



Spartanburg, South Carolina

UPSTATE ADMINISTRATION BUILDING  
REPAIRS AND RENOVATIONS - REBID

State Project #H34-9541-JV-B  
GMK Project #11049.03  
October 23, 2015  
CONSTRUCTION DOCUMENTS

Prepared by:



GMK

ASSOCIATES, INC.

Design/Planning/Construction

1201 Main Street

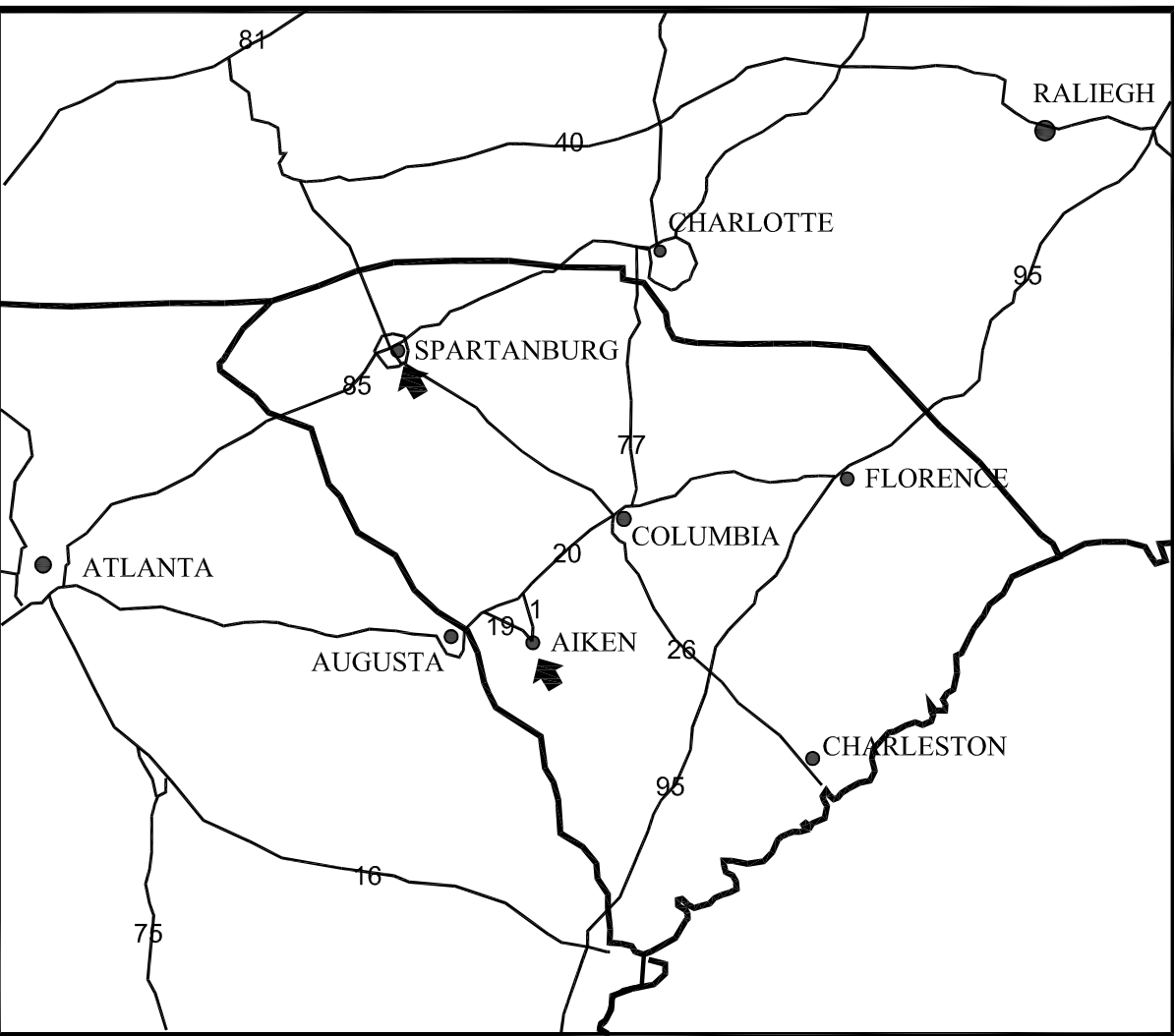
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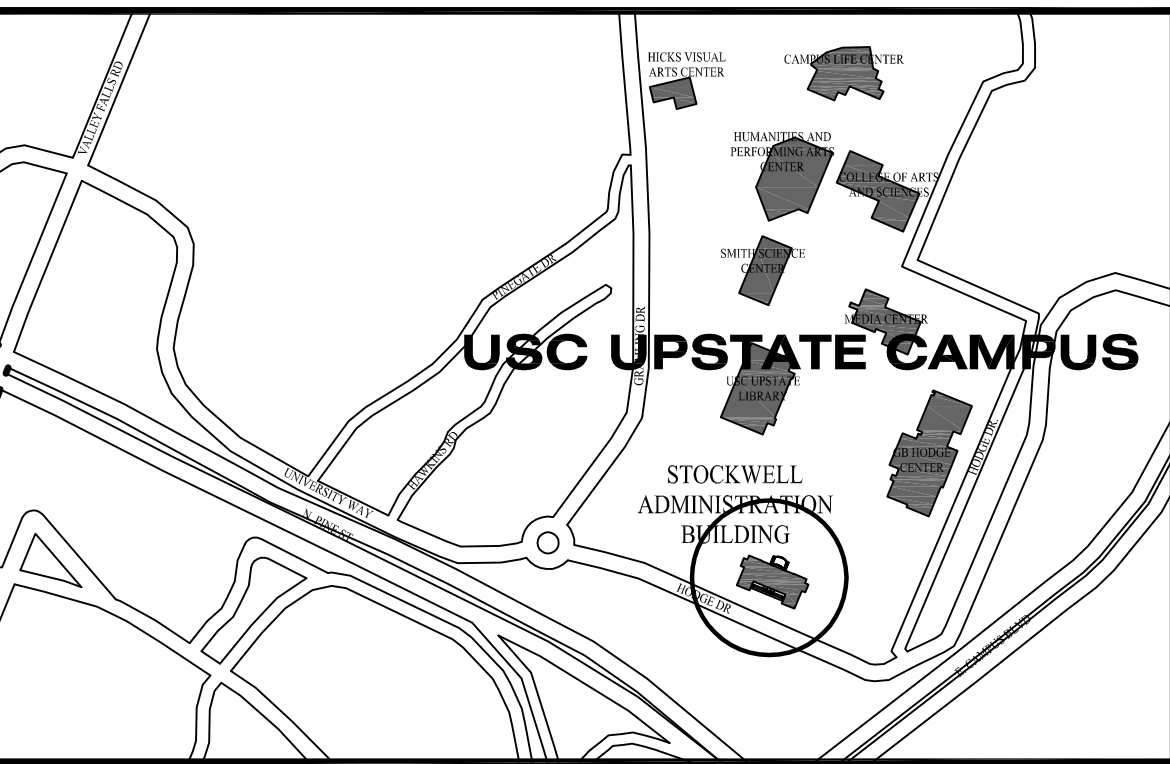
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LOCATOR MAP



KEY PLAN



SET NO. \_\_\_\_\_

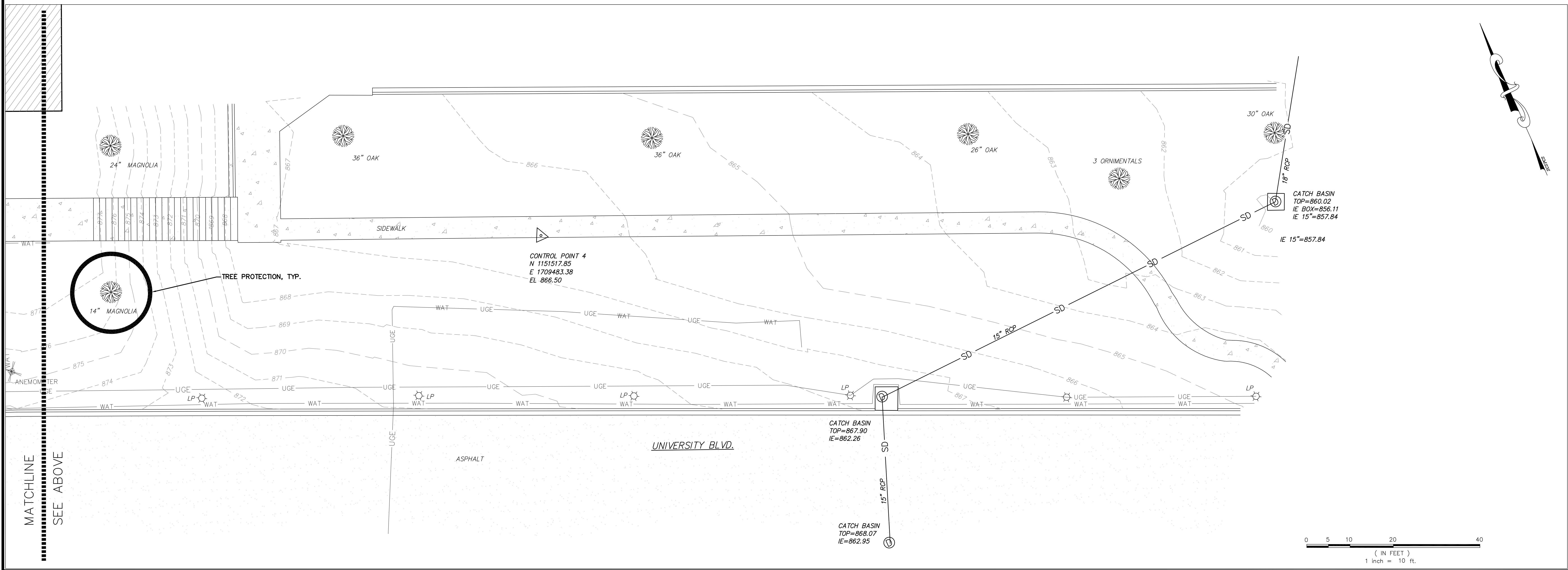
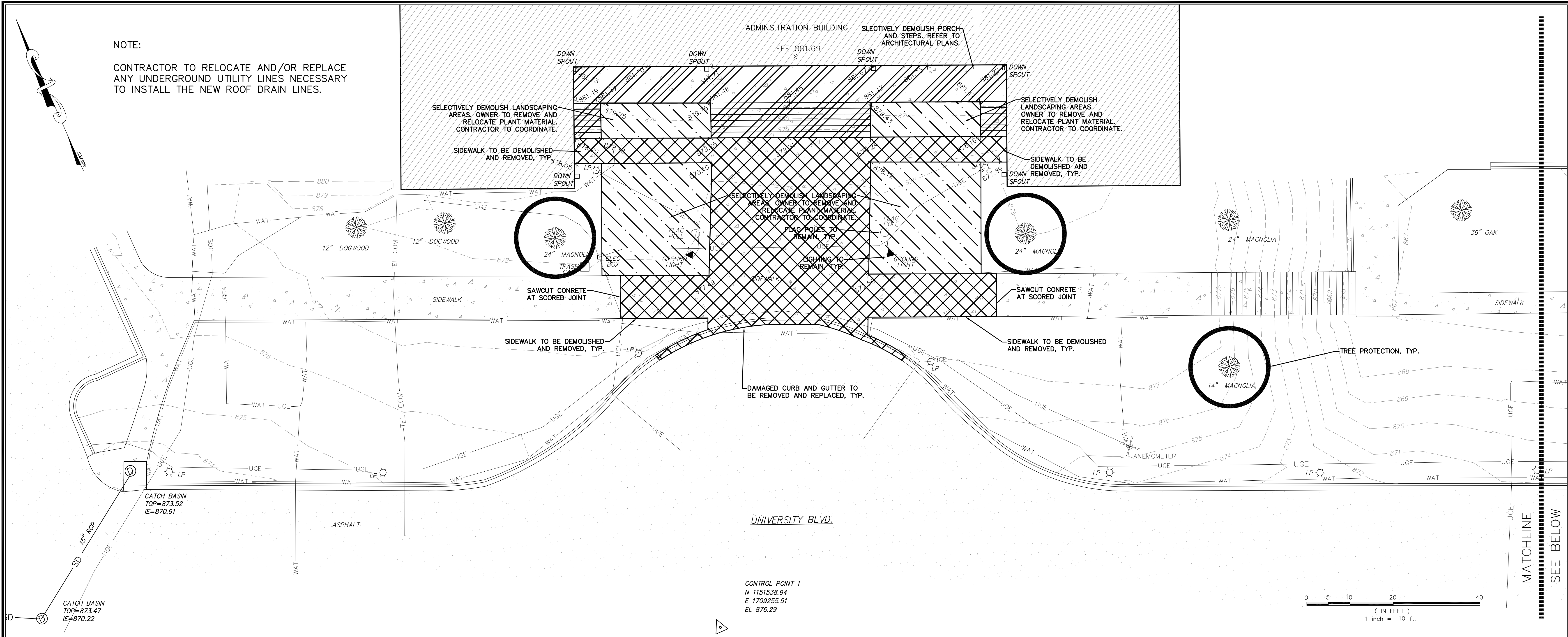


- EROSION CONTROL NOTES:

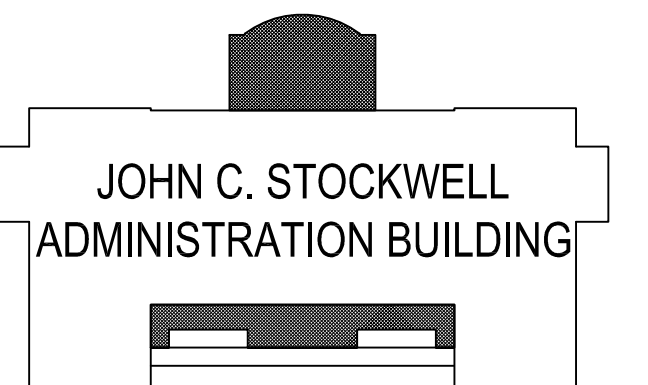
- SEQUENCE OF CONSTRUCTION:

- NOTE: MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES MUST CONTINUE UNTIL THE SITE IS PERMANENTLY STABILIZED AND THE CONTROLS ARE REMOVED.

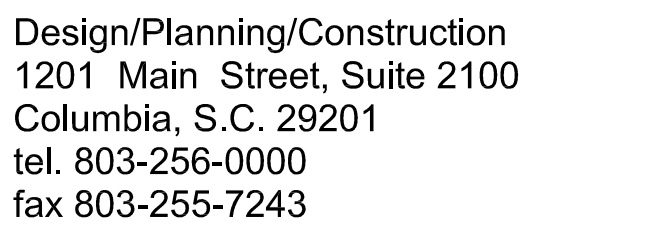




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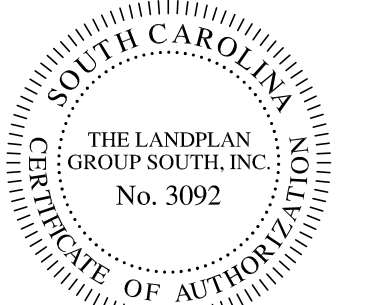
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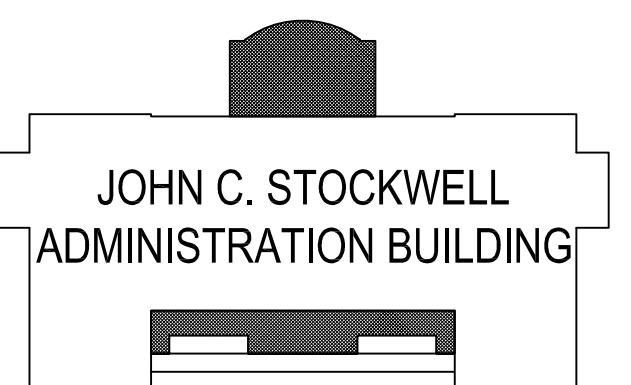
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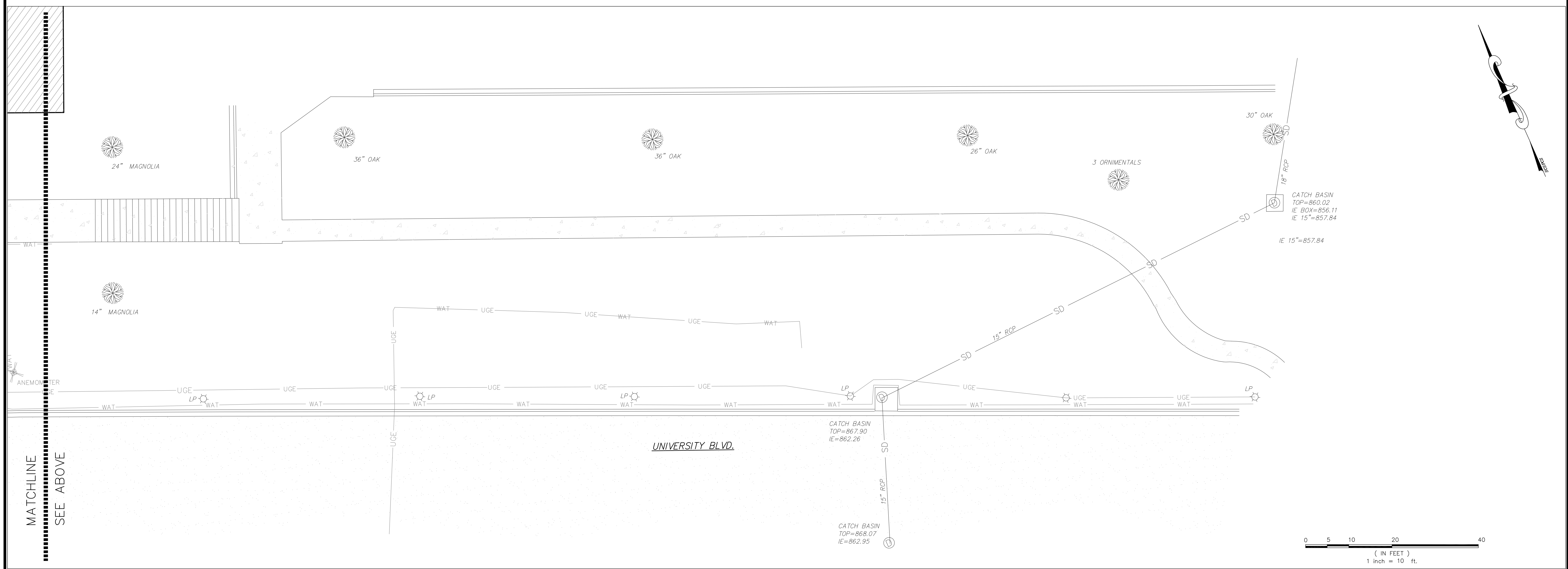
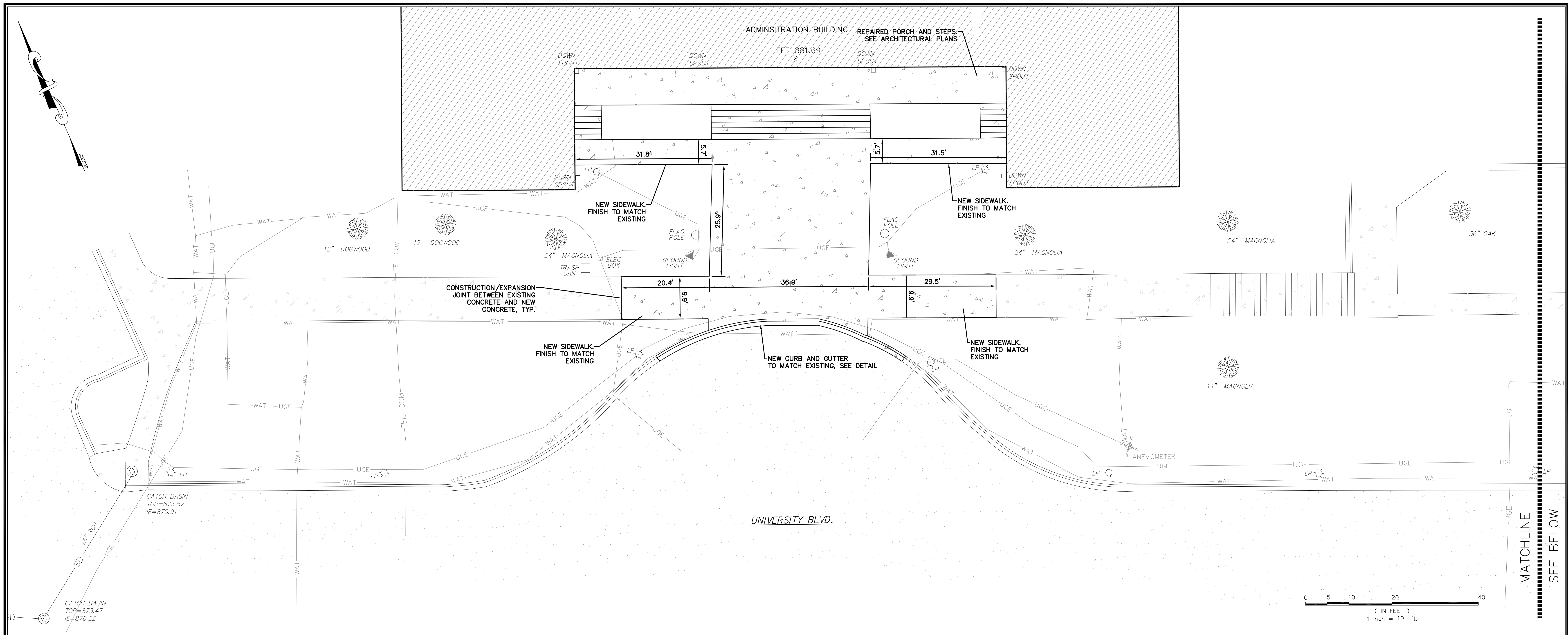
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**LAYOUT PLAN**

TLPGS NO. - 721

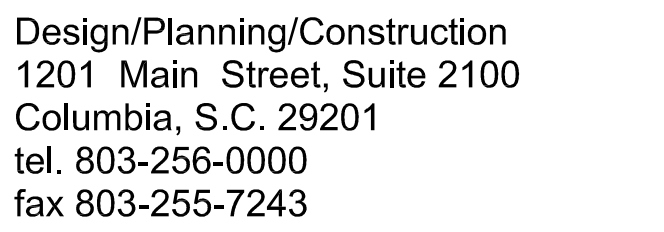
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### C3.0

