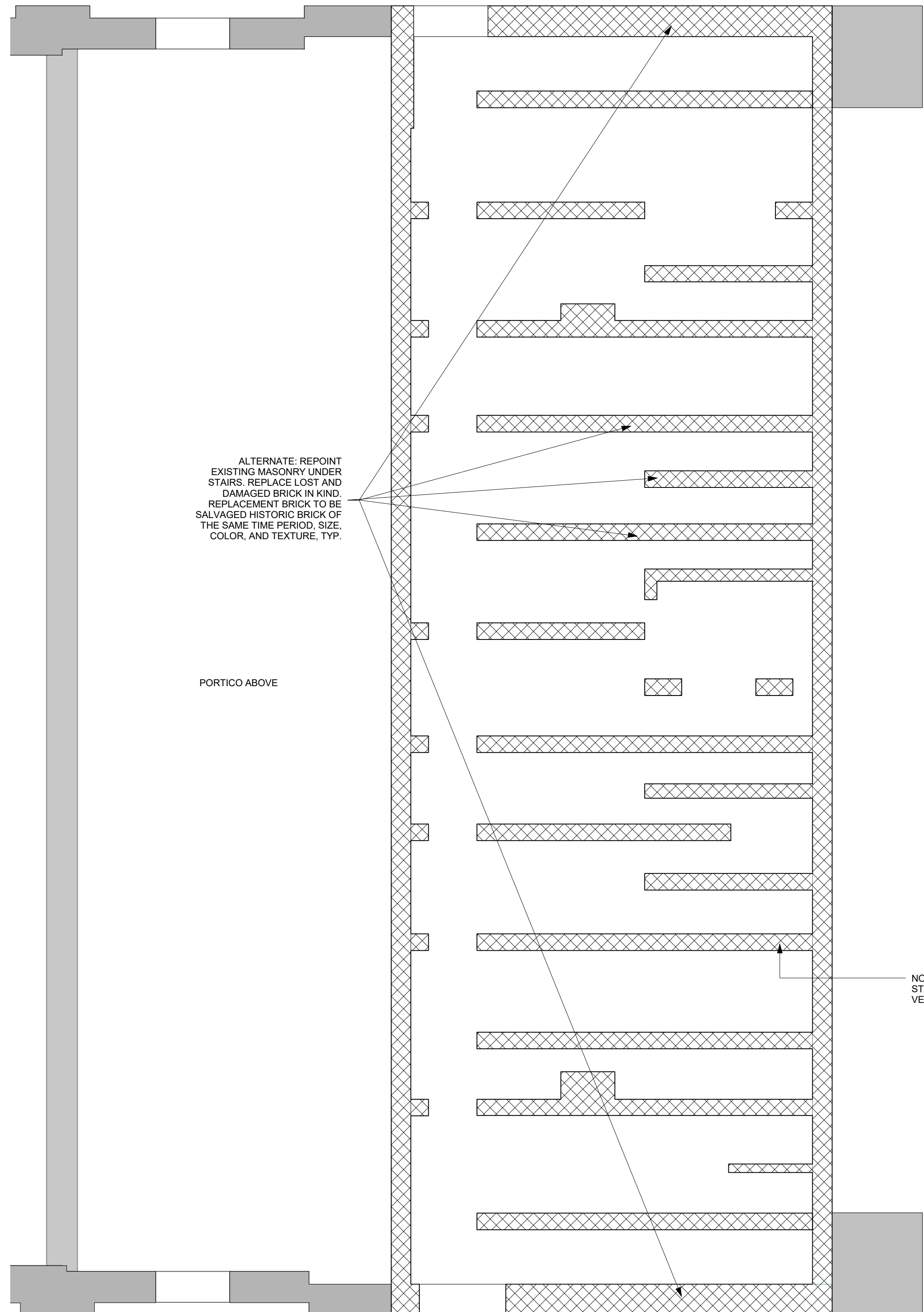
| NO. | DATE | NOTES |
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**BUILDING
 ELEVATIONS**

A202



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Drawing Title: USC Longstreet Theatre Exterior Restoration Assessment Detail