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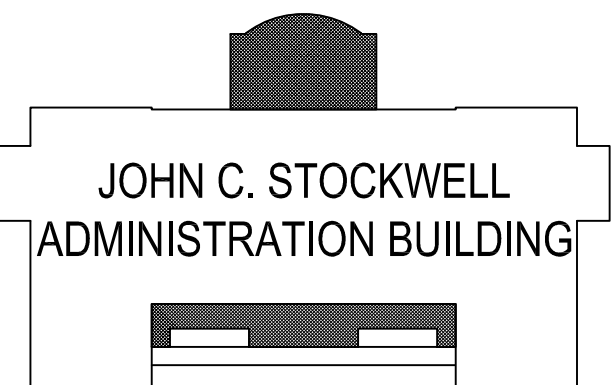
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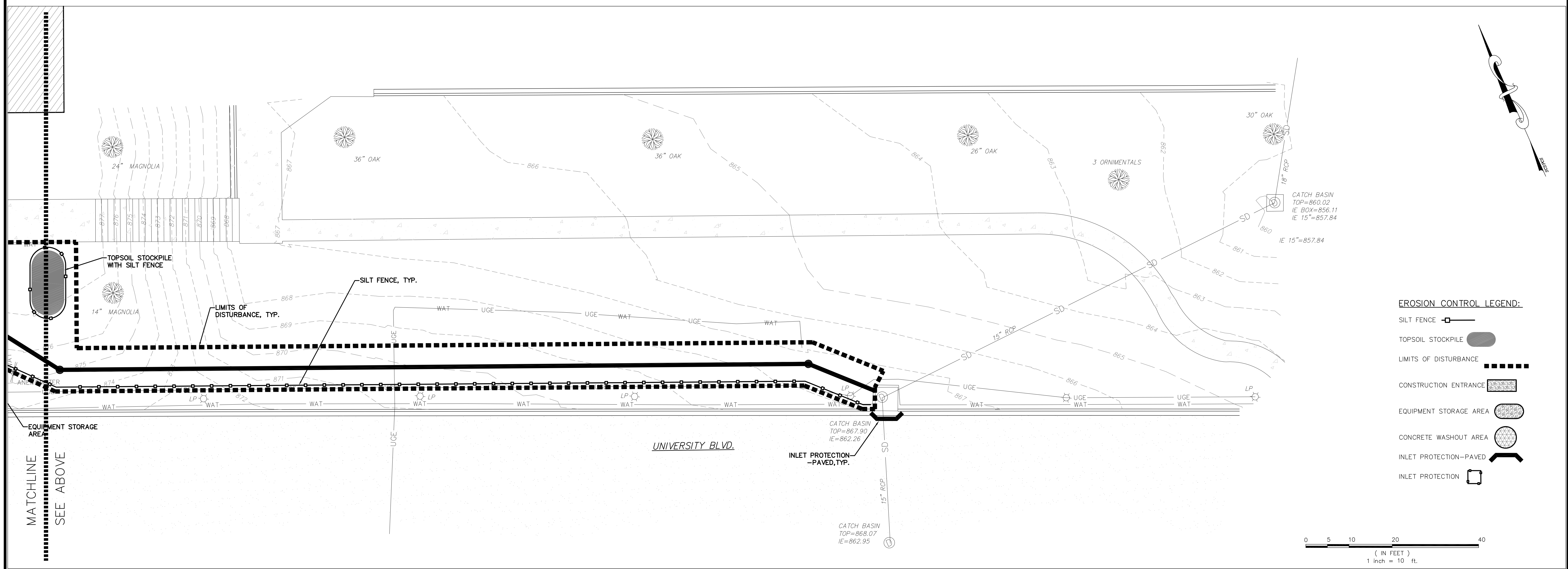
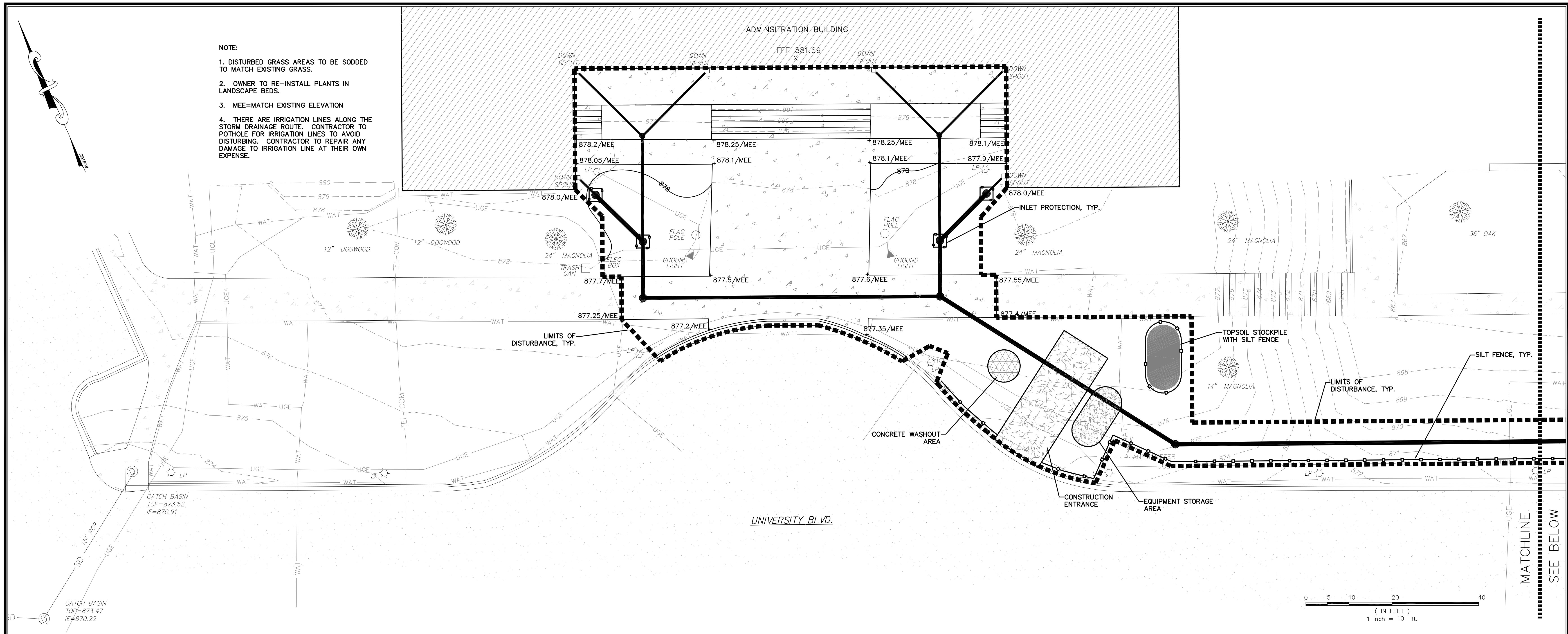
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**EROSION CONTROL PLAN**

TLPGS NO. - 721

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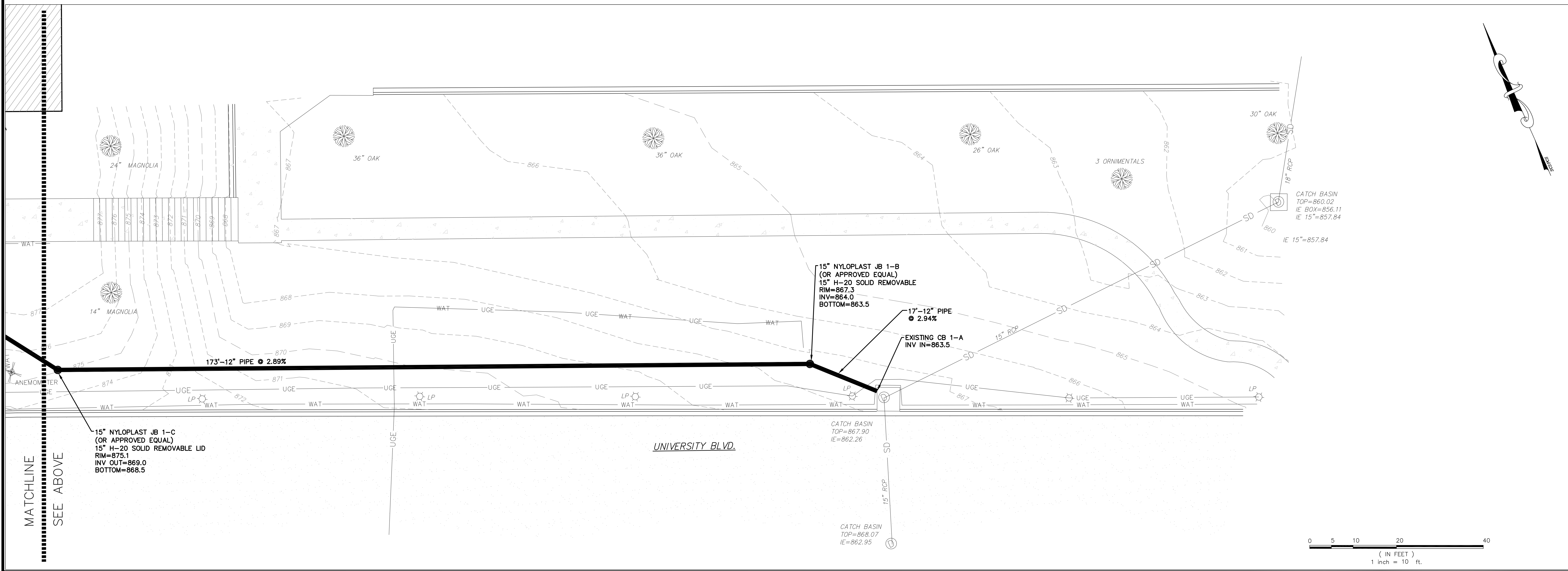
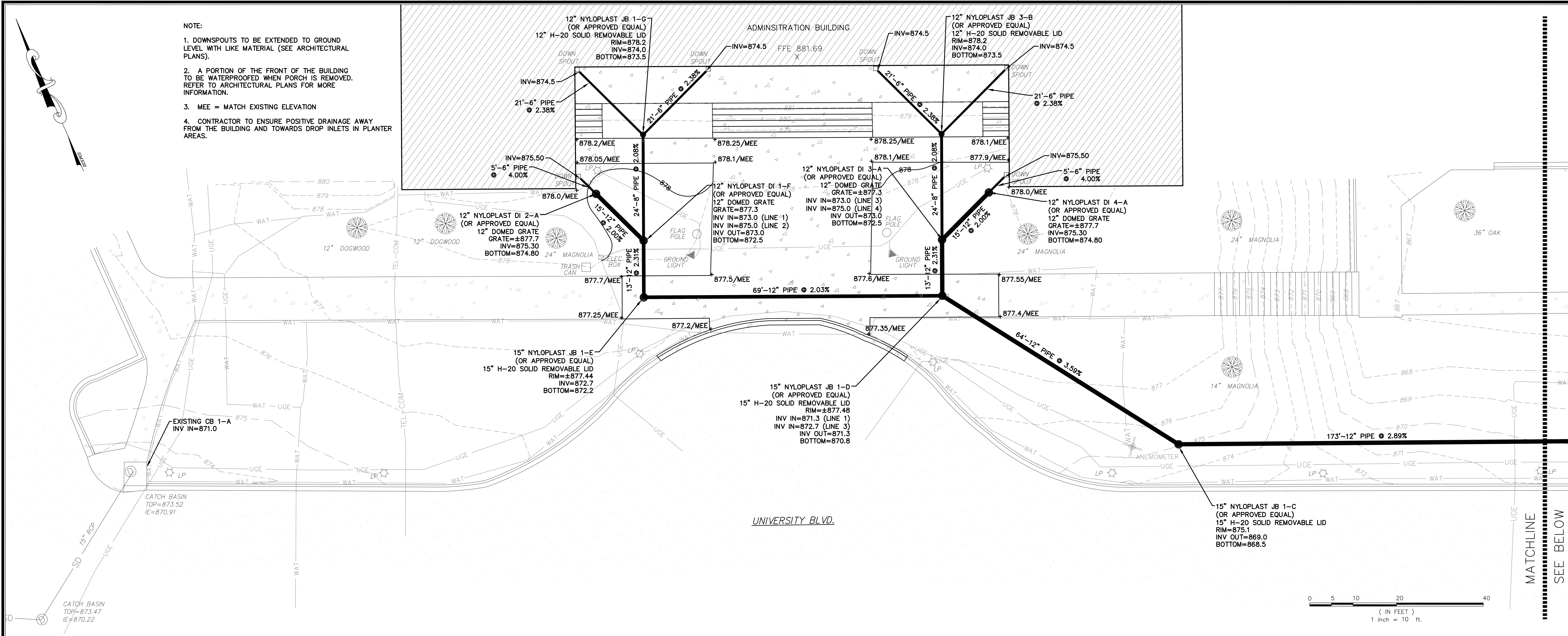
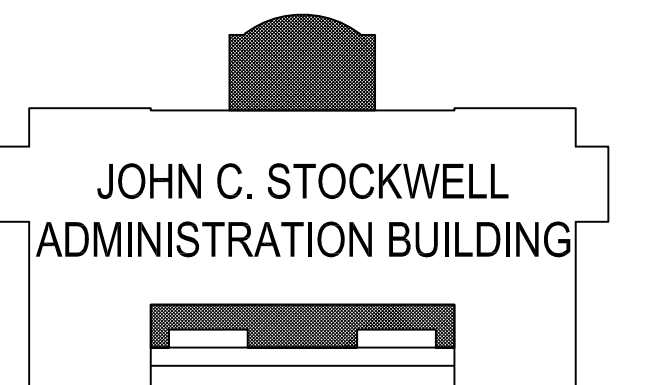
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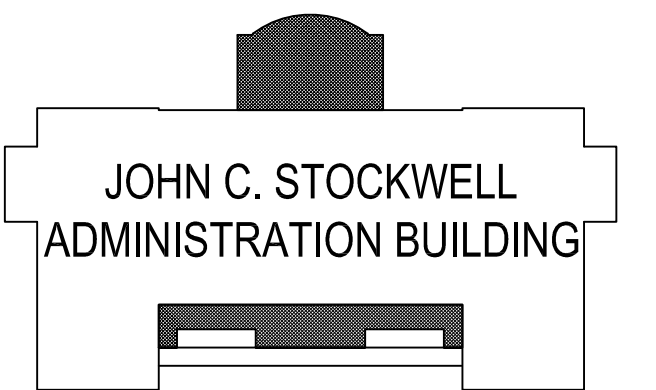


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- NOTES:
1. THE HEIGHT OF A SILT FENCE SHOULD NOT EXCEED 36 INCHES. HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE THE STRUCTURE TO FAIL.
  2. THE FILTER FABRIC SHOULD BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE FENCE TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, A FILTER CLOTH SHOULD BE SPLICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-INCH OVERLAP AND SEALED SECURELY.
  3. METAL POSTS SHOULD BE SPACED A MAXIMUM OF 10 FEET APART AT THE FENCE LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES. WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHOULD NOT EXCEED 6 FEET.
  4. A TRENCH SHOULD BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS, UPSLOPE FROM THE FENCE.
  5. WHEN STANDARD STRENGTH FILTER IS USED, A WIRE MESH SUPPORT FENCE SHOULD BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY TIE WIRES OR HOG RINGS. THE WIRE SHOULD EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHOULD NOT EXCEED MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
  6. THE STANDARD STRENGTH FILTER FABRIC SHOULD BE WIRED TO THE FENCE, AND 8 INCHES OF THE FABRIC SHOULD BE EXTENDED INTO THE TRENCH. THE FABRIC SHOULD NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. DO NOT STAPLE FILTER FABRIC TO TREES.
  7. WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF NO. 6 APPLYING.
  8. THE TRENCH SHOULD BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.

#### TEMPORARY SILT FENCE DETAIL NOT TO SCALE

#### When and Where to Use It

Stabilized construction entrances should be used at all points where traffic will be leaving a construction site and moving directly onto a public road.

#### Important Considerations

If washing is used, provisions must be made to intercept the wash water and trap the sediment before it is carried offsite. Washdown facilities shall be required as directed by SCDHEC as needed. Washdown areas in general must be established with crushed gravel and drain into a sediment trap or sediment basin. Construction entrances should be used in conjunction with the stabilization of construction roads to reduce the amount of mud picked up by vehicles.

#### Installation

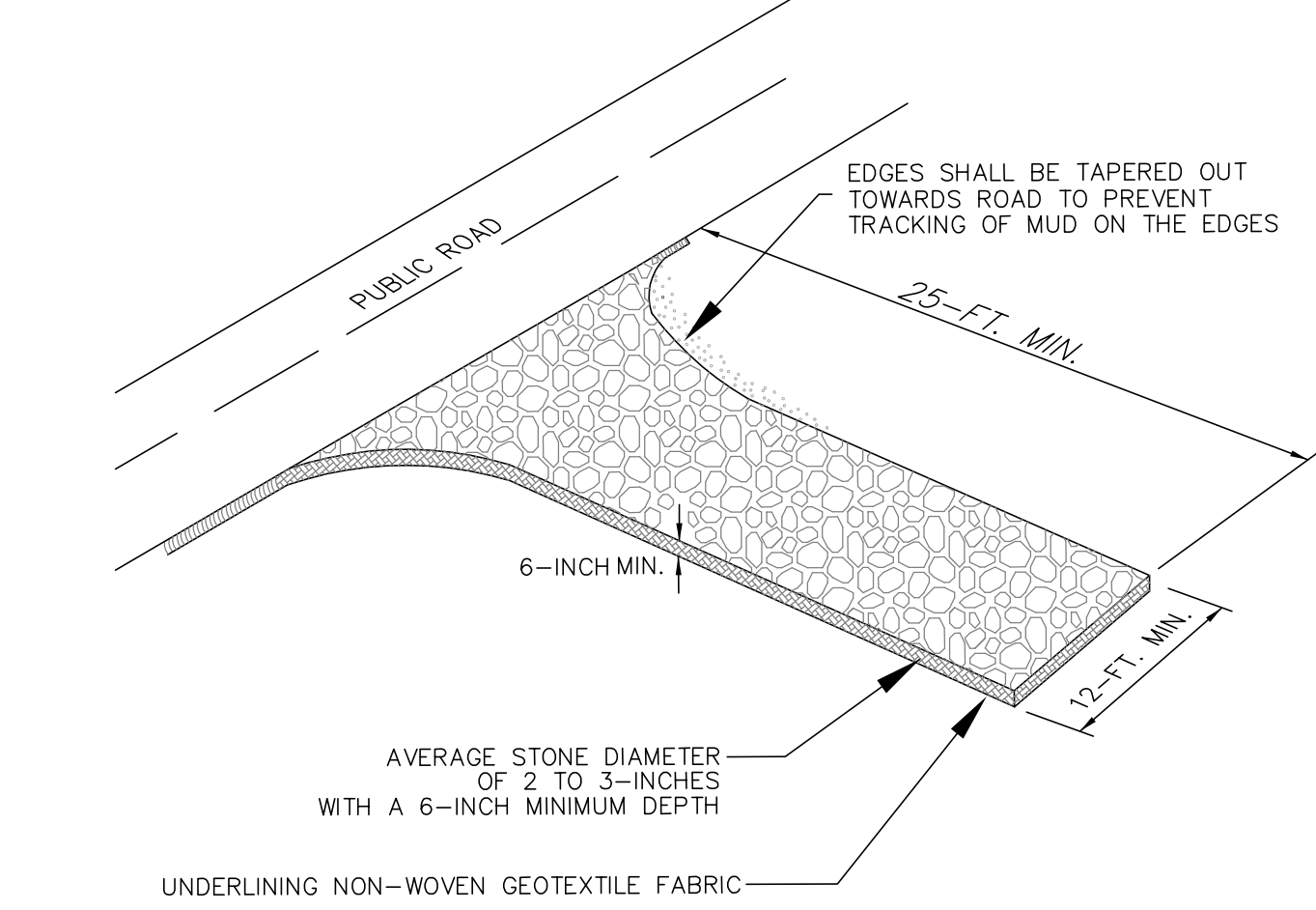
- Remove all vegetation and any objectionable material from the foundation area.
- Divert all surface runoff and drainage from stones to a sediment trap or basin.
- Install a non-woven geotextile fabric prior to placing any stone.
- Install a culvert pipe across the entrance when needed to provide positive drainage.
- The entrance shall consist of 1-inch to 3-inch D50 stone placed at a minimum depth of 6-inches.
- Minimum dimensions of the entrance shall be 24-feet wide by 100-feet long, and may be modified as necessary to accommodate site constraints.
- The edges of the entrance shall be tapered out towards the road to prevent tracking of mud at the edge of the entrance.

#### Inspection and Maintenance

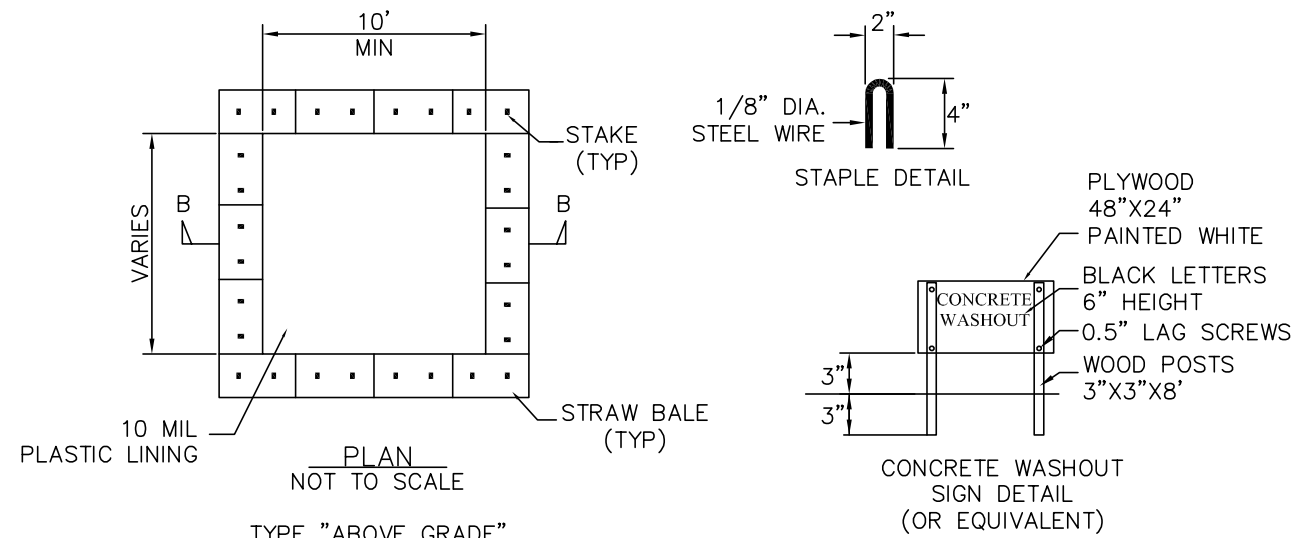
Inspect construction entrances every seven (7) calendar days and within 24-hours after each rainfall event that produces ½-inches or more of precipitation, or after heavy use. Check for mud and sediment buildup and pad integrity. Make daily inspections during periods of wet weather. Maintenance is required more frequently in wet weather conditions. Reshape the stone pad as needed for drainage and runoff control.

Wash or replace stones as needed and as directed by the inspector. The stone in the entrance should be washed or replaced whenever the entrance fails to reduce mud being carried off-site by vehicles. Frequent washing will extend the useful life of stone.

Immediately remove mud and sediment tracked or washed onto public roads by brushing or sweeping. Flushing should only be used when the water can be discharged to a sediment trap or basin. Repair any broken pavement immediately.



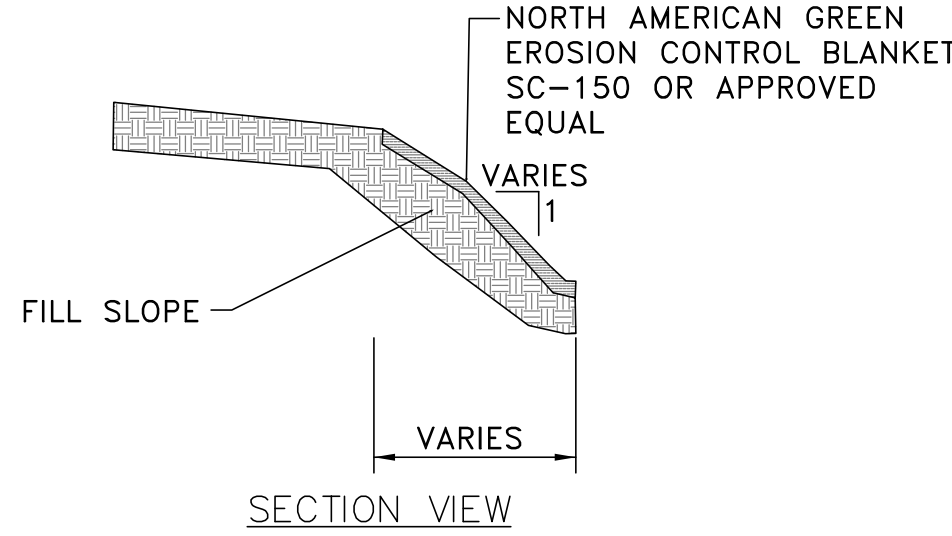
#### CONSTRUCTION ENTRANCE DETAIL NOT TO SCALE



#### CONCRETE WASHOUT AREA DETAIL NOT TO SCALE

#### NOTES

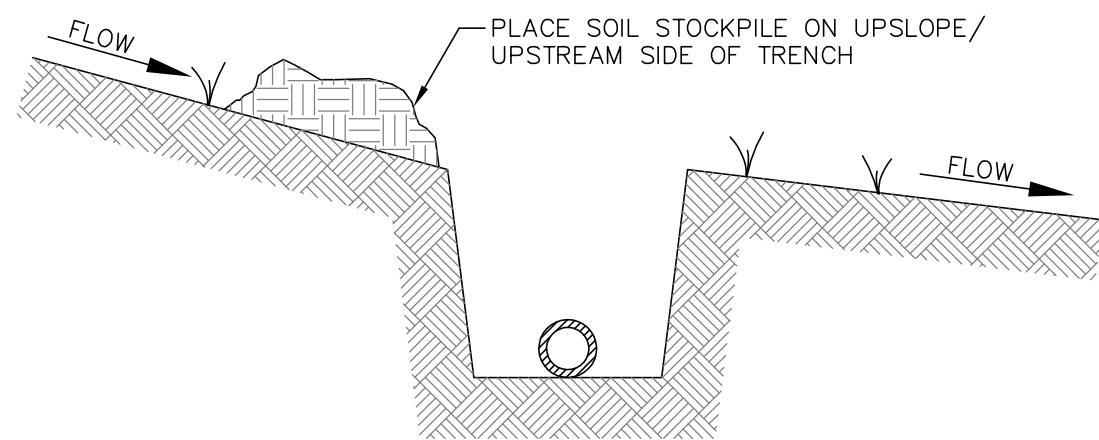
1. ACTUAL LOCATION SHOWN ON SHEET 5.
2. ONLY CONCRETE FROM MIXER TRUCK CHUTES SHOULD BE WASHED INTO CONCRETE WASHOUT AREA.
3. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
4. ONCE CONCRETE WASTES ARE WASHED INTO THE WASHOUT AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF PER WM-5, SOLID WASTE MANAGEMENT.
5. WASHOUT AREAS MUST BE CLEANED OUT WHEN IT IS 75% FULL.
6. WHEN WASHOUT AREA IS NO LONGER NEEDED, MATERIALS USED TO CONSTRUCT THE WASHOUT AREA SHOULD BE REMOVED FROM THE SITE AND DISPOSED OF.
7. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE CONCRETE WASHOUT AREA SHOULD BE BACKFILLED AND REPAIRED.



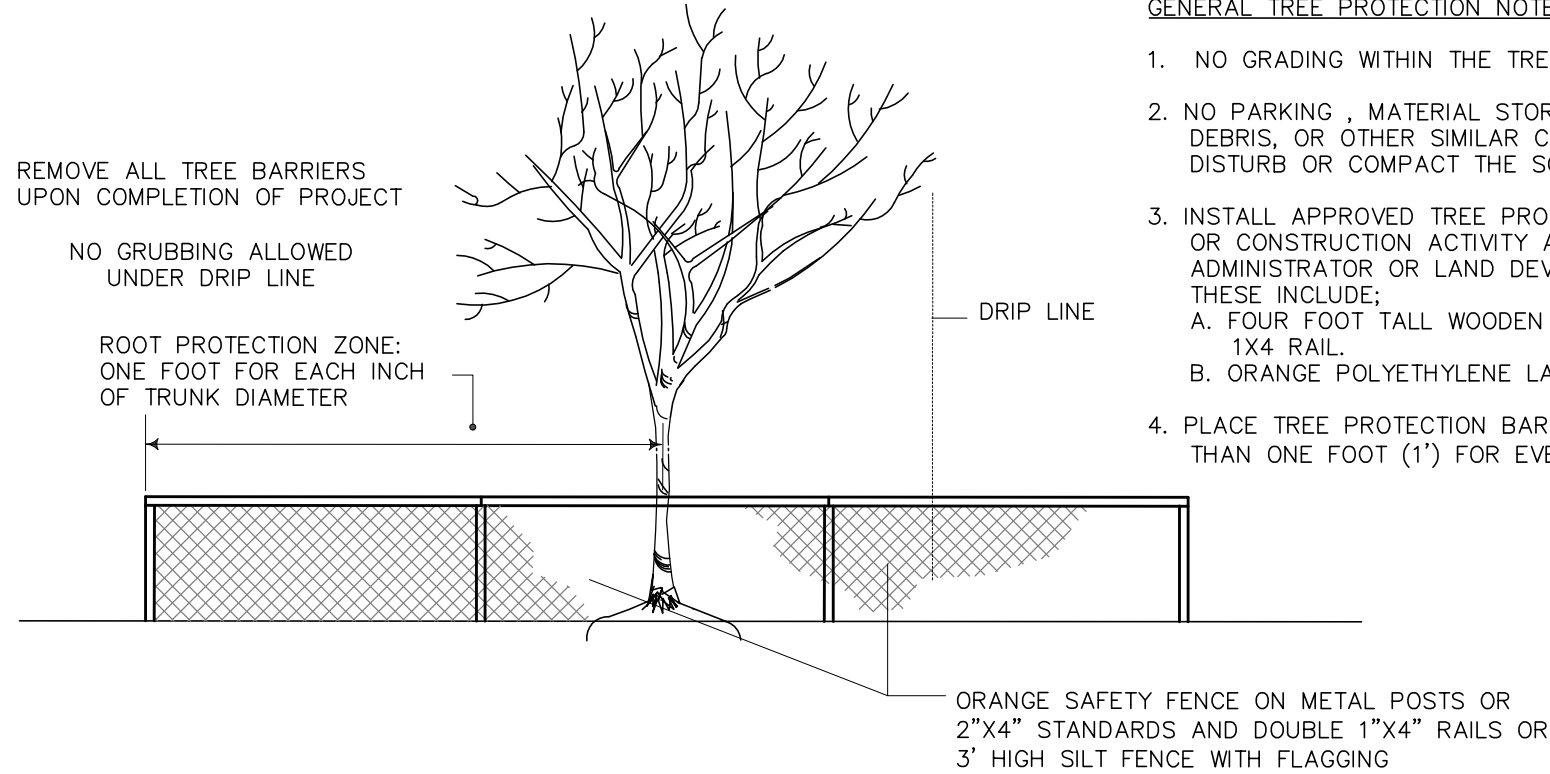
#### NOTES:

1. SEED AND FERTILIZE AREA PRIOR TO BLANKET INSTALLATION.
2. STAKE/STAPLE OR OTHERWISE FIX BLANKET IN PLACE PER MANUFACTURER'S RECOMMENDATIONS.
3. CONTRACTOR SHALL SUBMIT EROSION CONTROL BLANKET SHOP DRAWING AND/OR MANUFACTURER SUPPLIED SPECIFICATIONS. INSTALLATION DETAILS AND INSTRUCTIONS 10 DAYS PRIOR TO PROPOSED USAGE FOR ENGINEER'S APPROVAL.

#### EROSION CONTROL MATTING DETAIL (IF NECESSARY) NOT TO SCALE



#### TYPICAL TRENCH EXCAVATION STOCKPILE NOT TO SCALE

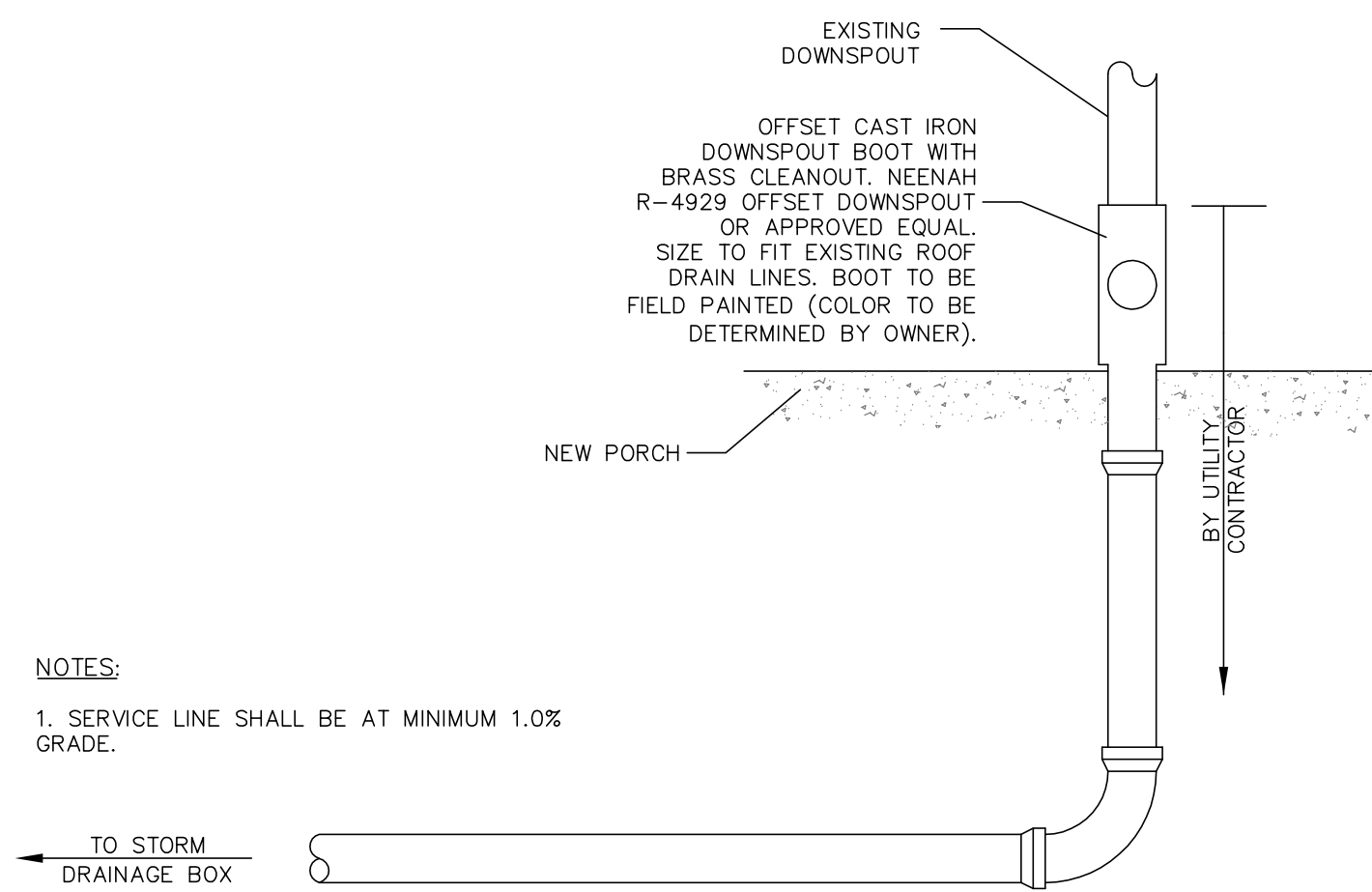


#### TREE PROTECTION DETAIL NOT TO SCALE

#### NOTES:

1. EXACT DIMENSIONS OF EXISTING CURB AND GUTTER ARE UNKNOWN. CONTRACTOR TO MATCH EXISTING CURB AND GUTTER.
2. CURB AND GUTTER TO BE CONSTRUCTED IN 10-FOOT LENGTHS.
3. 1/2 INCH EXPANSION JOINT SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 100 FEET, AT THE ENDS AND MID-POINT OF RETURNS, AND AT ANY POINT WHERE THE NEW CURB AND GUTTER ABUTS OTHER CONCRETE STRUCTURES.
4. CONTRACTOR TO REMOVE BRICKS FROM BRICK BORDER COURSE, CLEAN MORTAR FROM BRICKS AND RE-USE BRICKS IN NEW INSTALLATION.
5. IT IS UNKNOWN IF CONCRETE UNDER BRICK BORDER COURSE IS PART OF CONCRETE CURB AND GUTTER. THE CONTRACTOR MAY REMOVE CURB AND GUTTER WITHOUT REMOVING THE BRICK BORDER COURSE. SHOULD BRICK BORDER COURSE HAVE TO BE REMOVED, THIS DETAIL SHALL BE USED.

#### BARRIER TYPE CURB AND GUTTER WITH BRICK BORDER COURSE DETAIL NOT TO SCALE



#### NOTES:

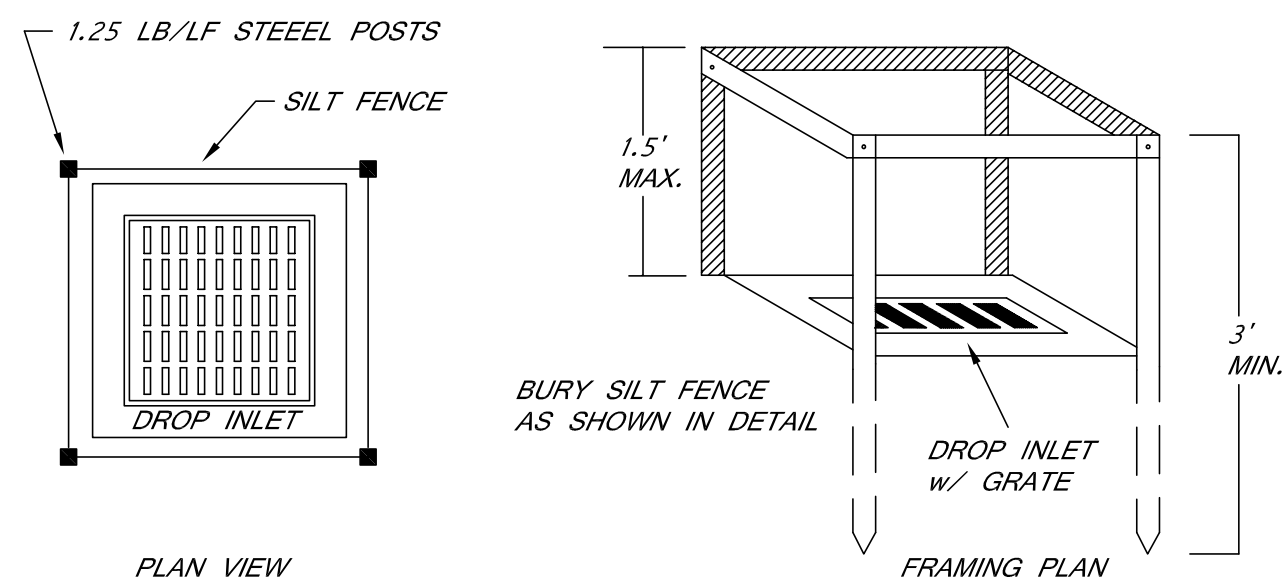
1. SERVICE LINE SHALL BE AT MINIMUM 1.0% GRADE.

#### TYPICAL ROOF DRAIN DETAIL NOT TO SCALE

#### TEMPORARY SEEDING SCHEDULE

- FROM MAY 1 - AUGUST 31
- 1 LB. BROWN TOP MILLET
  - 2 LBS. HULLED BERMUDA
  - 25 LBS. 10-10-10 FERTILIZER
  - 75 LBS. LIMESTONE
- OR
- 1 LB. BROWN TOP MILLET
  - 1 LB. HULLED BERMUDA
  - 2 LBS. UNHULLED BERMUDA
  - 25 LBS. 10-10-10 FERTILIZER
  - 75 LBS. LIMESTONE
- DEEP SANDY SOILS
- 2 LBS. BROWN TOP MILLET
  - 3 LBS. UNHULLED BERMUDA
  - 25 LBS. 10-10-10 FERTILIZER
  - 75 LBS. LIMESTONE
- OR
- 2 LBS. ANNUAL RYE GRASS
  - 0.5 LB. HULLED BERMUDA
  - 1.5 LBS. UNHULLED BERMUDA
  - 25 LBS. 10-10-10 FERTILIZER
  - 75 LBS. LIMESTONE
- OR
- 1 LB. ANNUAL RYE GRASS
  - 3 LBS. FESCUE GRASS
  - 25 LBS. 10-10-10 FERTILIZER
  - 75 LBS. LIMESTONE
- DEEP SANDY SOILS
- 1 LB. HULLED BERMUDA
  - 2 LBS. RYE GRASS OR 2 LBS. GRAIN RYE
  - 2 LBS. UNHULLED BERMUDA
  - 25 LBS. 10-10-10 FERTILIZER
  - 75 LBS. LIMESTONE

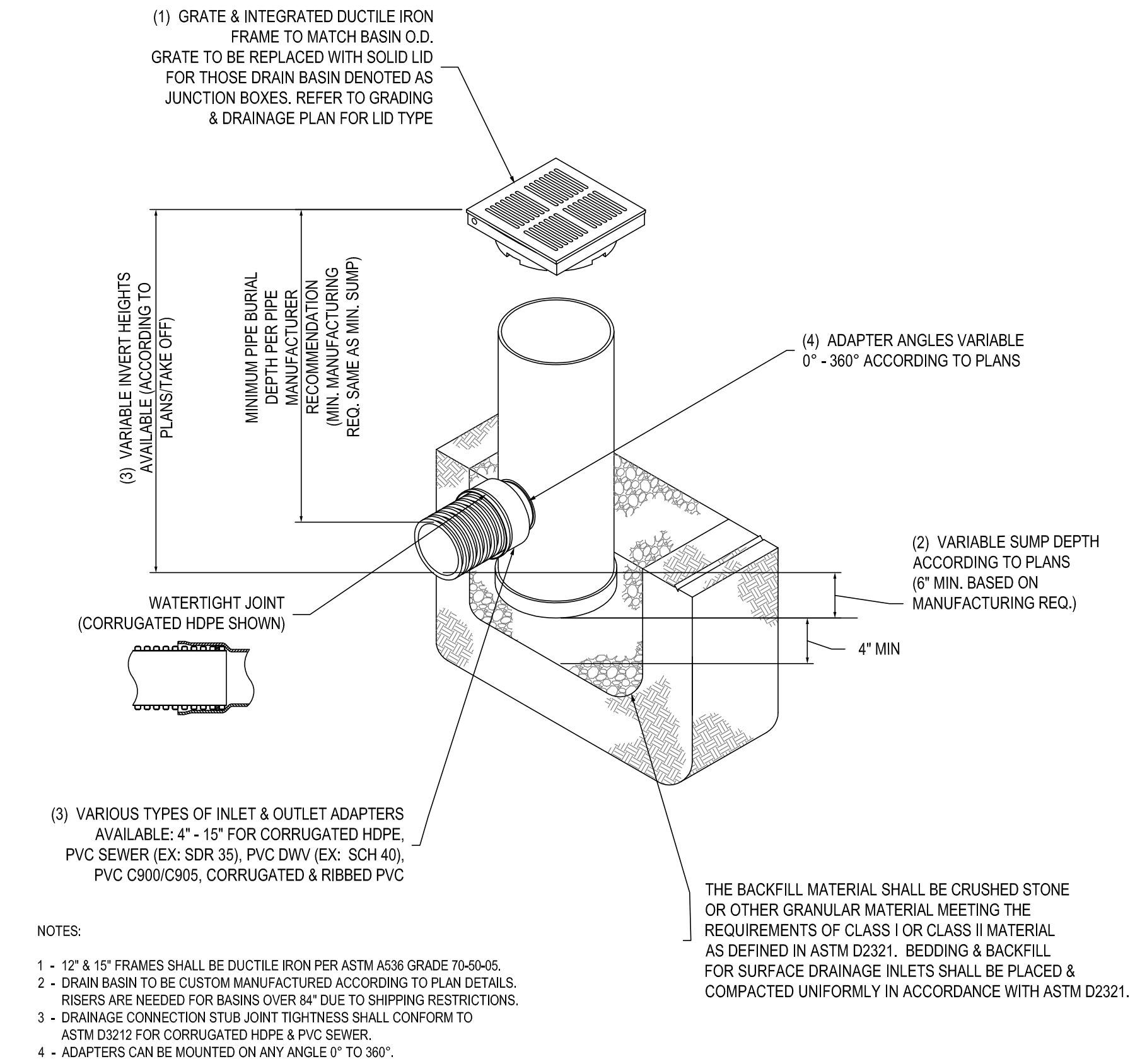
\* QUANTITIES ARE PER 1000 SF OF SEEDING AREA.



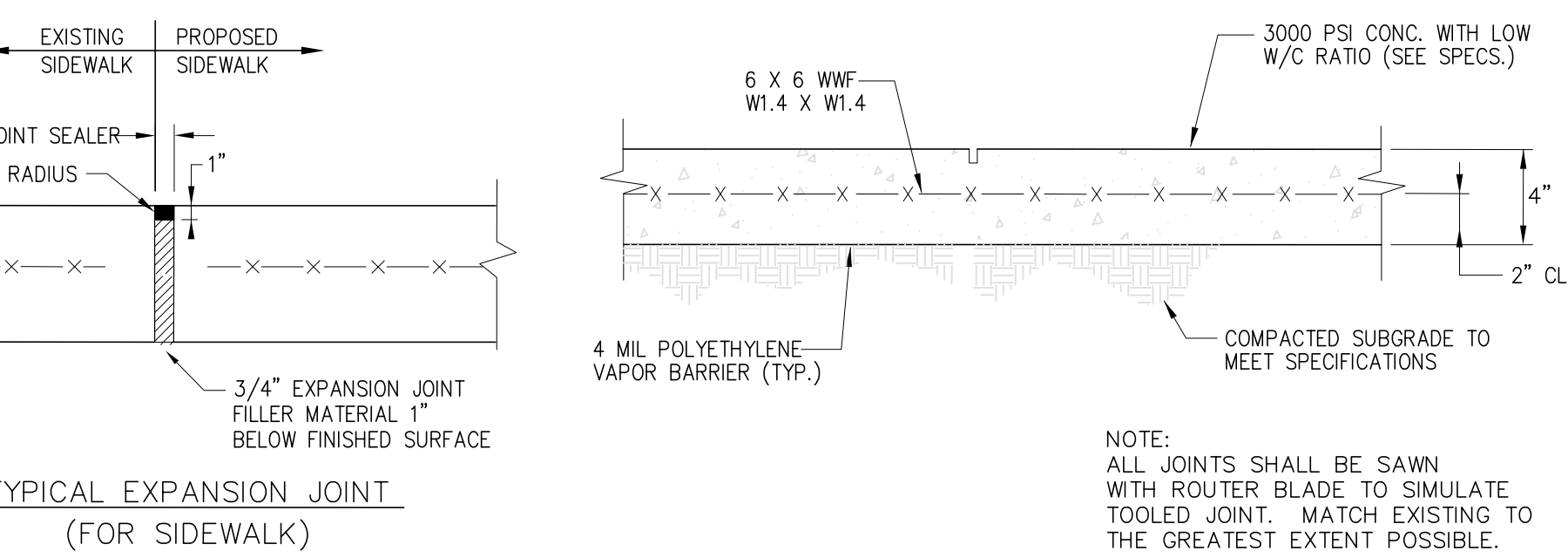
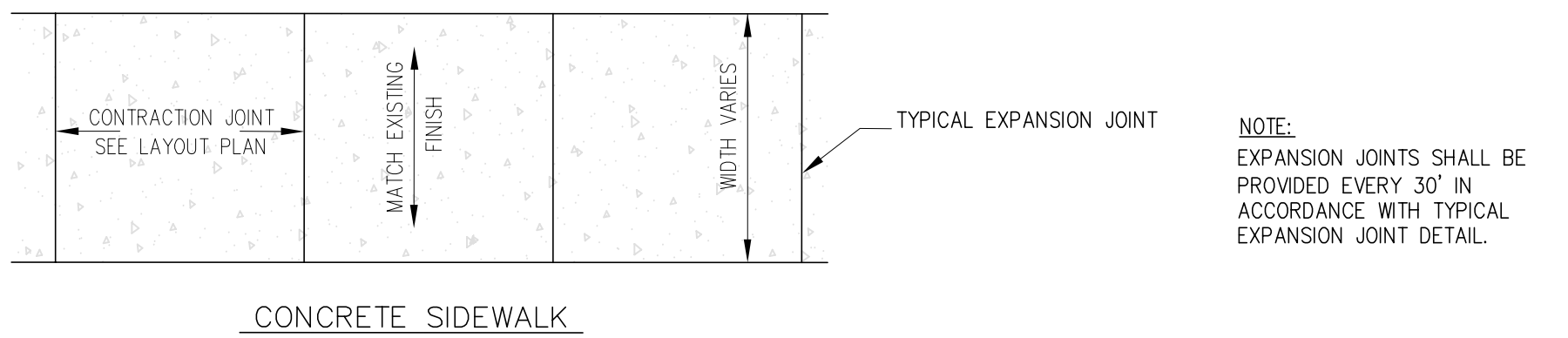
#### TEMPORARY INLET PROTECTION DETAIL NOT TO SCALE

#### GENERAL TREE PROTECTION NOTES:

1. NO GRADING WITHIN THE TREE PROTECTION ZONE.
2. NO PARKING, MATERIAL STORAGE, BURY PITS, CONCRETE WASHOUT, BURNING OF DEBRIS, OR OTHER SIMILAR CONSTRUCTION SITE ACTIVITIES THAT COULD DISTURB OR COMPACT THE SOIL WITHIN THE TREE PROTECTION ZONE.
3. INSTALL APPROVED TREE PROTECTION BARRIERS PRIOR TO ANY LAND DISTURBANCE OR CONSTRUCTION ACTIVITY AND KEEP BARRIERS IN PLACE UNTIL ZONING ADMINISTRATOR OR LAND DEVELOPMENT PLANNER APPROVES THEIR REMOVAL. THESE INCLUDE:
  - A. FOUR FOOT TALL WOODEN POST AND RAIL FENCING OF 2X4 POSTS AND DOUBLE 1X4 RAIL.
  - B. ORANGE POLYETHYLENE LAMINAR FENCING MOUNTED ON WOODEN POSTS.
4. PLACE TREE PROTECTION BARRIERS AROUND THE TREES IN A RADIUS OF NO LESS THAN ONE FOOT (1') FOR EVERY ONE INCH (1") OF TREE DIAMETER.