1 GROUND FLOOR - PORTICO STAIR FOUNDATION
1/4" = 1'-0"



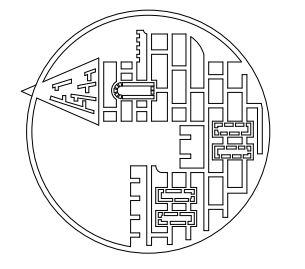
TYPICAL CONDITION OF MASONRY WALLS UNDER STAIRS



TYPICAL CONDITION OF MASONRY WALLS UNDER STAIRS

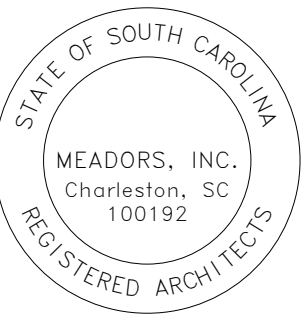


TYPICAL CONDITION OF MASONRY WALLS UNDER STAIRS



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EXTERIOR RESTORATION**
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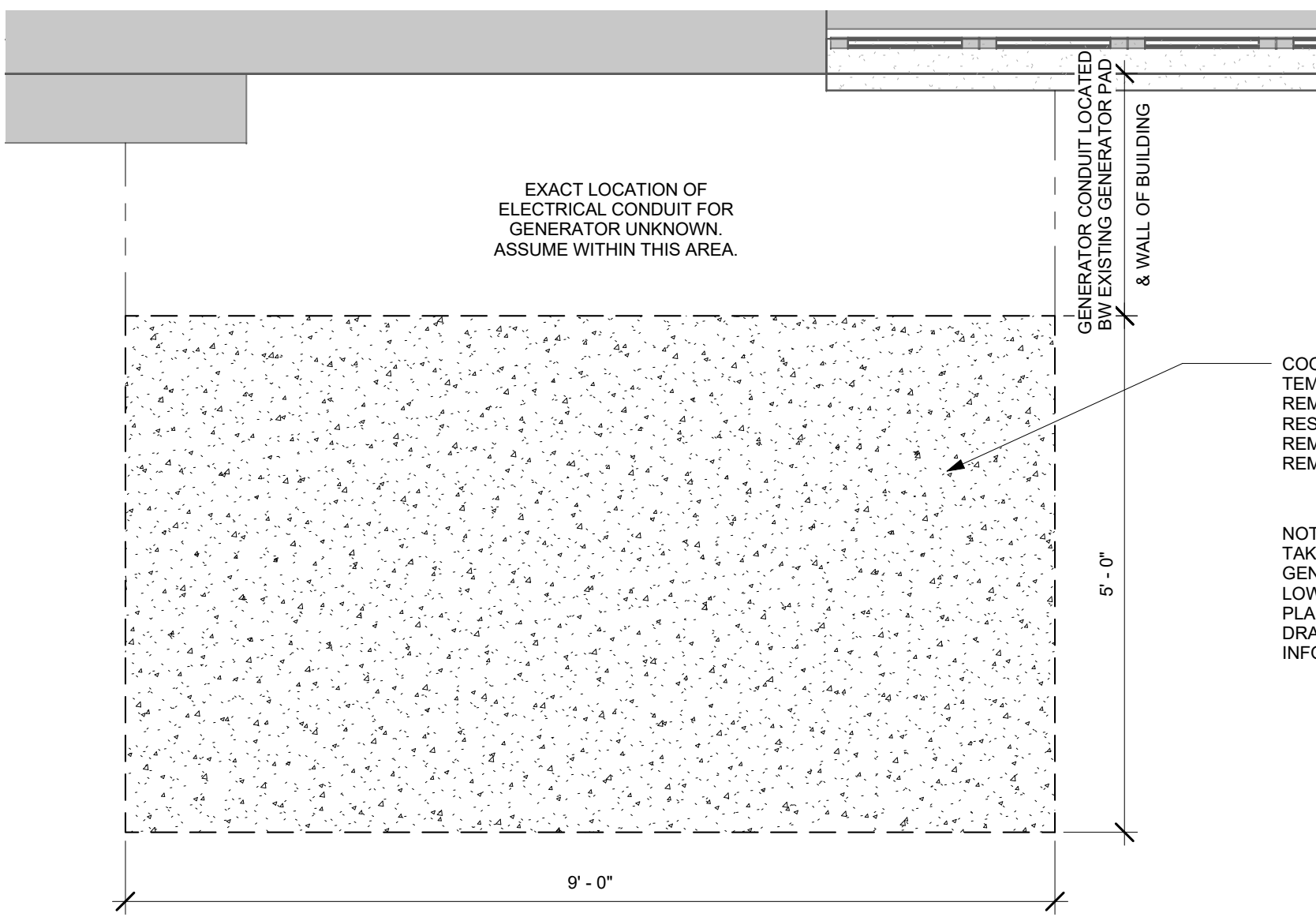
**ISSUED FOR
BIDDING**