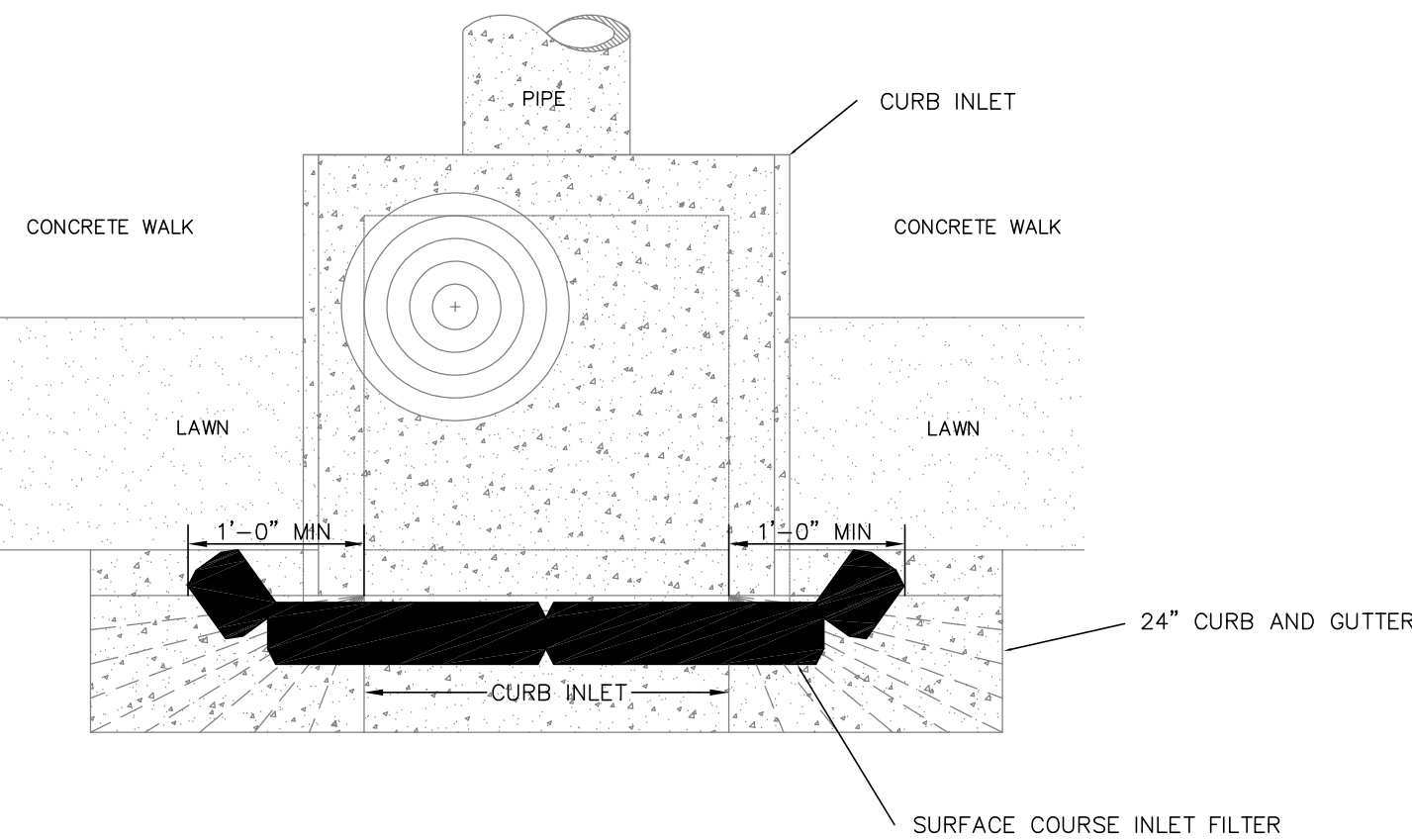
#### 8-15" DRAIN BASIN DETAIL NOT TO SCALE



#### NOTES

1. CONCRETE SCORING 5' O.C. AND EXPANSION JOINTS AT 30' O.C. OR MATCH EXISTING SIDEWALK JOINT SPACING.
2. SIDEWALK CROSS SLOPE BE NO STEEPER THAN 1:48 AND SHALL MEET 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (SECTION 403.3).