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DATE: 03/28/2016
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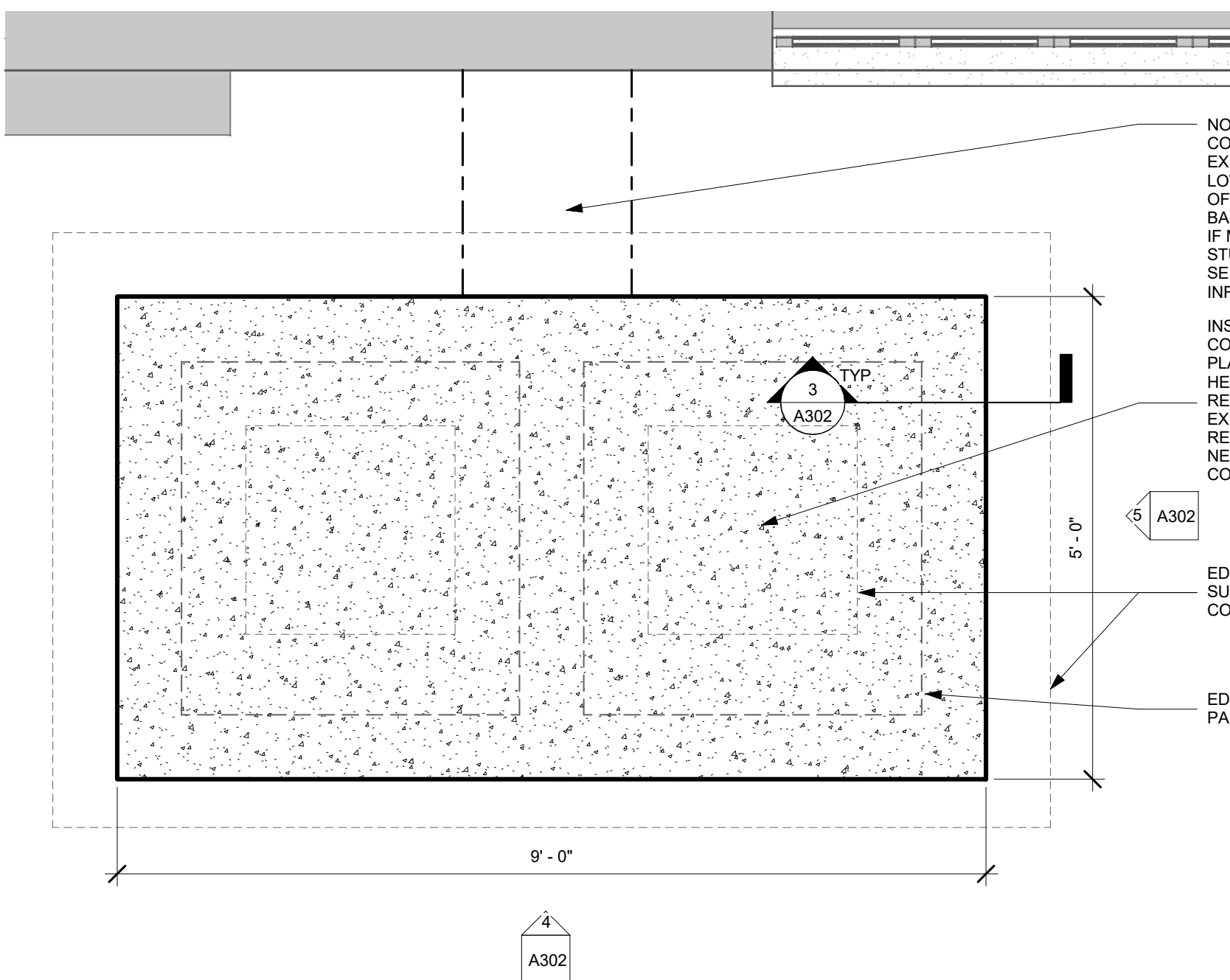
REVISIONS
NO. DATE NOTES