#### SIDEWALK DETAIL NOT TO SCALE



#### SURFACE COURSE INLET FILTER NOTES:

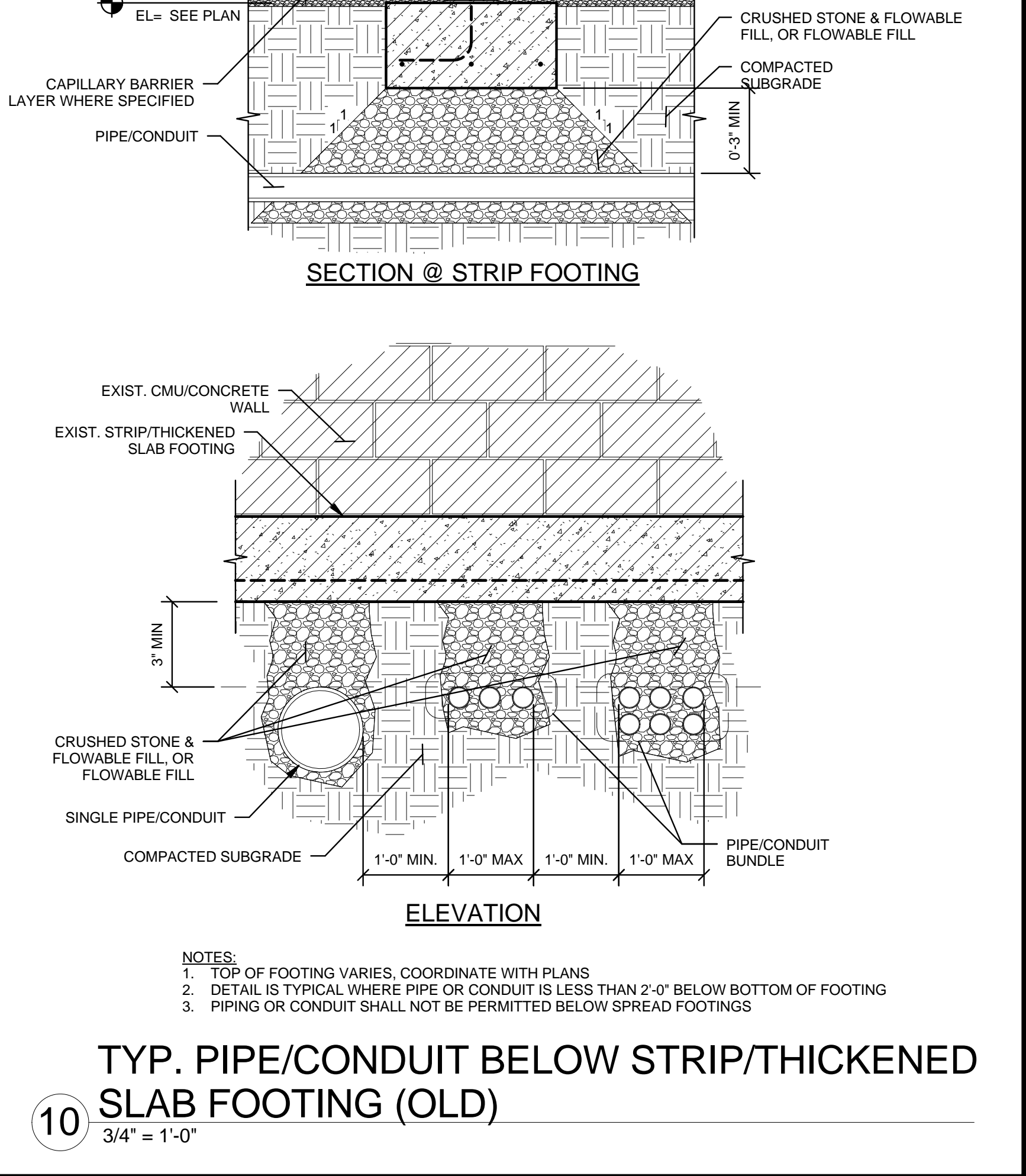
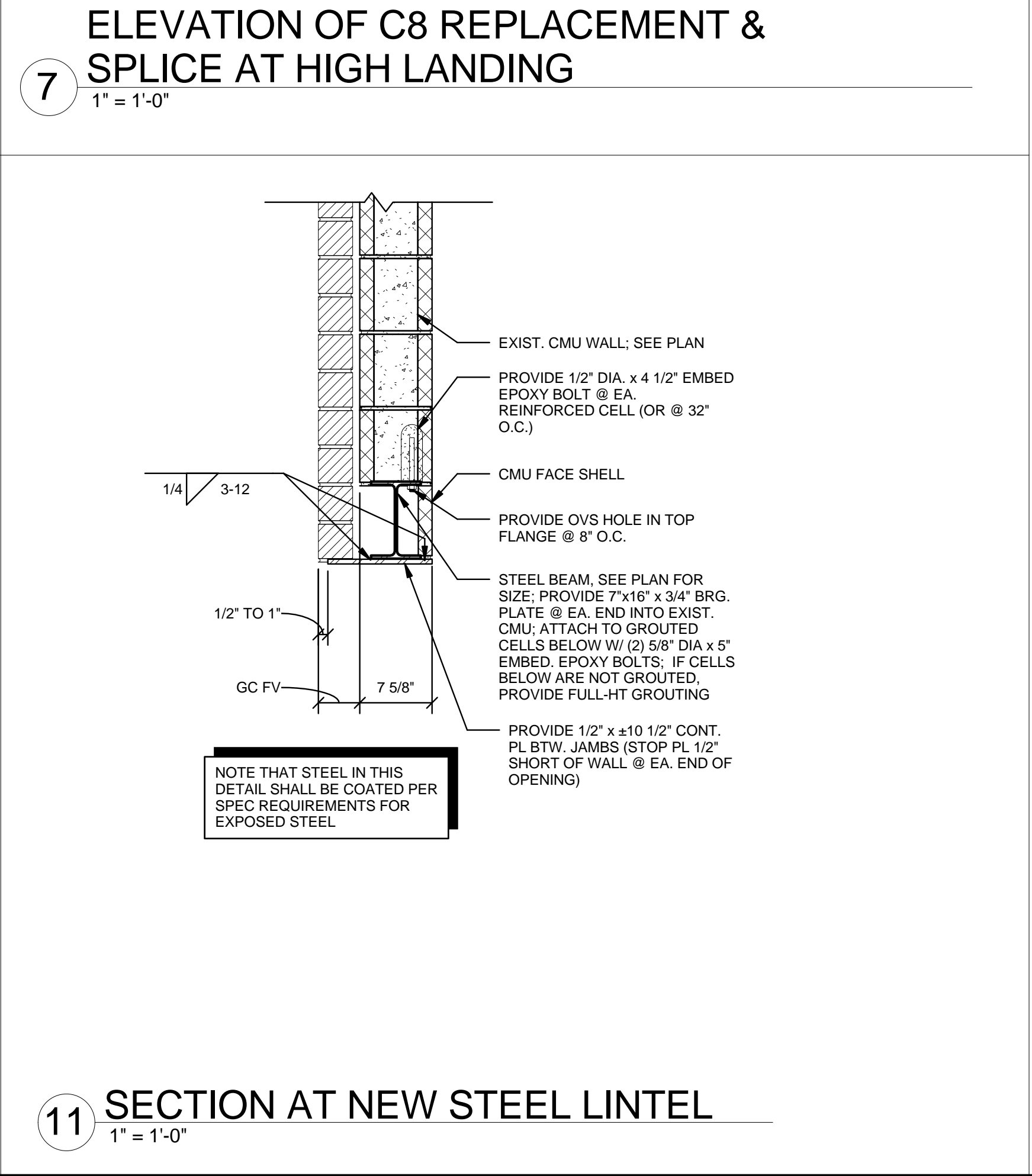
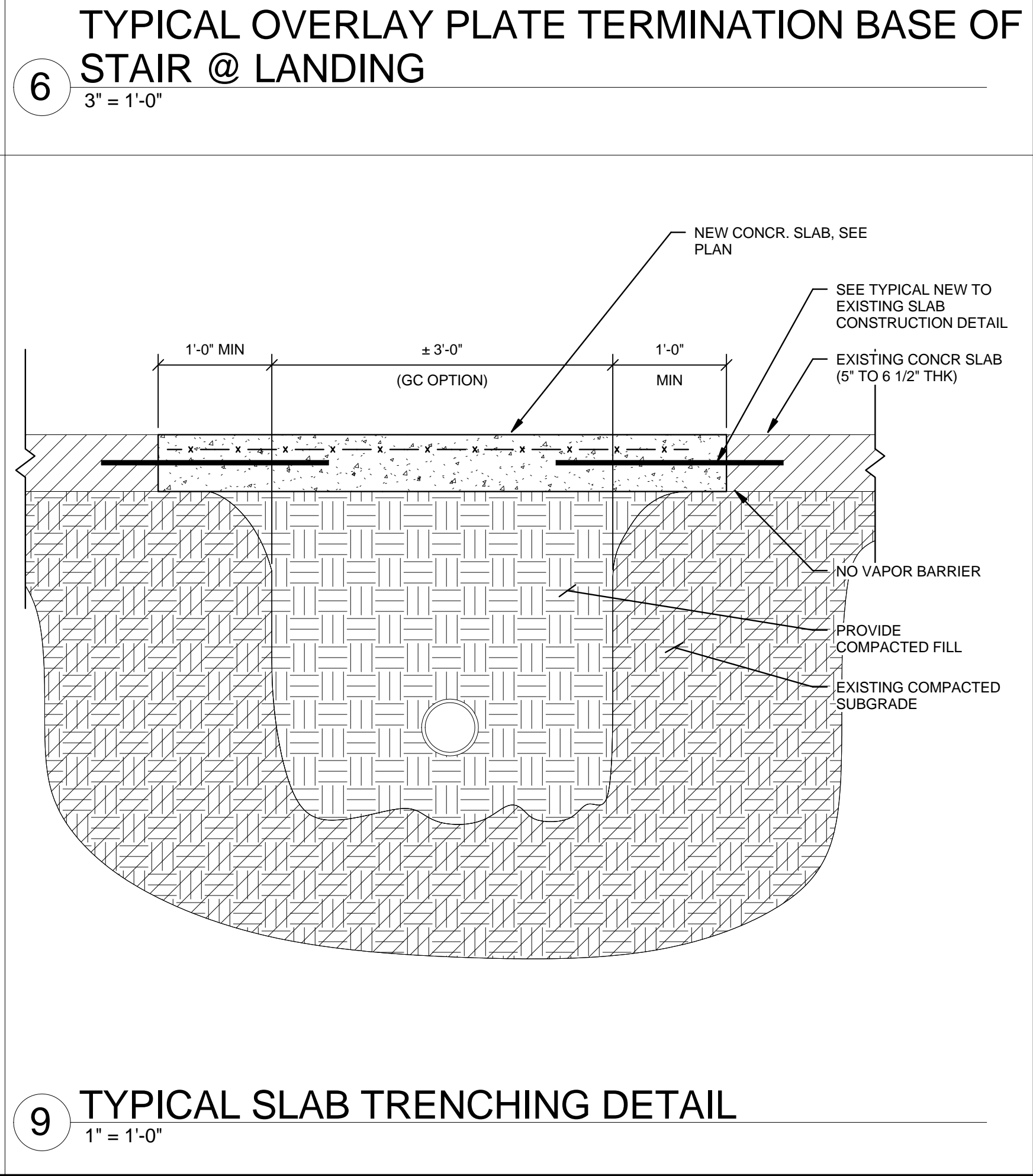
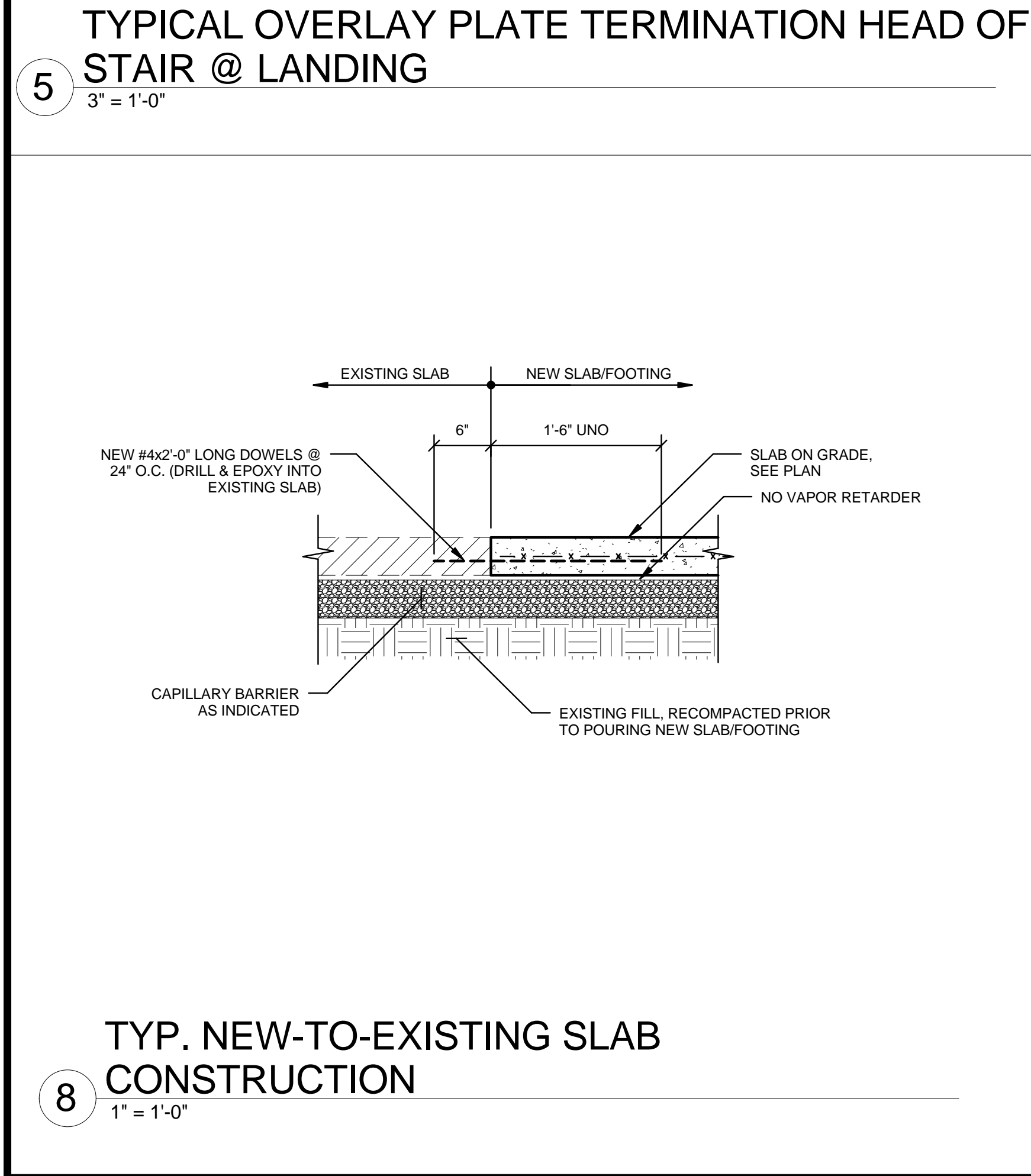
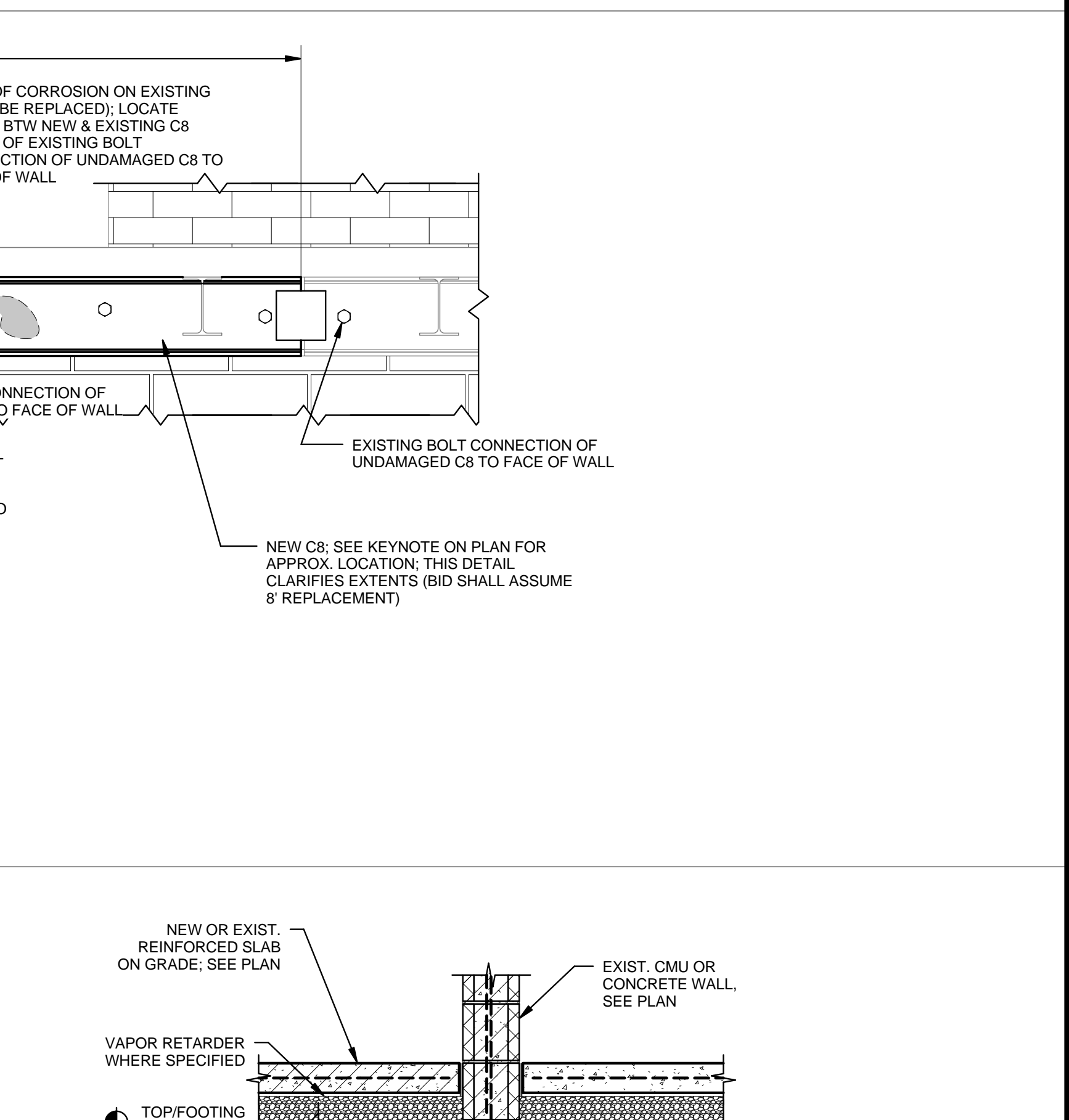
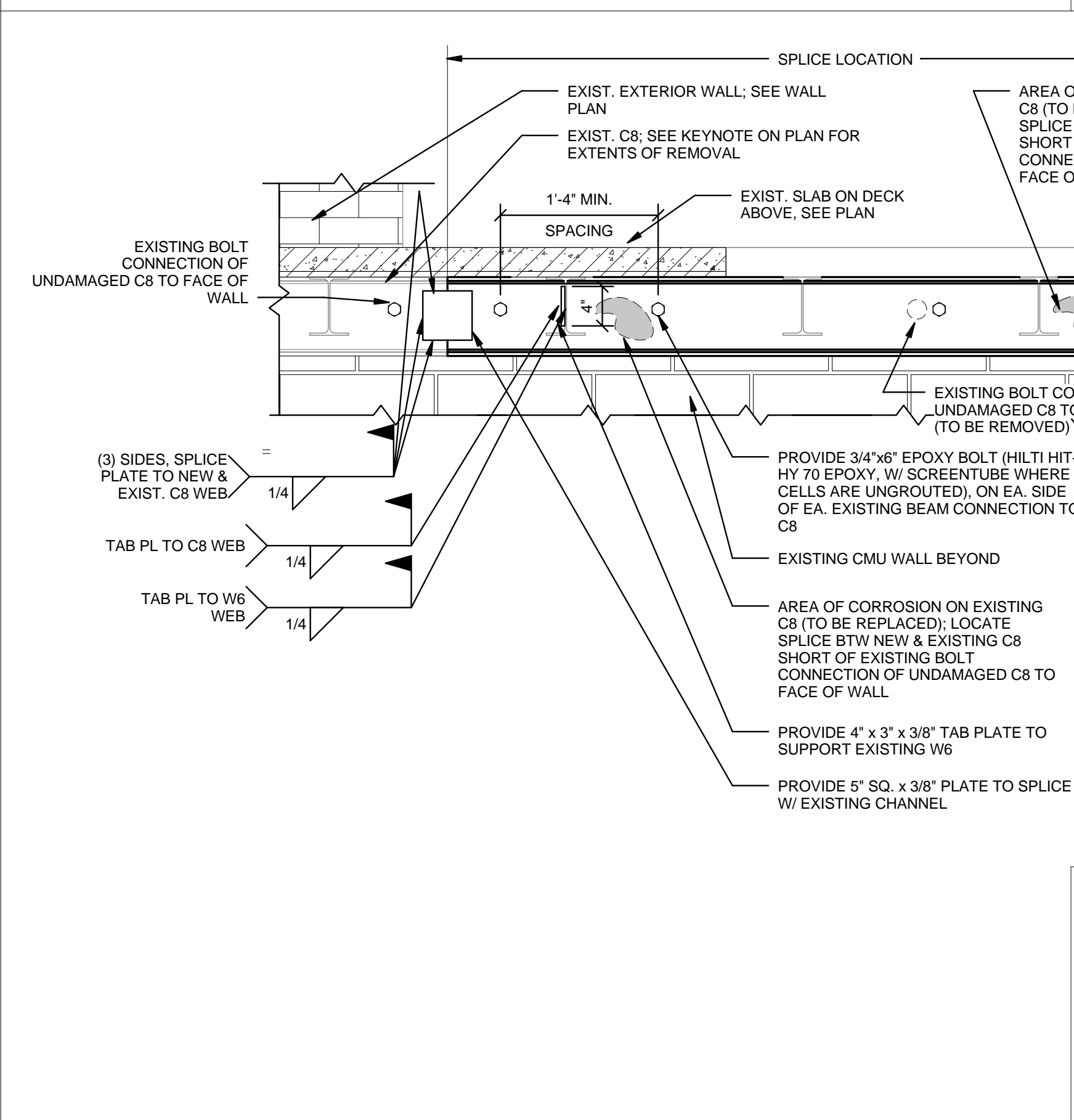
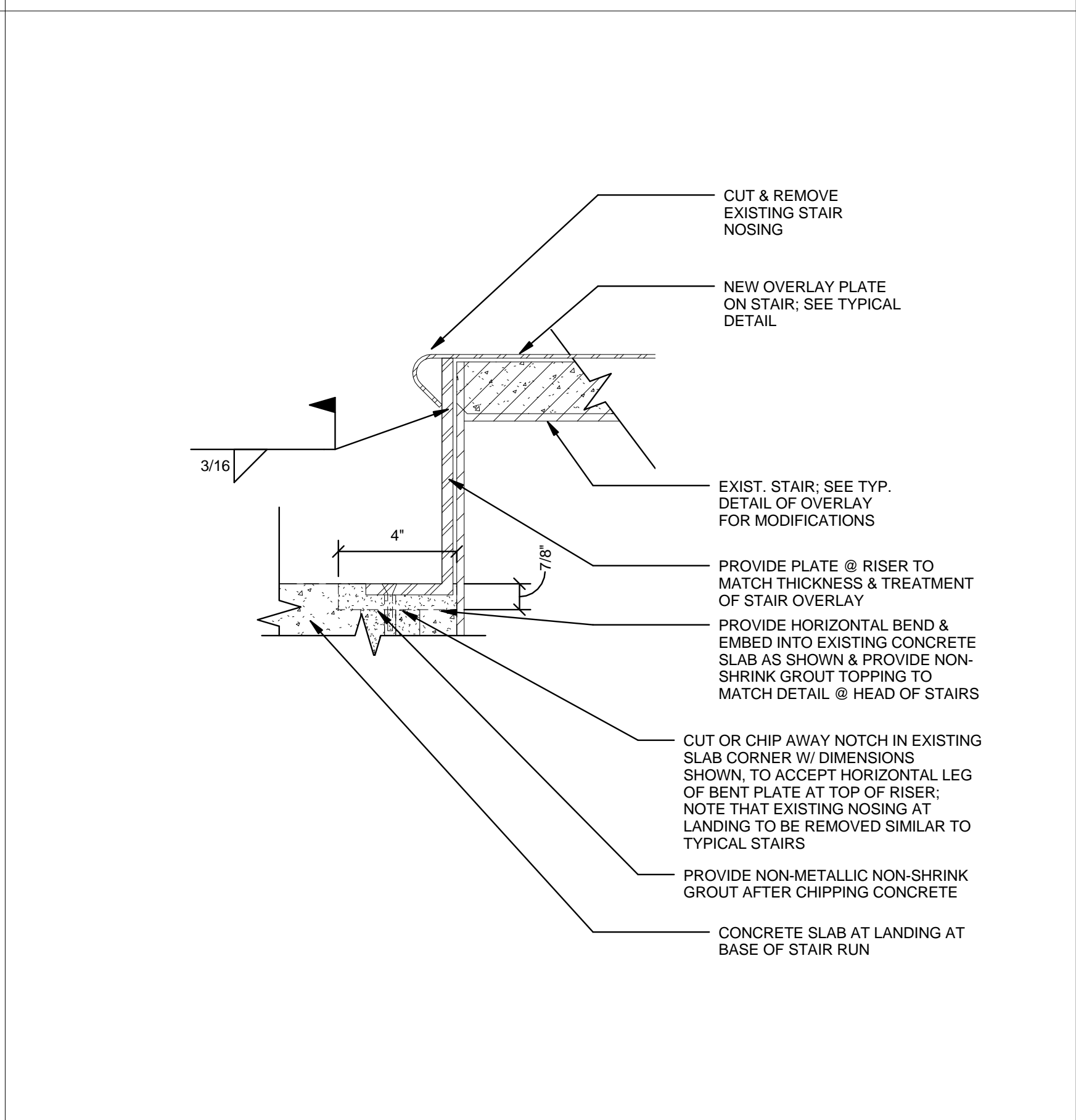
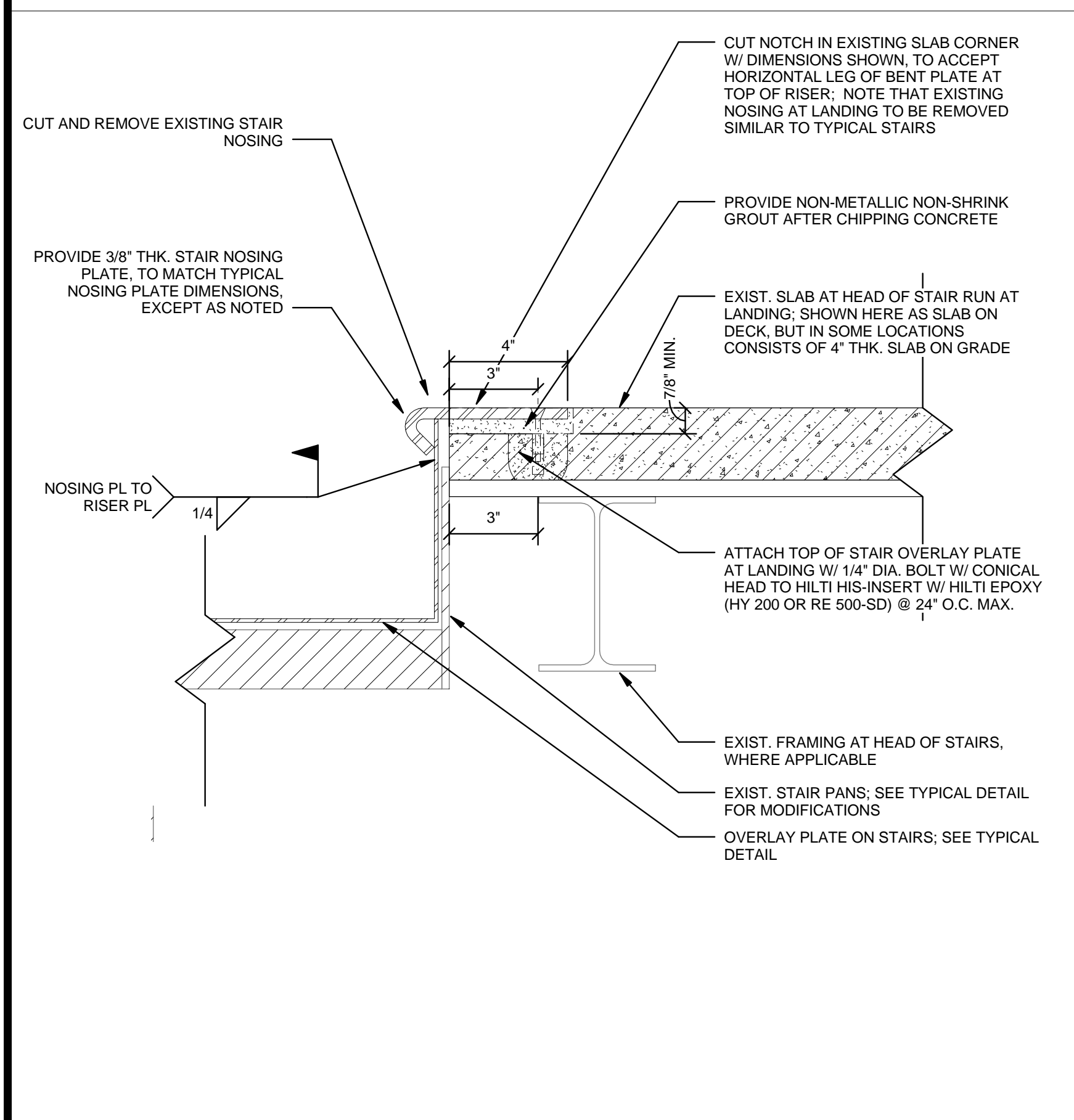
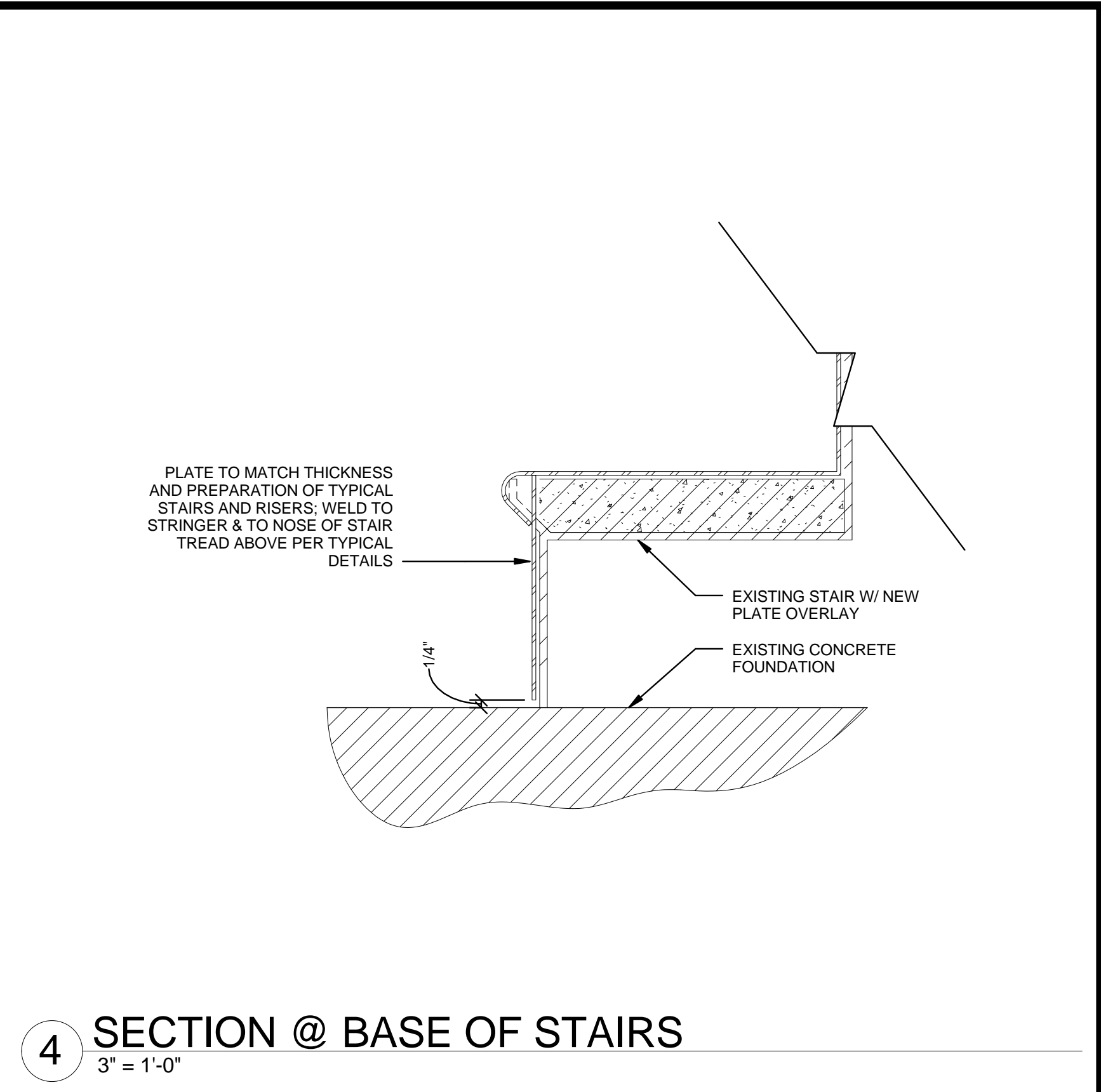
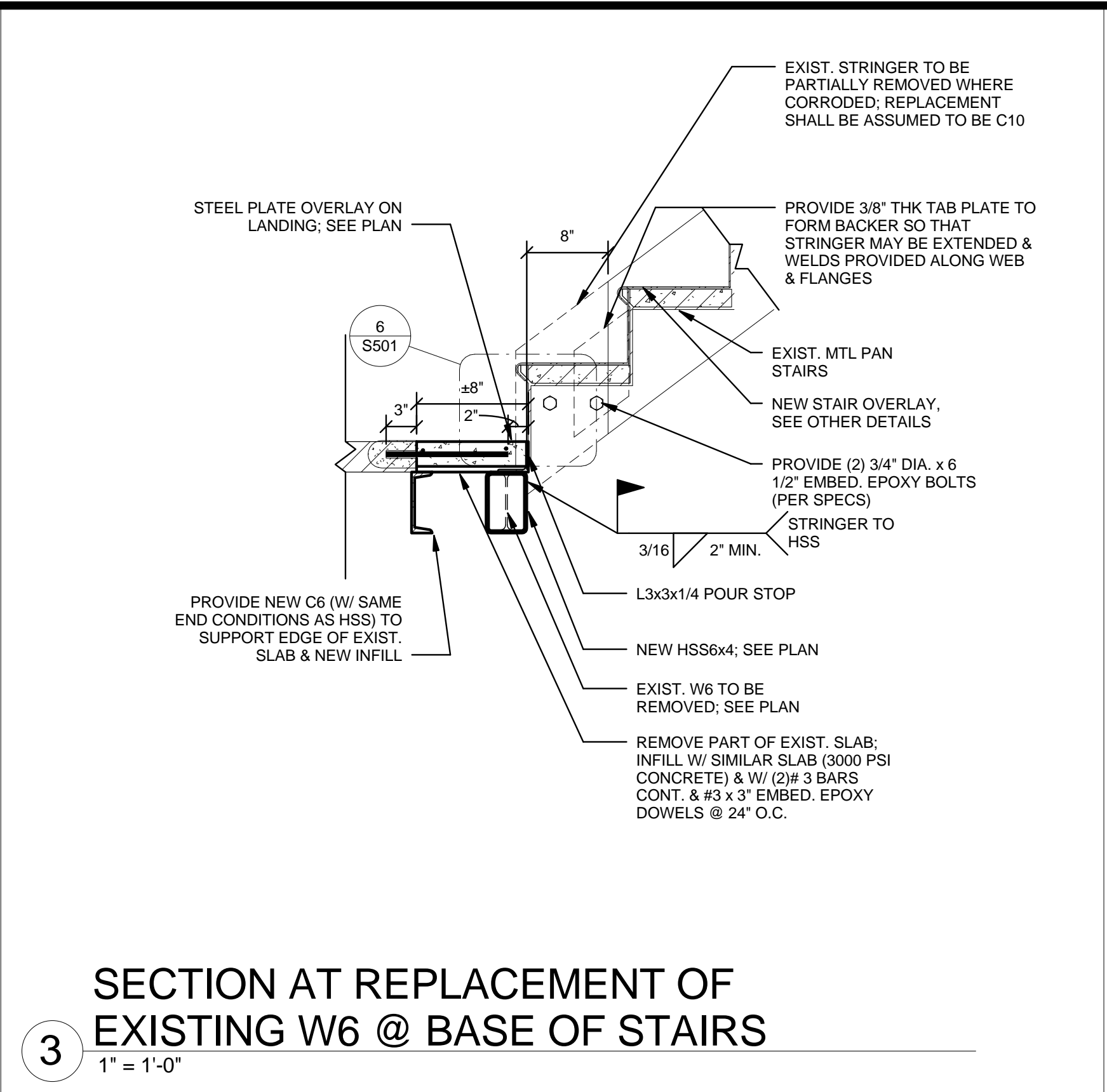
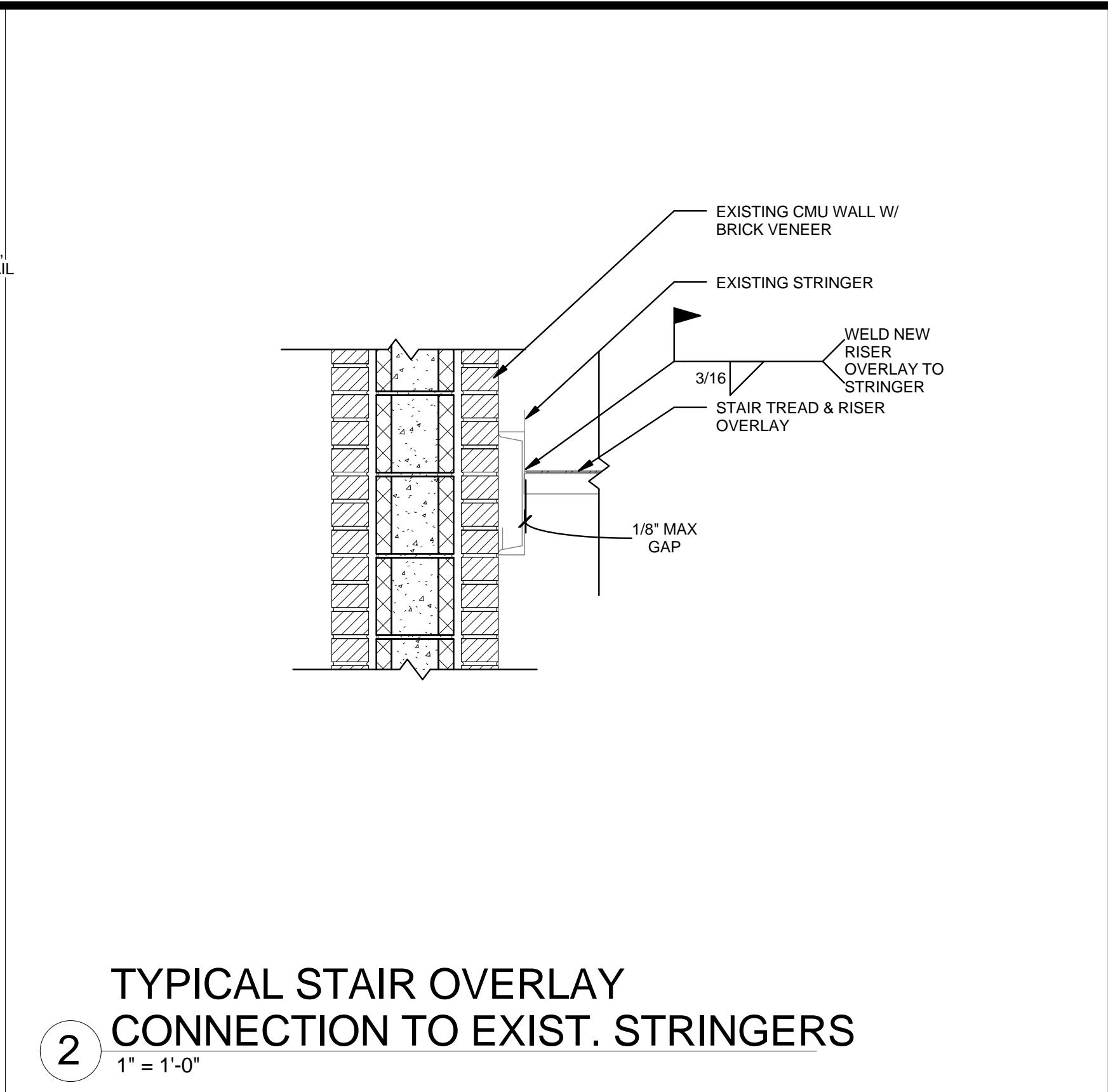
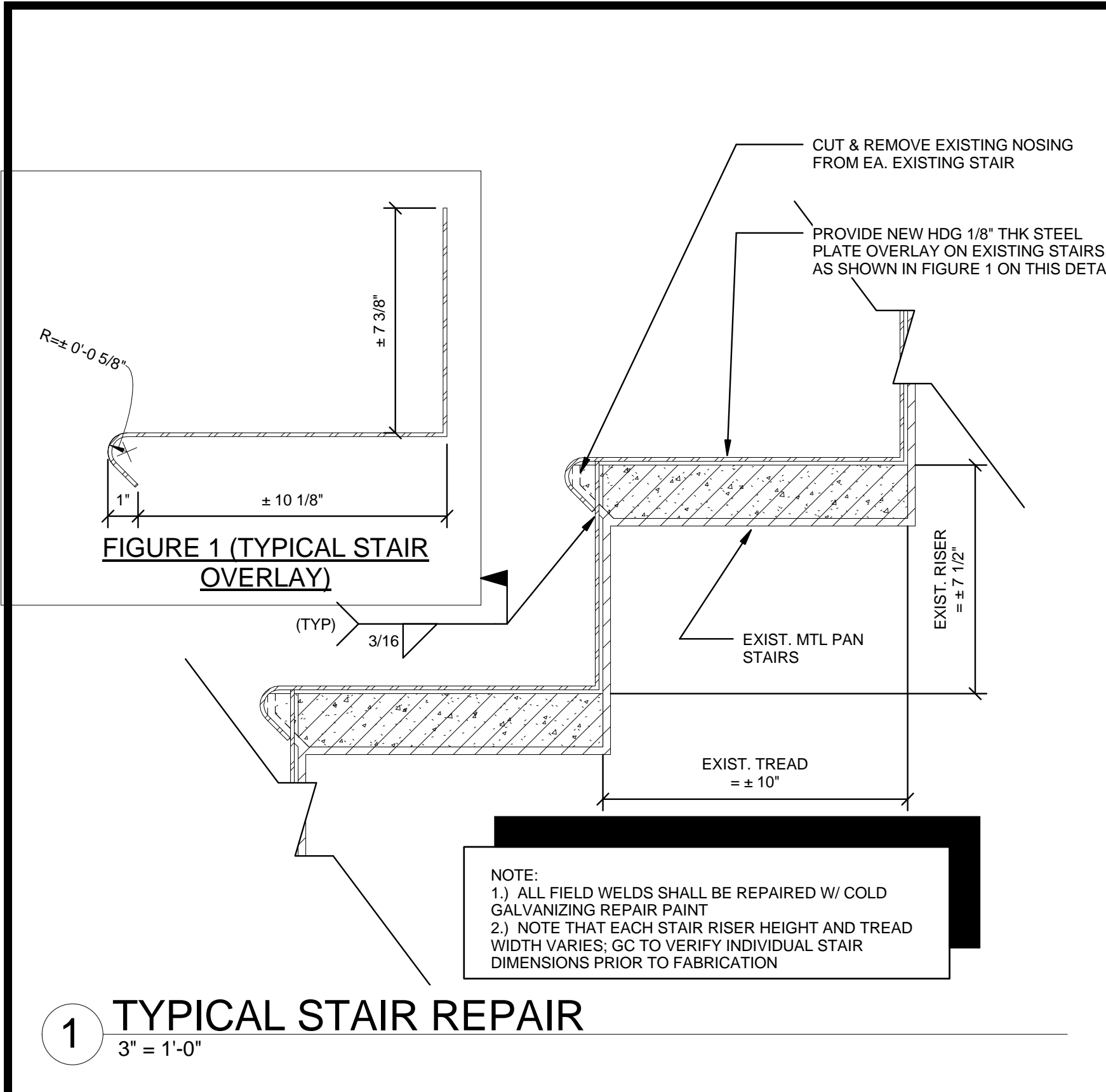
1. DRAWING SHOWS TYPE 16 CATCH BASIN. TYPE E INLET STRUCTURE FILTERS ARE APPLICABLE FOR CATCH BASIN TYPE 1, 16, 17, AND 18 AFTER THE ROAD SURFACE COURSE IS PLACED.
2. PLACE CURB INLET FILTER AS SHOWN IN AREA WHERE SILT MAY SPILL OVER SIDEWALK AND CURB AFTER BASE IS PLACED.
3. CURB INLET FILTER SHALL BE INSTALLED IN FRONT OF THE CURB INLET OPENING. THE FILTER SHALL HAVE A MINIMUM DIAMETER OF 9 INCHES AND A MINIMUM LENGTH 2 FEET LONGER THAN THE LENGTH OF THE CURB OPENING. THIS WILL ALLOW FOR SUFFICIENT LENGTH TO COVER THE INLET WITH AT LEAST ONE FOOT BEYOND THE INLET ON BOTH ENDS.
4. THE FILTER SHALL BE CONSTRUCTED WITH A SYNTHETIC MATERIAL THAT WILL ALLOW STORM WATER TO FREELY FLOW THROUGH WHILE TRAPPING SEDIMENT DEGRADATION BY ULTRAVIOLET EXPOSURE AND IS RESISTANT TO CONTAMINANTS COMMONLY ENCOUNTERED IN STORM WATER. STRAW, STRAW FIBER, STRAW BALES, PINE NEEDLES, AND LEAVE MULCH ARE NOT A PERMISSIBLE MATERIAL FOR FILTER CONSTRUCTION. MUSE FILTER FABRIC THAT IS CAPABLE OF REDUCING EFFLUENT SEDIMENT CONCENTRATIONS BY NO LESS THAN 80% UNDER TYPICAL SEDIMENT MIGRATION CONDITIONS.
5. FILL THE SGGREGATE COMPARTMENT TO A LEVEL (AT LEAST ½ FULL) THAT WILL KEEP THE SURFACE COURSE INLET FILTER IN PLACE AND CREATE A SEAL BETWEEN THE FILTER AND ROAD SURFACE.
6. PONDING IS LIKELY IF SEDIMENT IS NOT REMOVED REGULARLY. INSPECTING OF CURB INLET FILTER SHOULD BE MADE EVERY SEVEN (7) CALENDAR DAYS. ANY NEEDED REPAIRS SHOULD BE HANDLED IMMEDIATELY. THE CURB INLET FILTER SHOULD BE CLEANED IF A VISUAL INSPECTION SHOWS SILT AND DEBRIS BUILT UP AROUND THE FILTER. SEDIMENT REMOVAL SHALL BE PAID FOR AS SILT BASINS.

#### SURFACE COURSE INLET FILTER FOR EXISTING CATCH BASIN DETAIL NOT TO SCALE









number	item	date







**1 GENERAL NOTES**

1. NOTIFY THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF EXISTING CONDITIONS THAT ARE CONTRARY TO THOSE REPRESENTED WITHIN THE DRAWINGS
2. NEW WORK SHALL ALIGN WITH AND MATCH EXISTING WORK EXCEPT WHERE OTHERWISE DIMENSIONED OR DETAIL.
3. ALL NEW VERTICAL AND HORIZONTAL DUCTS, PIPES, CONDUITS, ETC. (WHETHER SHOWN OR NOT) IN FINISHED ROOMS OR AREAS, THROUGH OUT BUILDING, NOT CONCEALED, SHALL BE FURRED IN, AND FINISHED TO MATCH ROOM FINISH.
4. ALL NEW PARTITIONS, UNLESS OTHERWISE SHOWN OR DETAILED, SHALL BE METAL STUDS OF THICKNESS TO ADEQUATELY COVER PIPING, CONDUITS, ETC.
5. PROVIDE AN EDGE STRIP, AS DETAILED, UNDER ALL DOORS WHERE NEW OR EXISTING FINISHES AND ADJACENT FLOOR ARE AT DIFFERENT LEVELS AND WHERE ADJACENT FLOOR FINISHES ARE OF DIFFERENT MATERIALS. SEE DETAIL 6/14-0.
6. EXISTING DOORS, WHICH SWING INTO ROOMS WHERE NEW FLOOR FINISH IS ABOVE ADJACENT FLOORS, SHALL BE CUT OFF AT BOTTOM TO CLEAR NEW FINISHED FLOOR, DOOR BOTTOM SHALL BE SEALED AND FINISHED TO MATCH EXISTING FINISH.
7. OFFSET ALL DOORS 6" FROM ADJACENT WALLS UNLESS OTHERWISE NOTED.
8. NEW TILE FINISHES APPLIED TO EXISTING WALLS AND PARTITIONS SHALL BE APPLIED DIRECTLY TO PLASTER OR GYPSUM WALLS BY THE TIE NET METHOD. NEW PARTITIONS AND GLOSSED TILE PARTITIONS IN ROOMS HAVING TILE GASE AND/OR TILE WAINSCOT SHALL BE FINISHED WITH TILE TO MATCH EXISTING, WHEN TILE CANNOT BE MATCHED. FURNISH ARCHITECT WITH SAMPLES OF EXISTING TILE TO PERMIT SELECTION OF SUBSTITUTE TILE.
9. PROVIDE ACCESS PANELS, 24" X 24", OR OF SIZES REQUIRED, WHERE PLUMBING AND HEATING VALVES, WATER SWITCHES, OXYGEN PRESSURE SWITCHES, VENTILATION SPLITTER DAMPERS, ETC. ARE SHOWN ON PLUMBING, HEATING AND VENTILATION DRAWINGS. SUCH ACCESS PANELS TO BE INSTALLED IN THE FOLLOWING:
  - (A) SUSPENDED PLASTER OR GYPSUM WALLBOARD CEILINGS
  - (B) METAL STUD OR MASONRY PARTITIONS
10. WHEREVER EXISTING EQUIPMENT, PIPING, DUCTS, ETC. ARE REQUIRED TO BE REMOVED, SUCH REMOVAL SHALL BE DONE BY ALL ANCHORS, HANGERS, FOUNDATIONS ETC. AFTER REMOVAL OF FLOORS, WALLS AND CEILINGS SHALL BE FINISHED TO MATCH ADJOINING SURFACES OR AS INDICATED ON ROOM FINISH SCHEDULE.
11. WALL ASSEMBLIES SHALL BE MAINTAINED AT ALL RECESSED FIRE EXTINGUISHER CABINETS AND ALL RECESSED EQUIPMENT.
12. WHERE PAINT IS CALLED FOR ON WALLS IN RENOVATED WALLS IN THE EXISTING BUILDING, ALL WALLS ARE TO BE PAINTED.
13. WHERE NO FINISH IS REQUIRED, NO ADJOINING SURFACES TO BE MATCHED.
14. WHERE THE EXISTING FINISH IS COMPLETELY REMOVED, THE FINISH TO BE MATCHED TO THE EXISTING FINISH.
15. PROVIDE FIRE REFER TO FL.
16. REFER TO THE MATERIAL, THEN STRIP THAT MATERIAL, THEN STRIP THAT MATERIAL.
17. SUPPLY BLOOD MEDICAL EQUIPMENT.
18. WHERE A THROUGH AN UNLITE, AS REQUIRED, TO BE MATCHED TO THE EXISTING FINISH.
19. ALL DIMENSIONS VERIFIED IN ALL ROOM SERVICES, REPAIR FINISH ROOM FINISH.

③ NOT USED  
 $3/8" = 1'-0"$

The drawings illustrate typical base details for various wall and floor combinations. Each drawing shows a cross-section of the wall and floor, with dimensions and labels indicating the materials and finishes.

**Top Row:**

- Wall:** CONCRETE (FLAT) **Floor:** CARPET. Dimensions: 4" to 16".
- Wall:** CONCRETE (FLAT) **Floor:** CARPET. Dimensions: 4" to 16".
- Wall:** CONCRETE (FLAT) **Floor:** CARPET. Dimensions: 4" to 16".

**Second Row:**

- Wall:** CONCRETE (FLAT) **Floor:** CARPET. Dimensions: 4" to 16".
- Wall:** CONCRETE (FLAT) **Floor:** CARPET. Dimensions: 4" to 16".
- Wall:** CONCRETE (FLAT) **Floor:** CARPET. Dimensions: 4" to 16".

**Third Row:**

- Wall:** CONCRETE (FLAT) **Floor:** CARPET. Dimensions: 4" to 16".
- Wall:** CONCRETE (FLAT) **Floor:** CARPET. Dimensions: 4" to 16".
- Wall:** CONCRETE (FLAT) **Floor:** CARPET. Dimensions: 4" to 16".

**Bottom Row:**

- Wall:** CONCRETE (FLAT) **Floor:** CARPET. Dimensions: 4" to 16".
- Wall:** CONCRETE (FLAT) **Floor:** CARPET. Dimensions: 4" to 16".
- Wall:** CONCRETE (FLAT) **Floor:** CARPET. Dimensions: 4" to 16".

ATED AND THAT  
ALL BE  
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SLAB ABOVE.  
OUR

ABOVE  
REO'D

THE REFERENCE SYSTEM USES  
A NUMBER FOR EACH DETAIL OR  
ITEM ON A SHEET COMBINED WITH  
THE SHEET NUMBER ON WHICH  
IT IS LOCATED. EACH DETAIL OR  
ITEM ON A SHEET WILL BE NUMBERED.

SECTION  
NO.2  
2  
A3.0  
ON SHEET  
A3.0

SECTION  
NO.8  
8  
A4.0  
ON SHEET  
A4.0

SECTION  
NO.4 ON  
SHEET A8.0  
4  
A8.0

3  
A8.0  
LOCATION OF  
LARGE SCALE PLAN  
LARGE SCALE BLOW  
UP OF PLAN AREA

ROOM IDENTIFICATION

TOILET  
1020 A  
ROOM NAME  
ROOM NUMBER  
ACCESSORY GROUP

ELEVATION SYMBOL  
(LOOKING IN DIRECTION OF ARROW)

INTERIOR  
ELEVATION  
NO.25  
25  
A6.0  
ON SHEET  
A6.0

ALUMINUM ENTRANCE  
OR SLIDING DOOR SYMBOL

A-01  
ALUMINUM  
DOOR NUMBER

WINDOW SYMBOLS

W-1  
WINDOW  
NUMBER

LOUVER SYMBOLS

L-1  
LOUVER  
NUMBER

DETAIL NUMBER  
1  
DETAIL TITLE  
PLAN DETAIL  
1 1/2" = 1'-0"  
DETAIL SCALE  
DETAIL TAKEN  
FROM THIS SHEET  
A2.1

5 REFERENCE SYSTEM

DEFINITIONS: GENERAL PROJECT AREA. SOME WORK MAY OCCUR OUTSIDE PROJECT AREA AS IT IS INDICATED ON FLOOR PLAN.

EXISTING PARTITION TO REMAIN

EXISTING PARTITION TO BE REMOVED. REFER TO NOTE INDICATED FOR INSTRUCTIONS (ON DEMOLITION PLAN).

PARTITION:

LEAD LINED PARTITION. NOTE : NUMBER TO INDICATE THICKNESS AND HEIGHT ON SCHEDULE.

SMOKE TIGHT PARTITION (BUT NOT SMOKE RATED.)

1 HOUR FIRE RESISTIVE CONSTRUCTION

1 HOUR FIRE RESISTIVE CONSTRUCTION & SMOKE BARRIER

2 HOUR FIRE RESISTIVE CONSTRUCTION

2 HOUR FIRE RESISTIVE CONSTRUCTION & SMOKE BARRIER

4 HOUR FIRE RESISTIVE CONSTRUCTION

HOUR RATING

FIRE RATING

FIRE / SMOKE RATING

PARTITION TYPE (SEE PARTITION SCHEDULE DWG. A8.1)

CORNER QUARD

MATCH LINE

FIRE EXTINGUISHER

PROJECT AREA

1

RG (Bumper guard)

Lead lined side

2

E



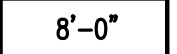












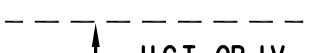



CG-2

CG-1

A

B

9 PARTITION SYMBOLS

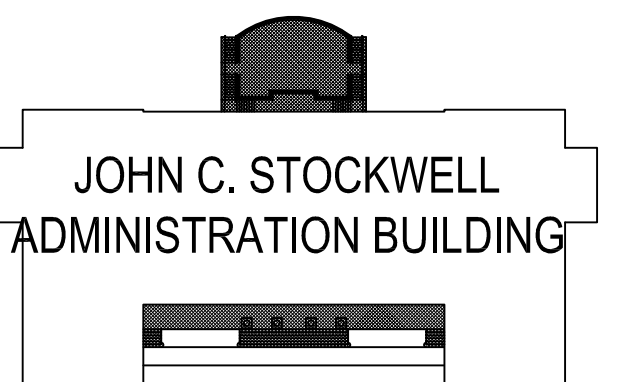
	ROOM NUMBER		SMOKE OR HEAT DETECTOR
	CEILING HEIGHT		OCCUPANCY SENSOR
	RECESSED LIGHT FIXTURE		GAS OUTLET (REFER TO MECH. DWG. FOR TYPE AND LOCATION)
	SURFACE MTD. LIGHT FIXTURE		RADIANT HEAT PANEL
	PENDANT LIGHT FIXTURE		ACCESS PANEL
	RECESSED PERIMETER LIGHT		MECHANICAL AIR DEVICE
	SURGICAL LIGHT/EXAM LIGHT		LINEAR DIFFUSER OR GRILL
	EXIT LIGHT		HOSPITAL CURTAIN TRACK OR INTRAVENOUS TRACK
	AUDIO VISUAL ALARM LIGHT		
	P.A. LOUDSPEAKER		
	NURSE CALL DOME LIGHT		

## REFLECTED CEILING PLAN SYMBOLS

drawn by RTC  
checked by TMW



number	item	date



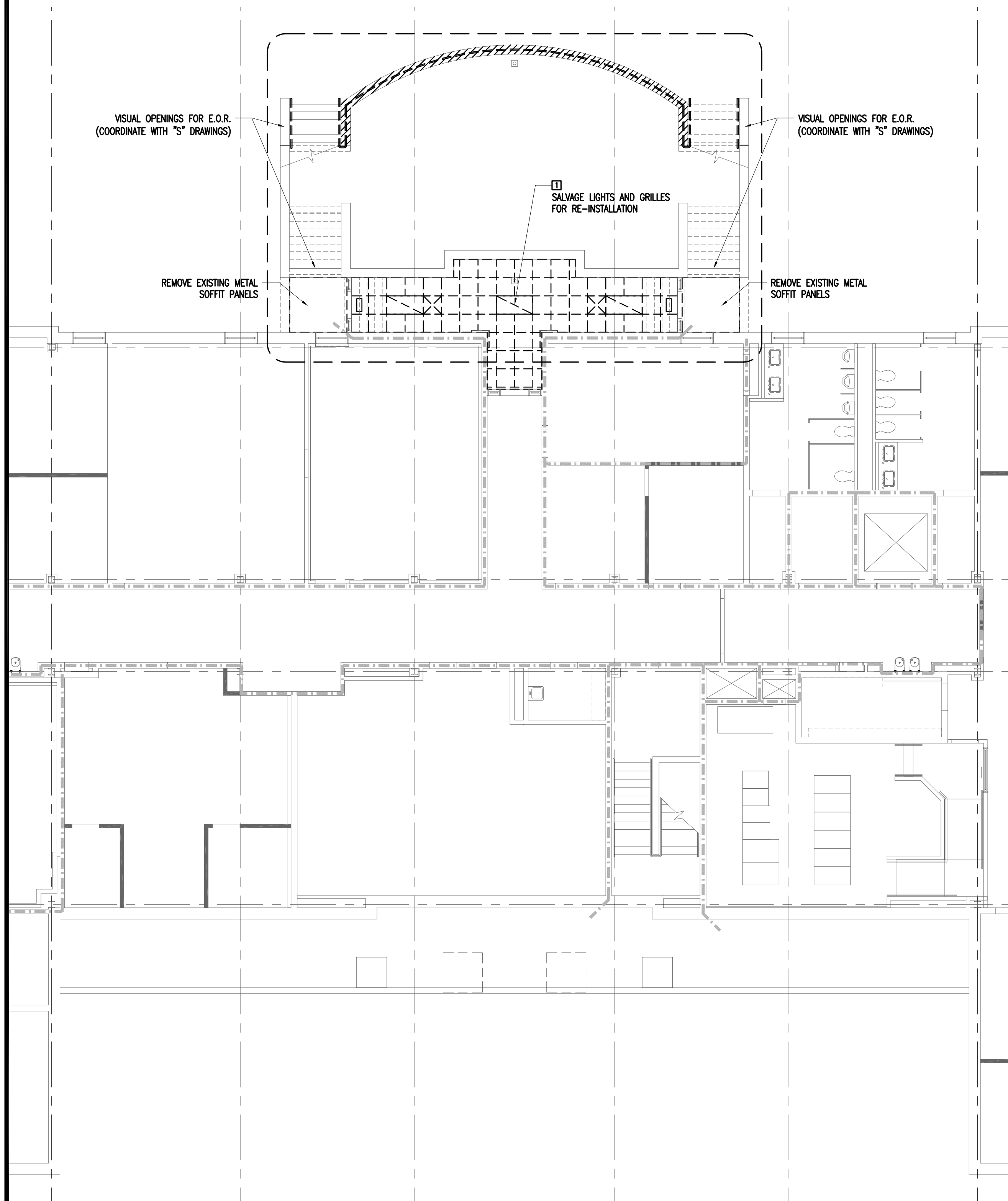
GENERAL DEMOLITION NOTES:

1. LIFE-SAFETY EGRESS FROM EXISTING AREAS EITHER RENOVATED OR HAVING THE EGRESS AFFECTED BY THE RENOVATION SHALL BE MAINTAINED CLEAR OF OBSTRUCTION AND IMPEDIMENT TO EXITING AND SHALL BE SUPPLANTED TO PROVIDE REQUIRED LIFE-SAFETY COVERAGE AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION.
2. NOTIFY THE ARCHITECT IF DISCREPANCIES ARE DISCOVERED IN THE FIELD BETWEEN WHAT IS EXISTING AND WHAT IS SHOWN ON THE DRAWINGS. DO NOT PROCEED WITH DEMOLITION UNTIL THE DISCREPANCY IS RESOLVED BY THE ARCHITECT.
3. CONTRACTOR SHALL CLOSELY COORDINATE DEMOLITION WITH NEW CONSTRUCTION PLANS.
4. WHEREVER DEMOLITION DAMAGES EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THOSE SURFACES TO THE FINISH AND QUALITY OF ADJACENT SURFACES OR TO THE ORIGINAL CONDITION.
5. THE CONTRACTOR SHALL TAKE AS NECESSARY PROVISIONS TO PROTECT THE EXISTING CONSTRUCTION TO REMAIN. CONSTRUCT DUST BARRIERS AS REQUIRED TO PREVENT THE PASSAGE OF DUST INTO OCCUPIED AREAS.
6. PROTECT EXISTING SPRAYED-ON FIREPROOFING DURING DEMOLITION AND RENOVATION WORK. REPAIR ANY DAMAGED FIREPROOFING WITH LIKE MATERIAL MATCHING REQUIRED FIRE RATING, U.L. APPROVED.

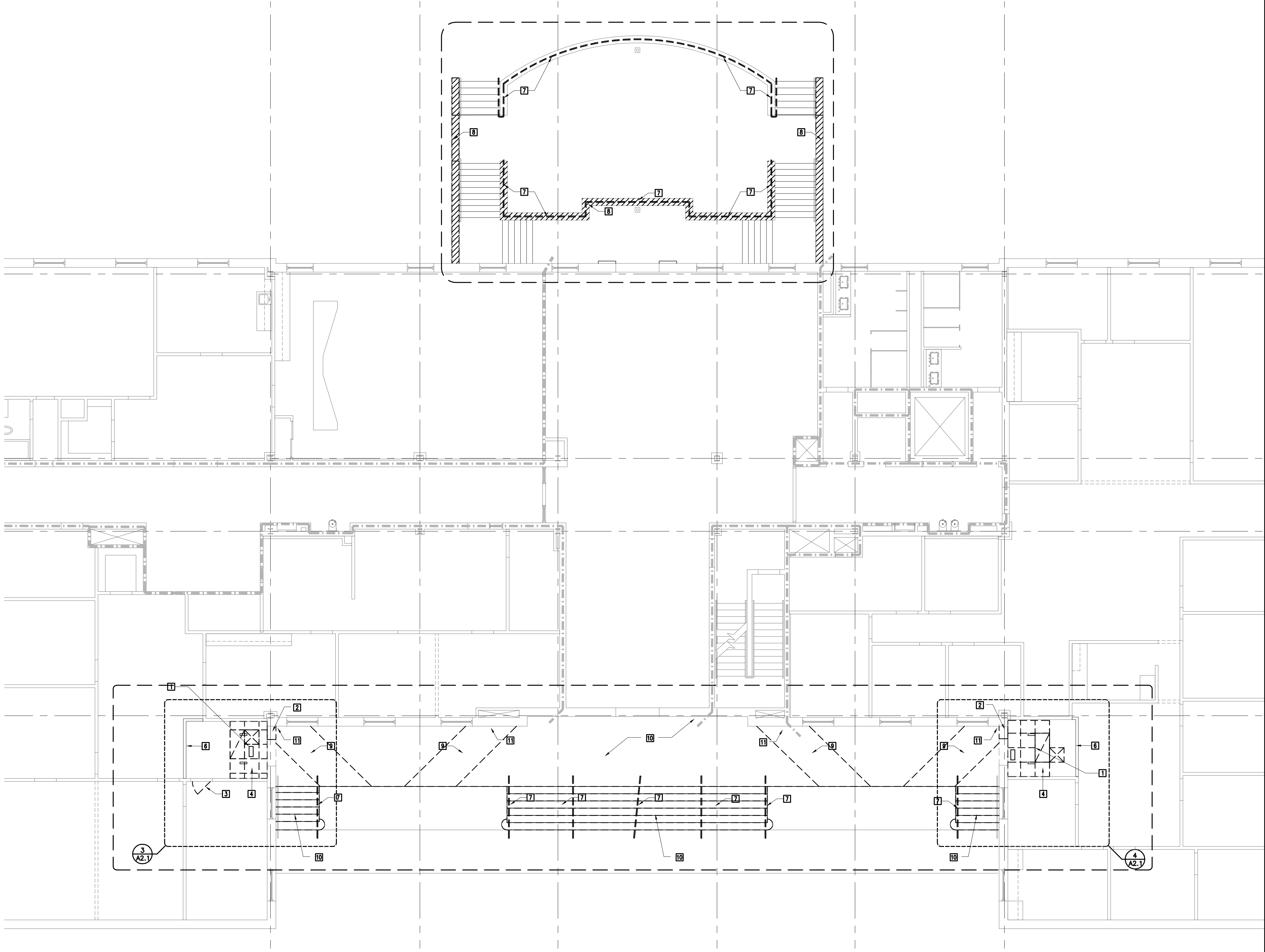
KEYED DEMOLITION NOTES:

1. REMOVE EXISTING CEILING INCLUSIVE OF LIGHT FIXTURES, GRILLES AND ALL OTHER DEVICES ATTACHED TO CEILING GRID OR TILES AS REQUIRED FOR NEW HVAC WORK. SALVAGE ALL REMOVED ITEMS FOR RE-INSTALLATION AFTER NEW WORK IS COMPLETE.
2. REMOVE EXISTING CMU AND BRICK WALL, INCLUSIVE OF METAL DOOR AND FRAME.
3. REMOVE EXISTING DOOR AND FRAME.
4. REMOVE EXISTING WALL BASE, CARPET, ADHESIVE AND PAD (IF ANY). THIS WORK REQUIRES ABATEMENT (MASTIC).
5. REMOVE EXISTING WALL BASE. SALVAGE WALL BASE FOR REUSE IN THIS PROJECT.
6. NEW DUST BARRIER WALL - CONSTRUCTED WITH GWS ON ONE SIDE (JOINTS CAULKED) AND 3'-0" X 7'-0" IN THIS AREA IS COMPLETE AND REPAIR DAMAGED SURFACES.
7. REMOVE EXISTING METAL RAILINGS AS INTACT, CONTINUOUS UNIT. SALVAGE FOR RE-PAINTING AND RE-INSTALLATION AT COMPLETION OF REPAIRS AND NEW WORK.
8. REMOVE EXISTING BRICK COPING.
9. REFER TO STRUCTURAL DRAWINGS FOR EXTENT OF REMOVAL AND REPLACEMENT OF EXISTING CONCRETE PORCH SLAB.
10. REMOVE EXISTING SLATE PAVERS, SLATE STAIR TREADS AND GROUT SETTING BEDS DOWN TO STRUCTURAL CONCRETE. TURN GOOD SLATE OVER TO THE OWNER. DISCARD ALL BROKEN SLATE.
11. EXISTING GUTTERS AND DOWNSPOUT LEADERS TO REMAIN PER DETAIL 3/A4.2. PROVIDE TEMPORARY GUTTER CLOSURES AND DOWNSPOUTS AS REQUIRED TO MAINTAIN INTEGRITY OF ROOF DRAINAGE SYSTEM UNTIL NEW CONSTRUCTION IS COMPLETE.