**ENLARGED PLAN
DETAILS &
PHOTOS**

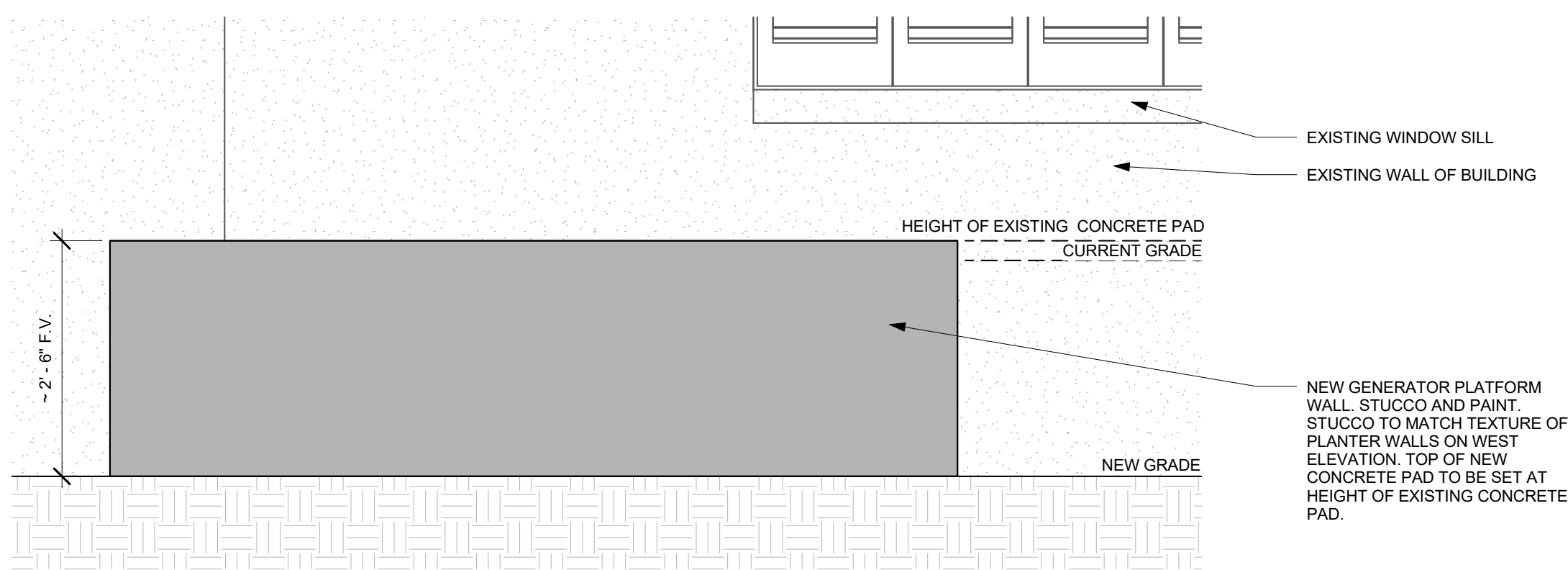
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