--- DASHED LINES INDICATE WORK TO BE DEMOLISHED.

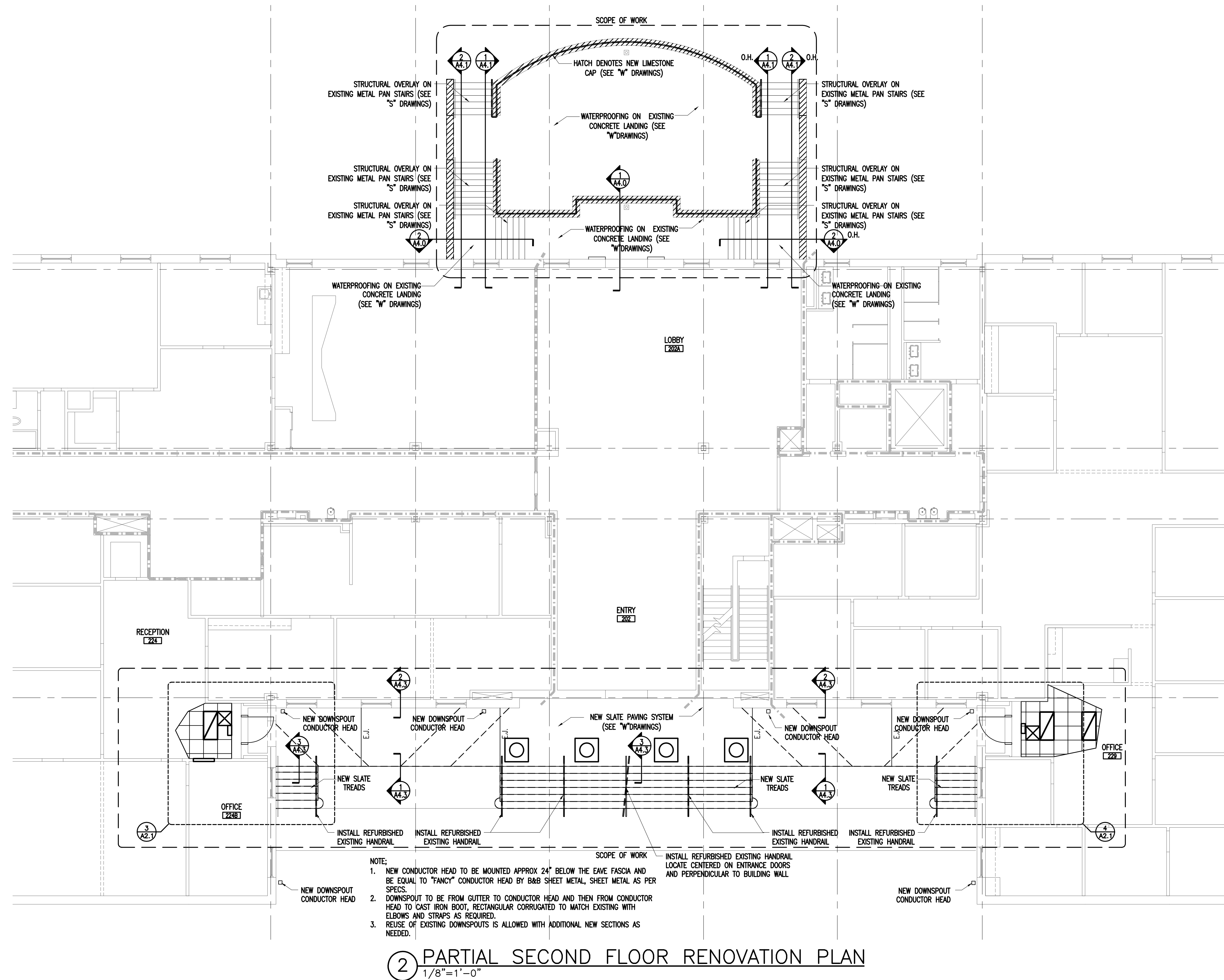
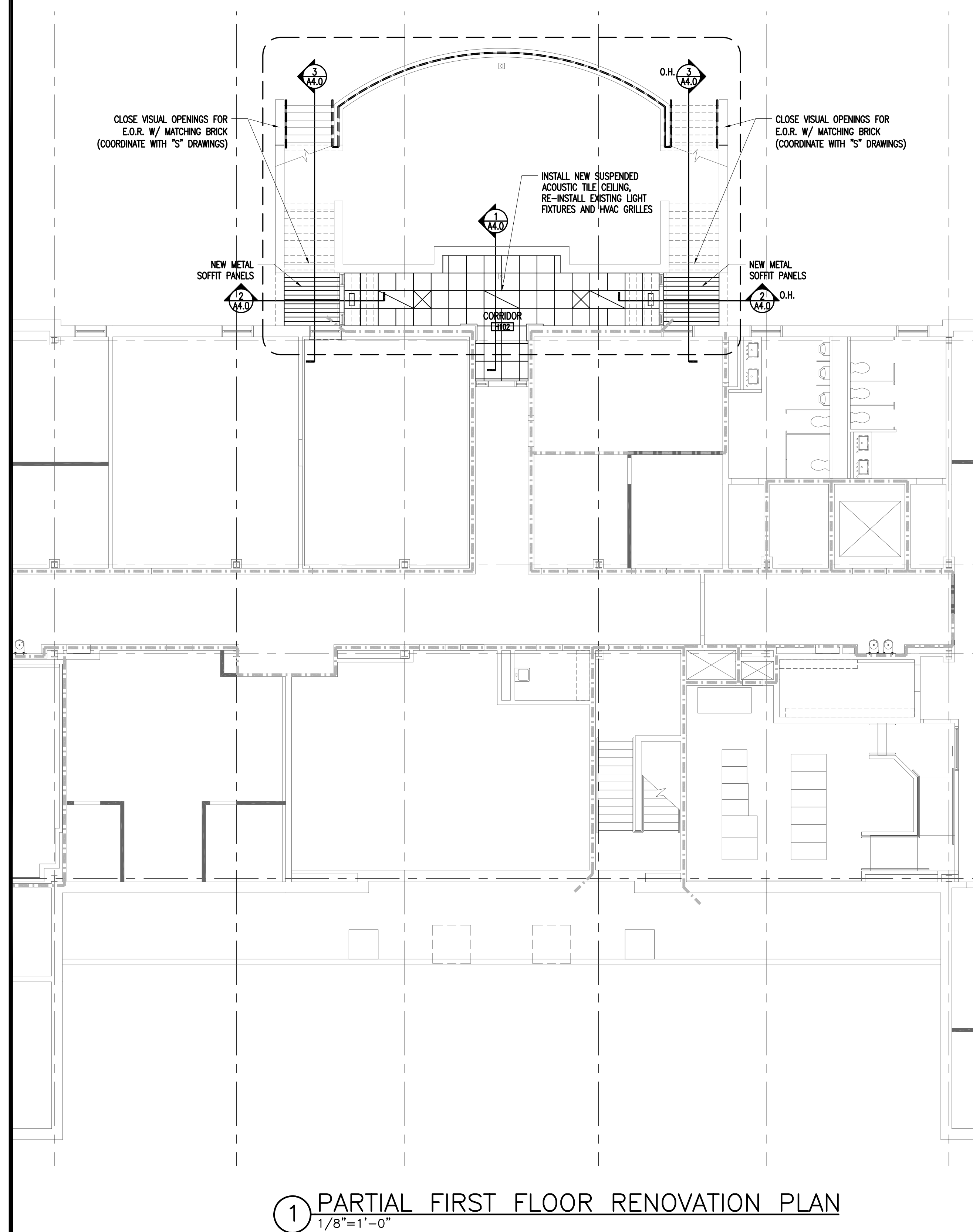
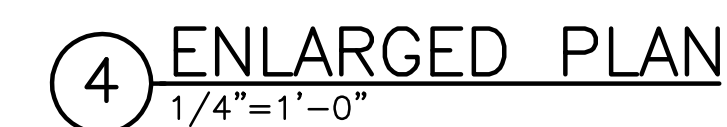


① PARTIAL FIRST FLOOR DEMOLITION PLAN  
1/8"=1'-0"



② PARTIAL SECOND FLOOR DEMOLITION PLAN  
1/8"=1'-0"



[illegible]

② PARTIAL SECOND FLOOR RENOVATION PLAN  
1/8"=1'-0"





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*consultants*



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Fax 864.609.5344

OWNER



UNIVERSITY OF SOUTH CAROLINA  
FACILITIES OFFICE  
743 GREENE STREET  
COLUMBIA, SC 29208

project name/number

UPSTATE ADMINISTRATION  
BUILDING REPAIRS AND  
RENOVATIONS - REBID  
H34-9541-JV-B

project number  
11049.03

seals/signature

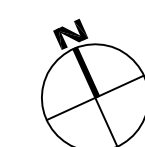
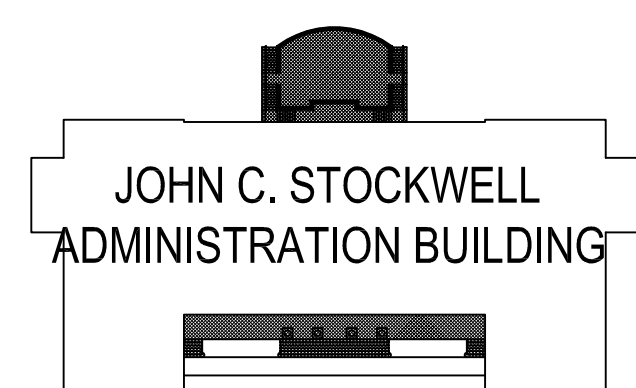
*issued for*

issued for  
CONSTRUCTION DOCUMENTS

date  
OCTOBER 23, 2015

[illegible]

*key plan*



sheet title  
**NORTH PORCH STAIR SECTIONS**

sheet number

## A4.0

drawn by RTO  
checked by TMV

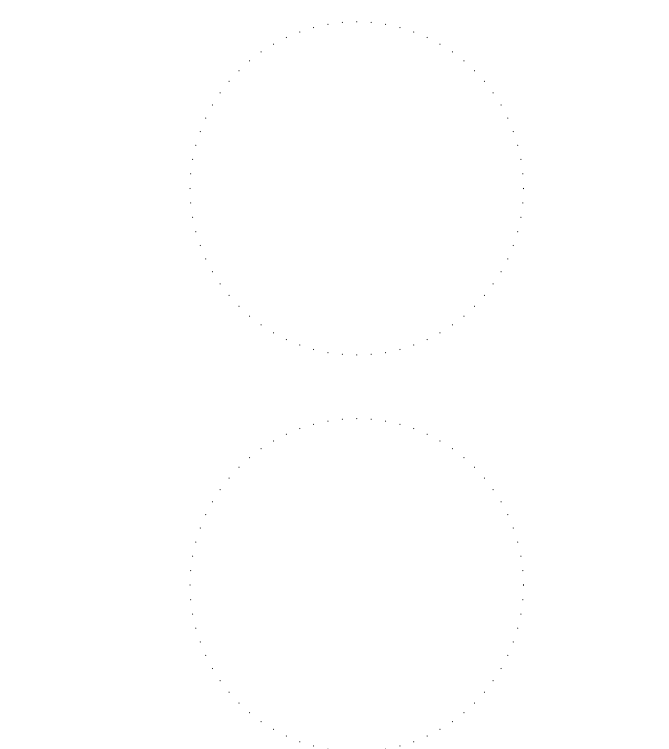


### 3 COPING/CAP DETAILS

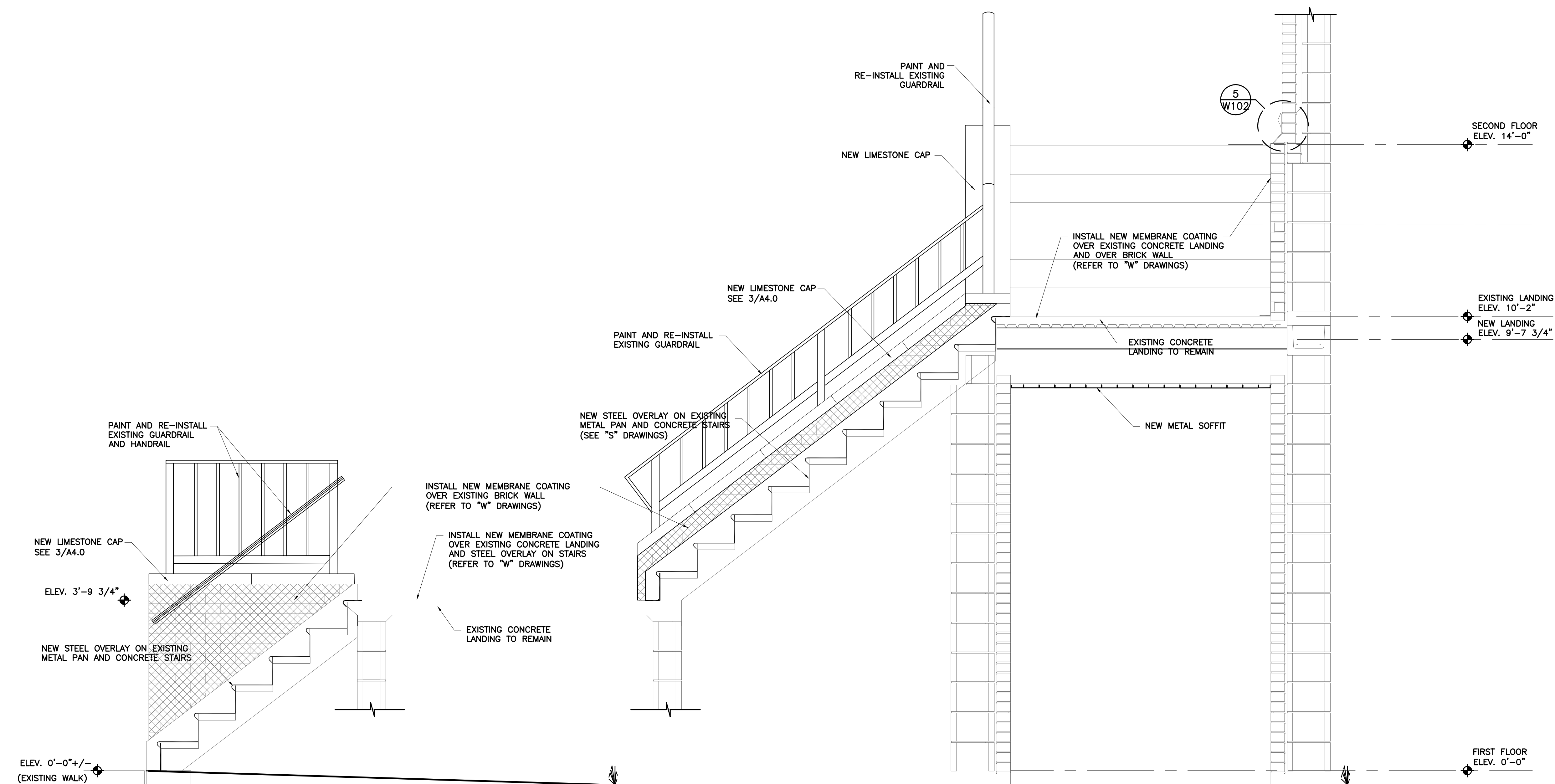
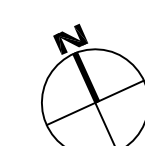
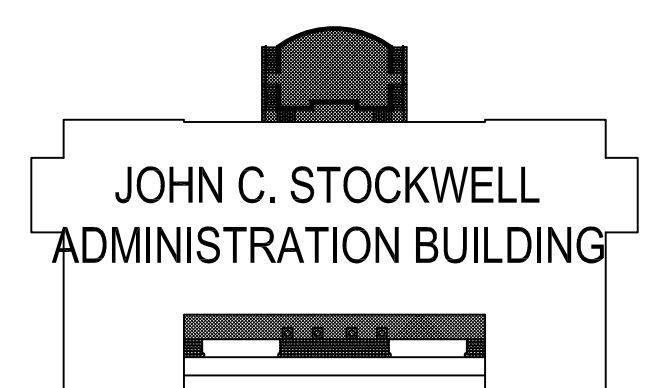
1 SECTION AT SECOND FLOOR LANDING  
3/4"=1'-0"

② SECTION AT INTERMEDIATE LANDING  
3/4"=1'-0"



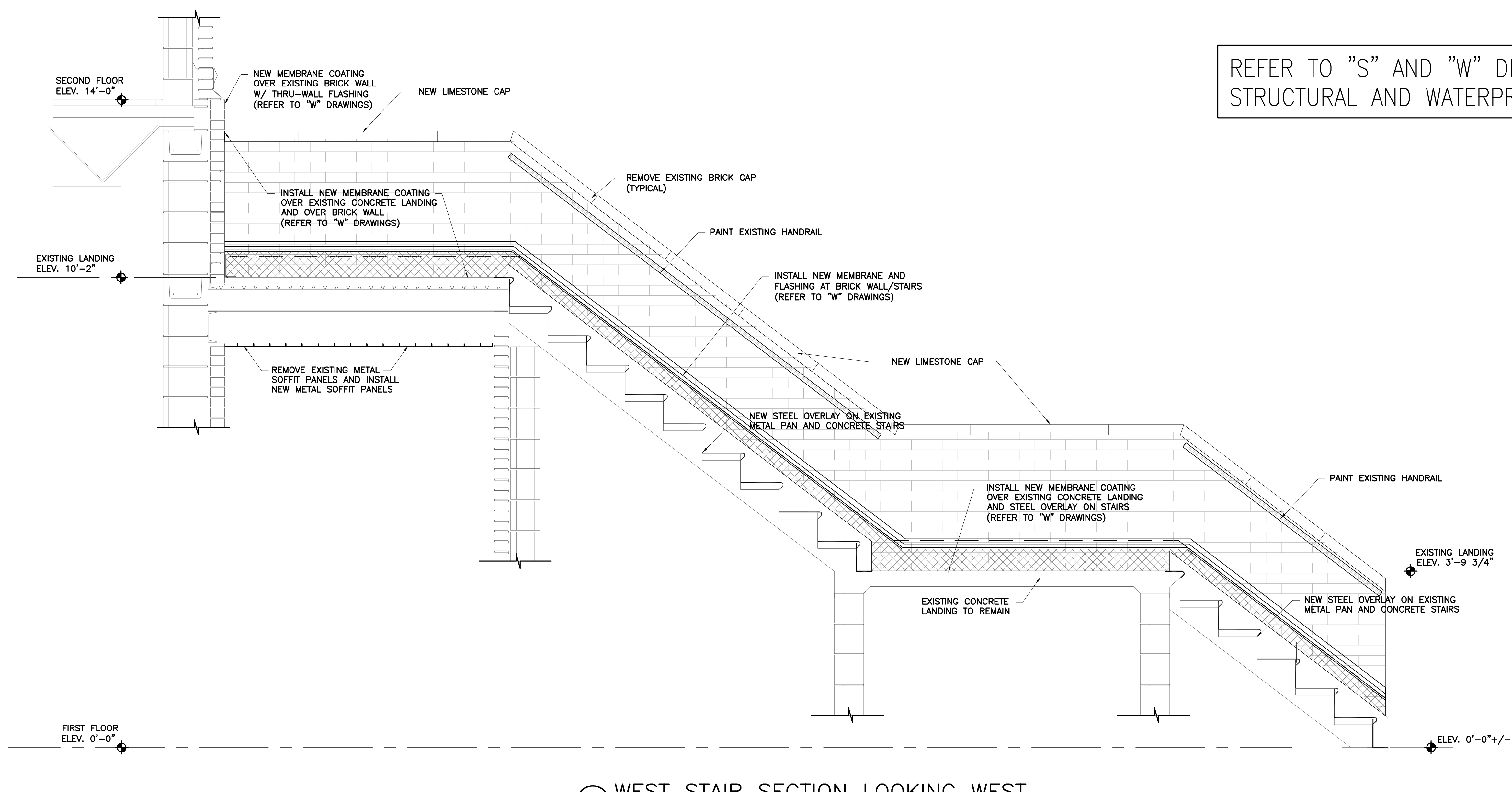


number	item	date



① WEST STAIR SECTION LOOKING EAST  
3/4"=1'-0"

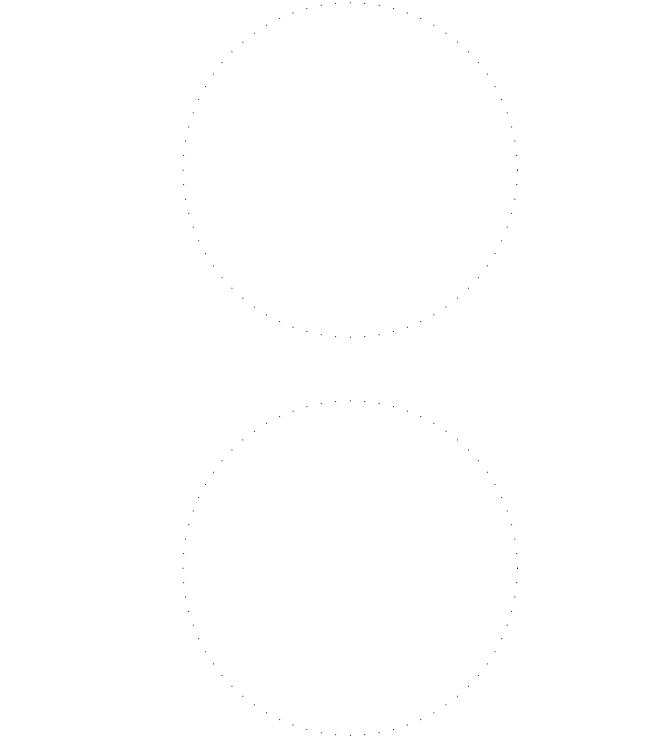
REFER TO "S" AND "W" DRAWINGS FOR  
STRUCTURAL AND WATERPROOFING DETAILS.