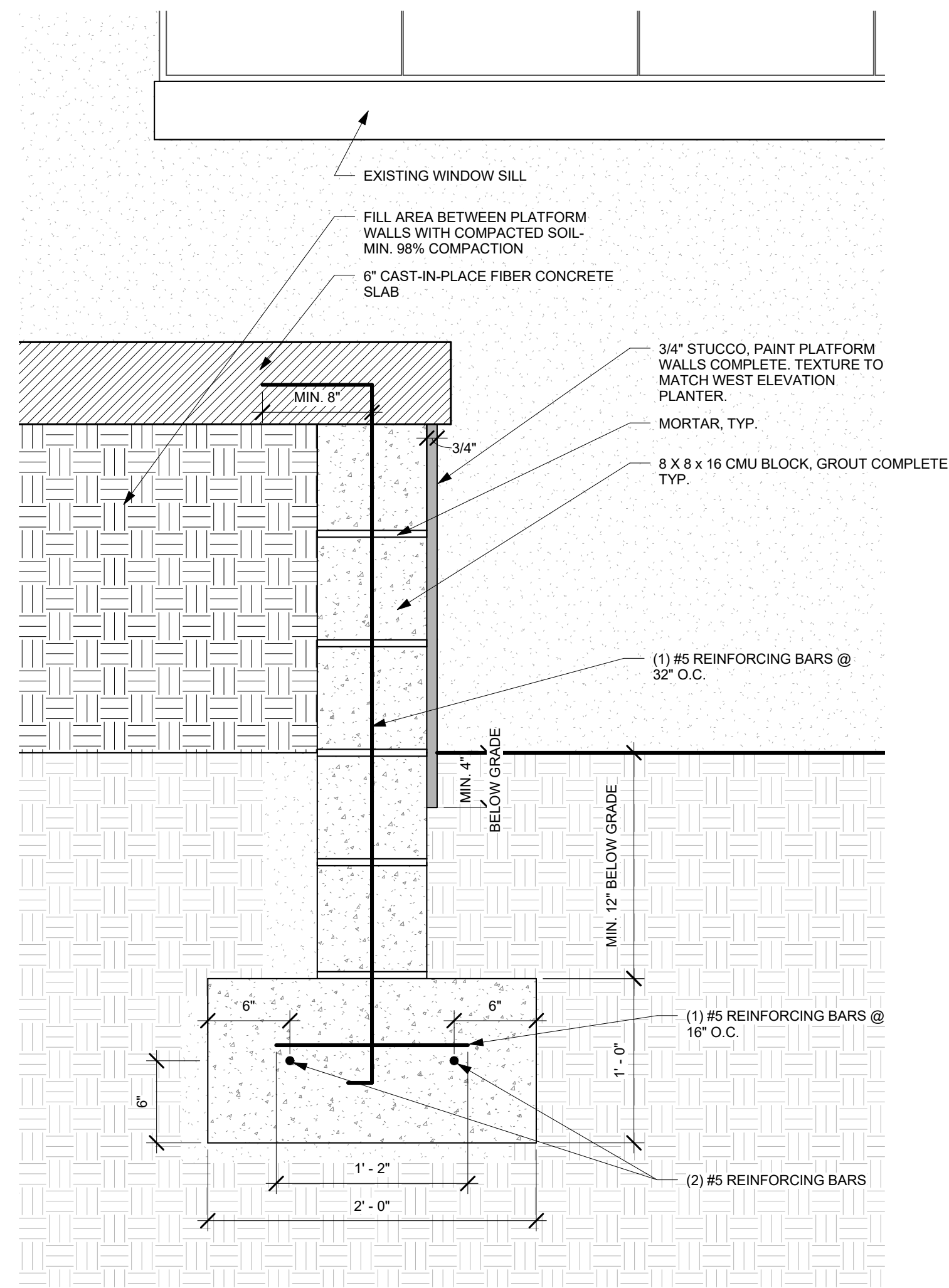
1 DETAILED DEMO PLAN- GENERATOR PAD
3/4" = 1'-0"



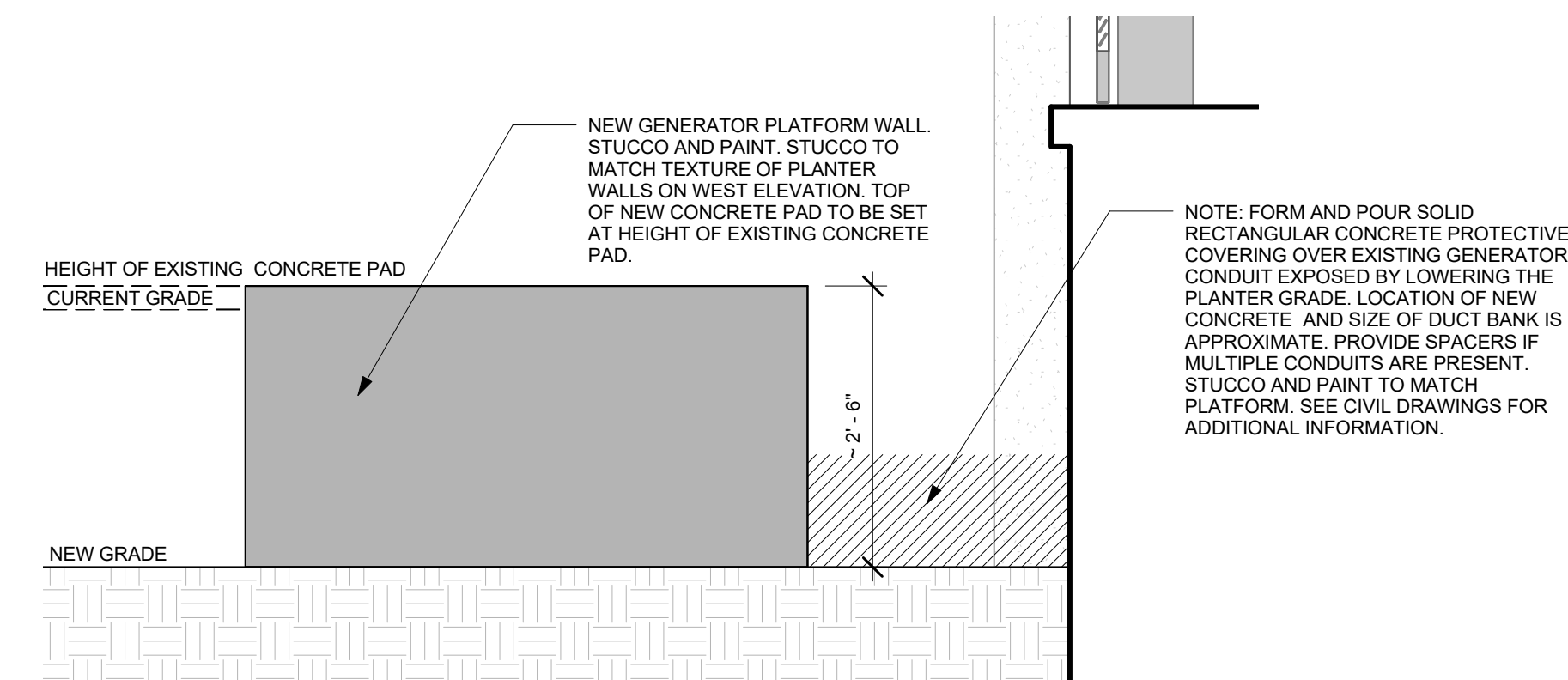
2 DETAILED PLAN- NEW GENERATOR PLATFORM
3/4" = 1'-0"



4 EAST ELEVATION- NEW GENERATOR PLATFORM
3/4" = 1'-0"



3 WALL SECTION- PLATFORM
1 1/2" = 1'-0"



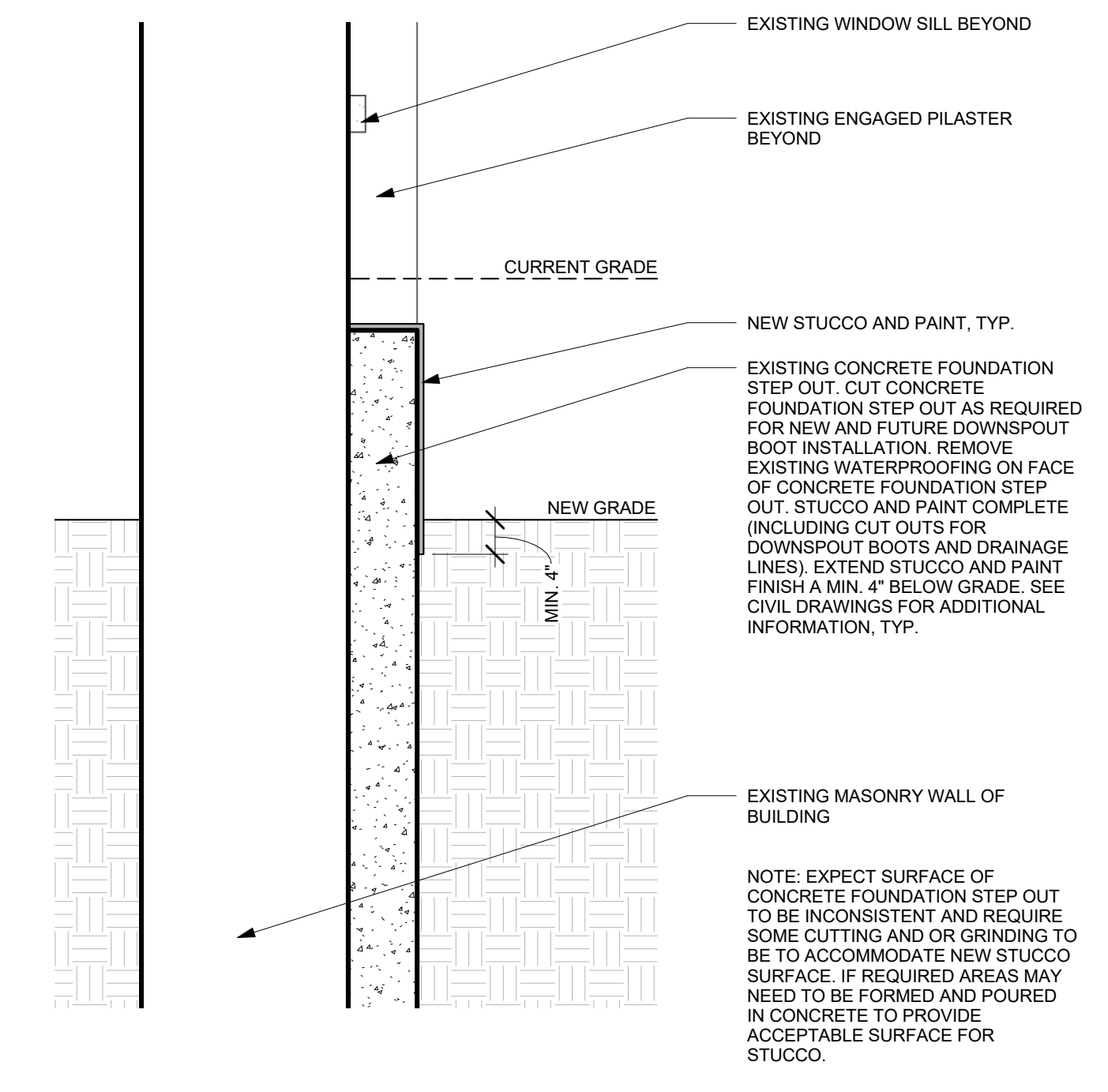
5 NORTH ELEVATION- NEW GENERATOR PLATFORM
3/4" = 1'-0"



EAST ELEVATION PHOTO- EXISTING PLANTER WALL AND GENERATOR

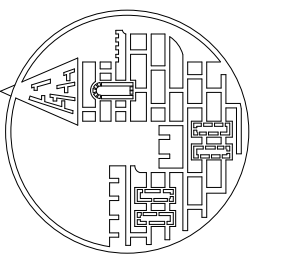


EAST ELEVATION PHOTO- EXISTING GENERATOR AND CONCRETE PAD

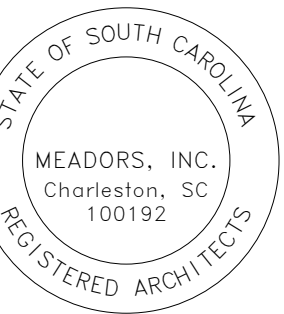


6 WALL SECTION- FOUNDATION
3/4" = 1'-0"

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ENLARGED DETAILS- GENERATOR PLATFORM

A302