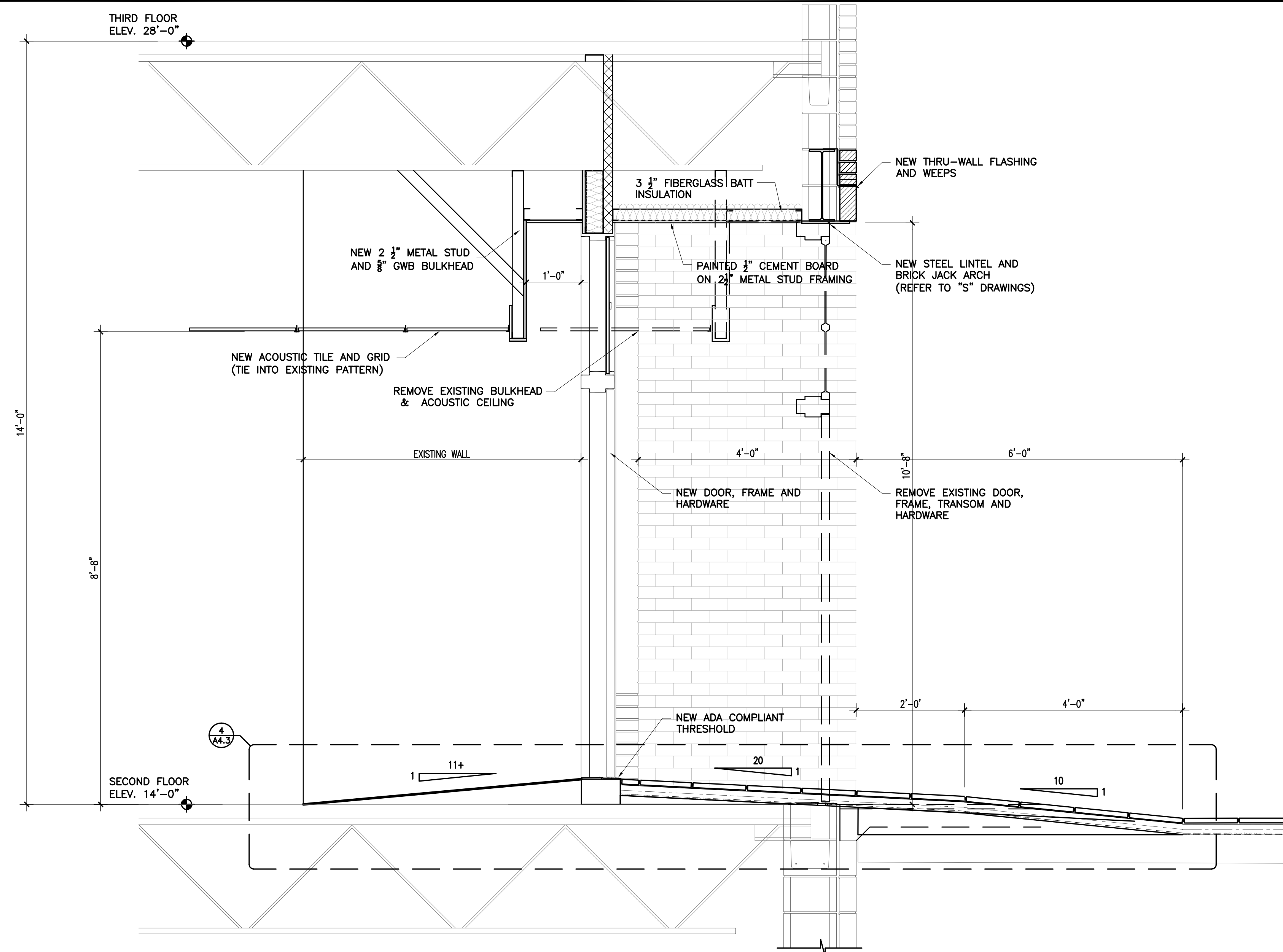
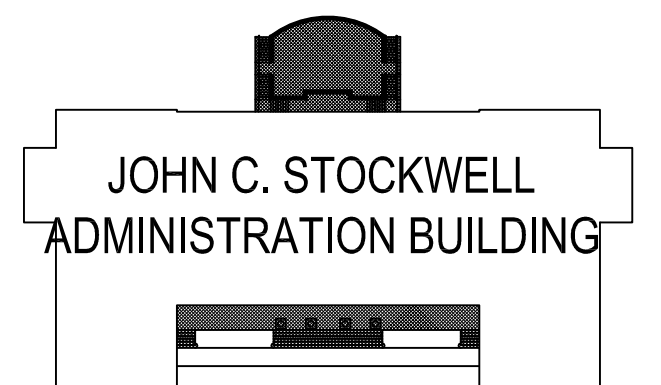
② WEST STAIR SECTION LOOKING WEST  
3/4"=1'-0"

[ EAST STAIR SECTIONS ARE  
MIRRORED AND IDENTICAL ]

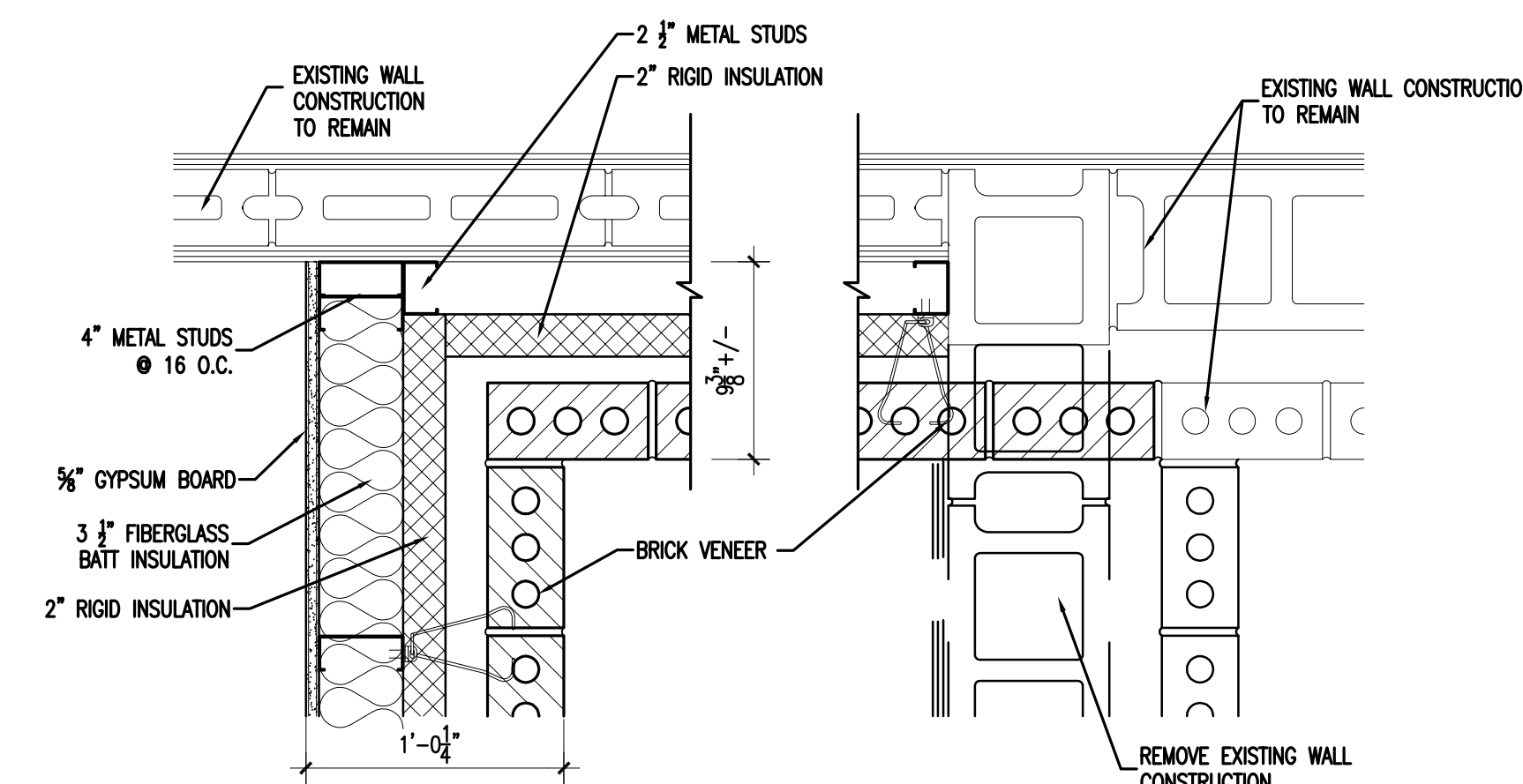




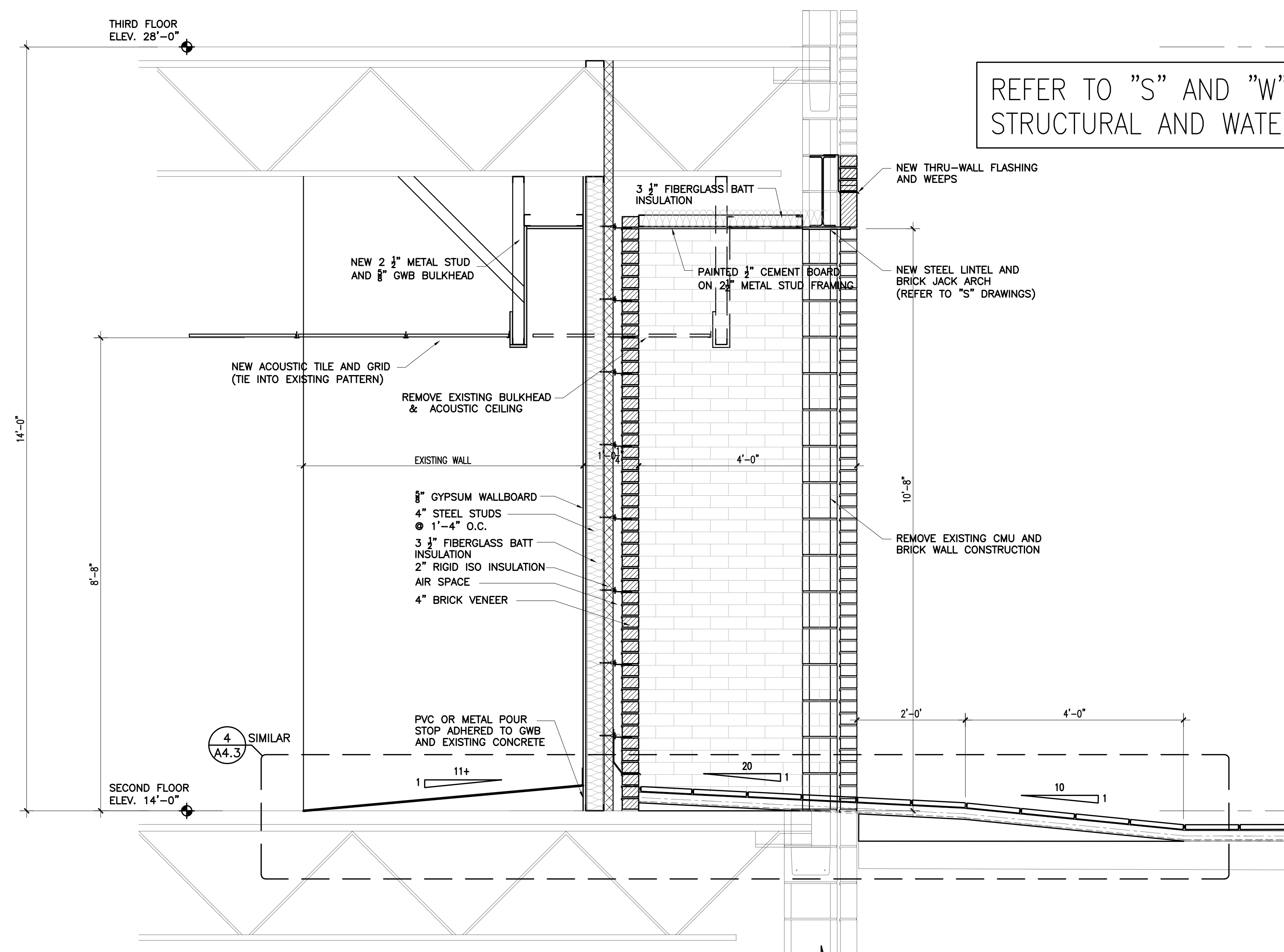
number	item	date



1 PARTIAL SECTION THRU DOOR  
3/4"=1'-0"

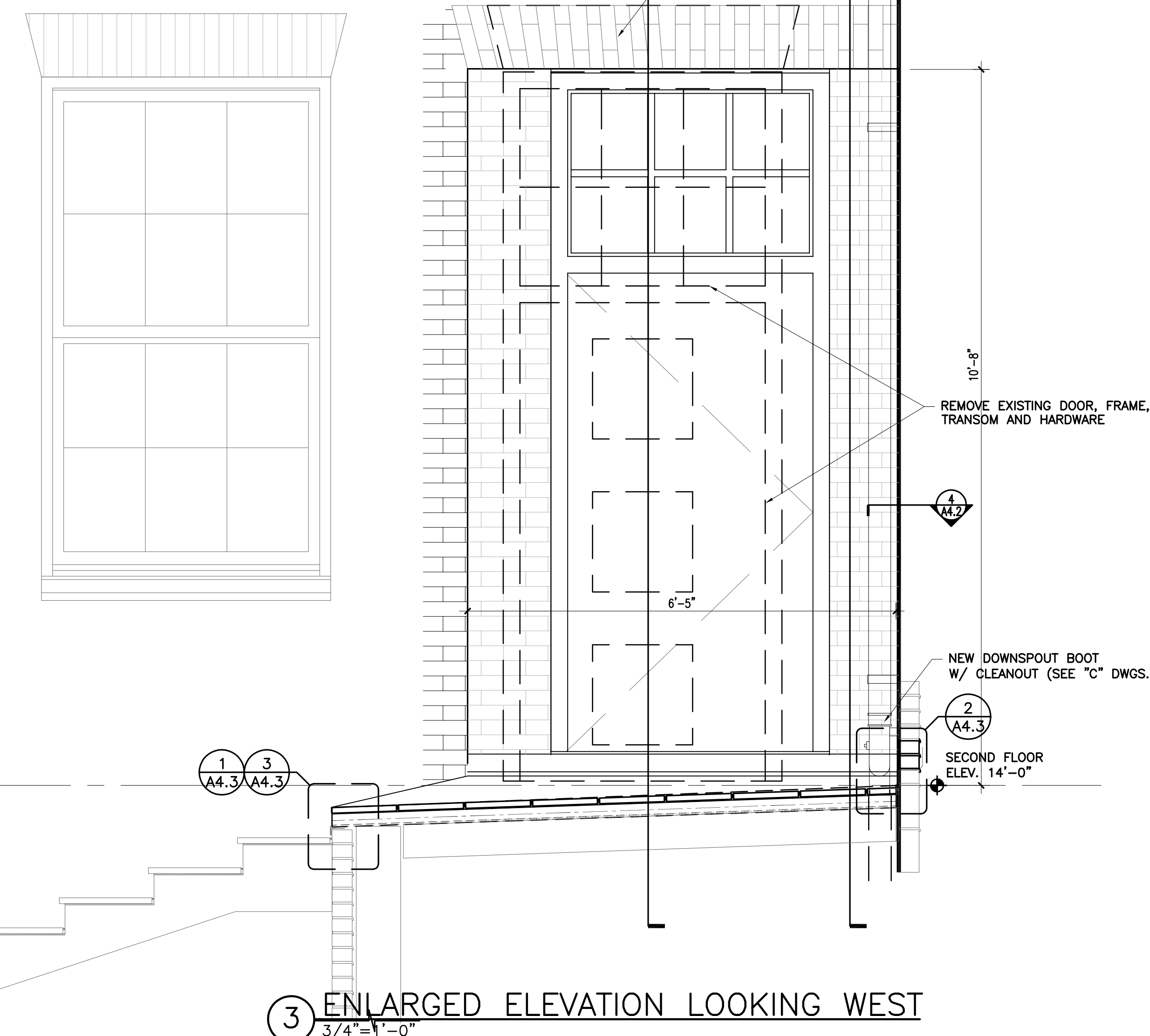


4 PLAN DETAIL AT EXISTING WALL  
1 1/2"=1'-0"



2 PARTIAL SECTION THRU WALL  
3/4"=1'-0"

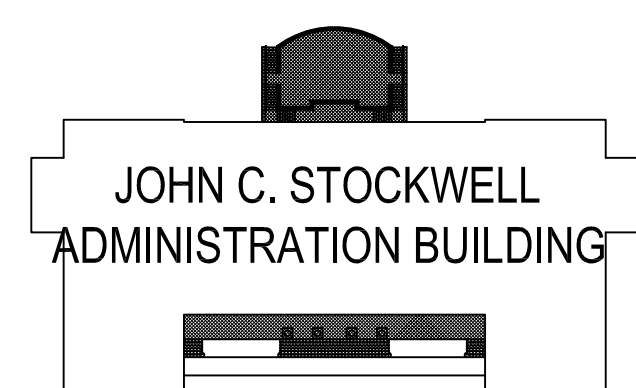
REFER TO "S" AND "W" DRAWINGS FOR  
STRUCTURAL AND WATERPROOFING DETAILS.



3 ENLARGED ELEVATION LOOKING WEST  
3/4"=1'-0"



number	item	date



① ENLARGED DETAIL AT PORCH WALL  
3"=1'-0"

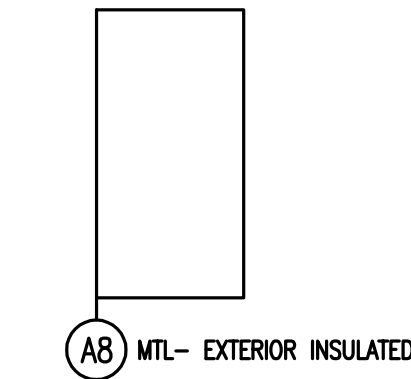
② ENLARGED DETAIL AT BUILDING WALL  
3"=1'-0"

③ ENLARGED DETAIL AT PORCH STEPS  
3"=1'-0"

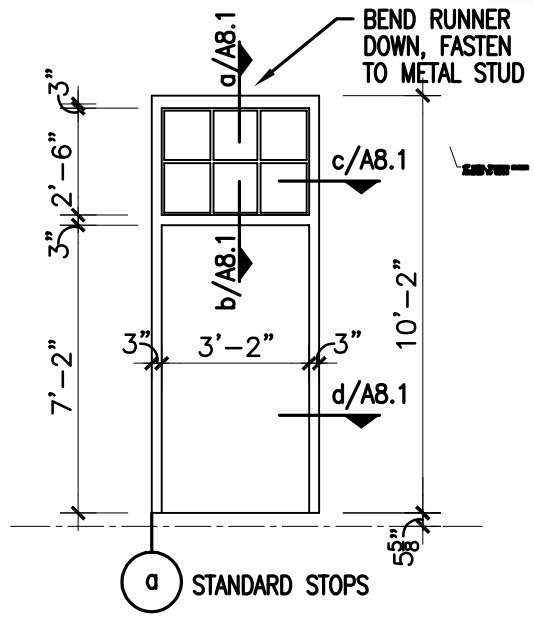
③ ENLARGED DETAIL AT RECESSED DOORS  
3"=1'-0"

REFER TO "S" AND "W" DRAWINGS FOR  
STRUCTURAL AND WATERPROOFING DETAILS.

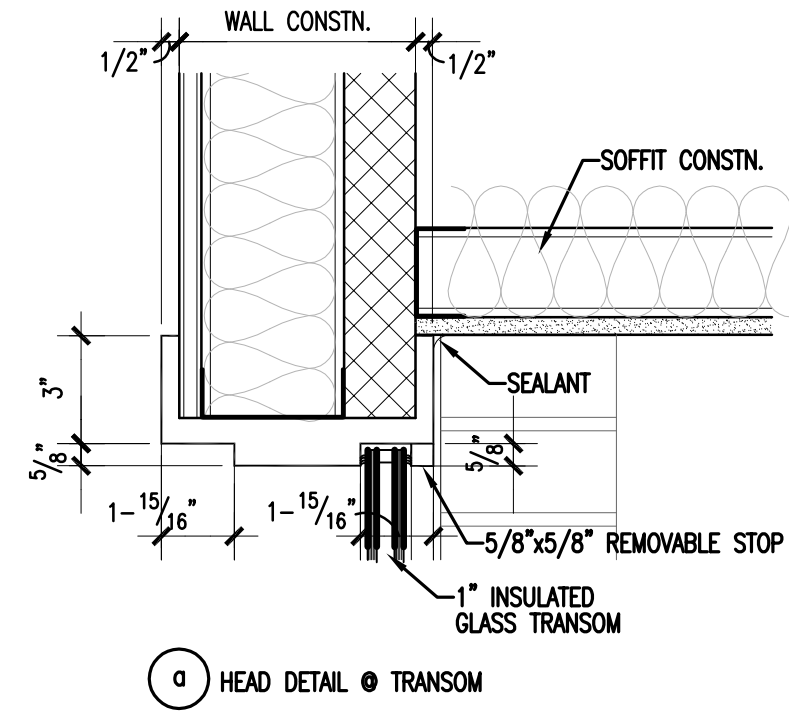




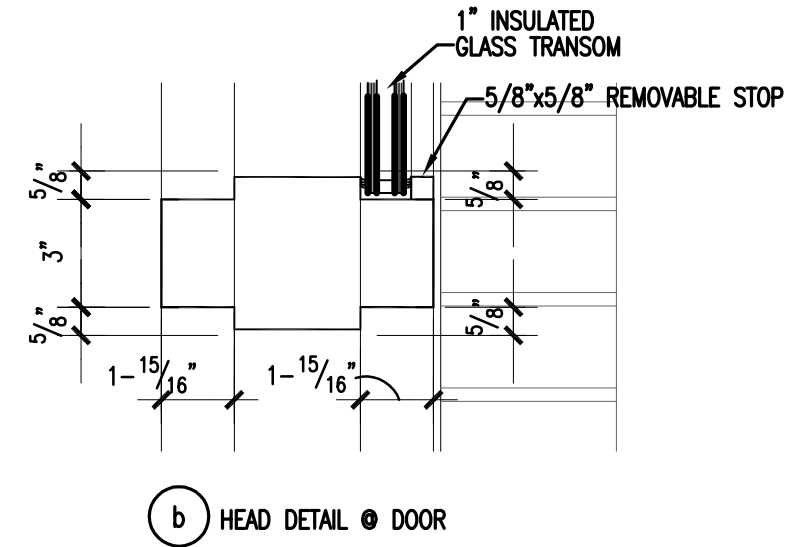
1 DOOR TYPES



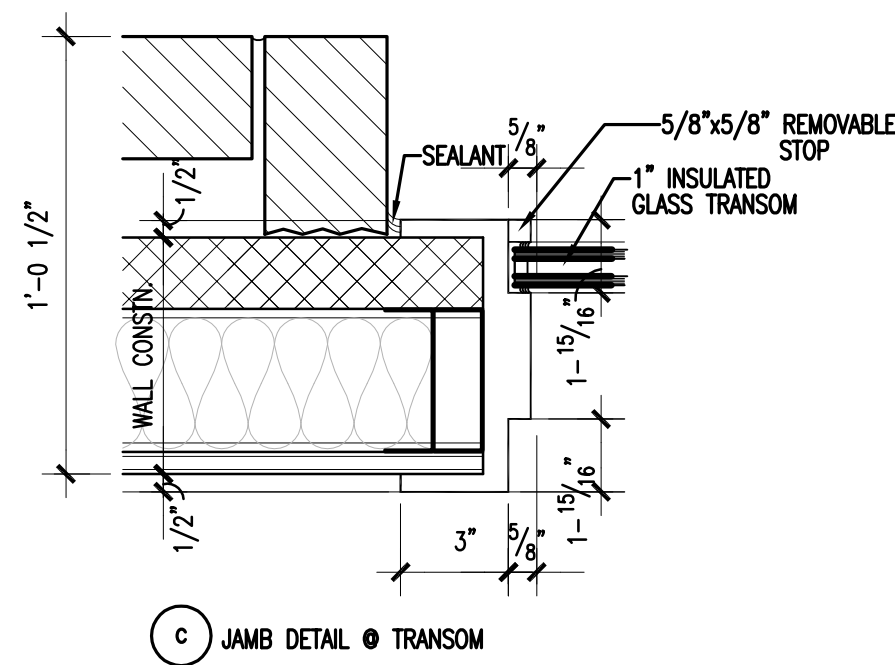
2 FRAME TYPES



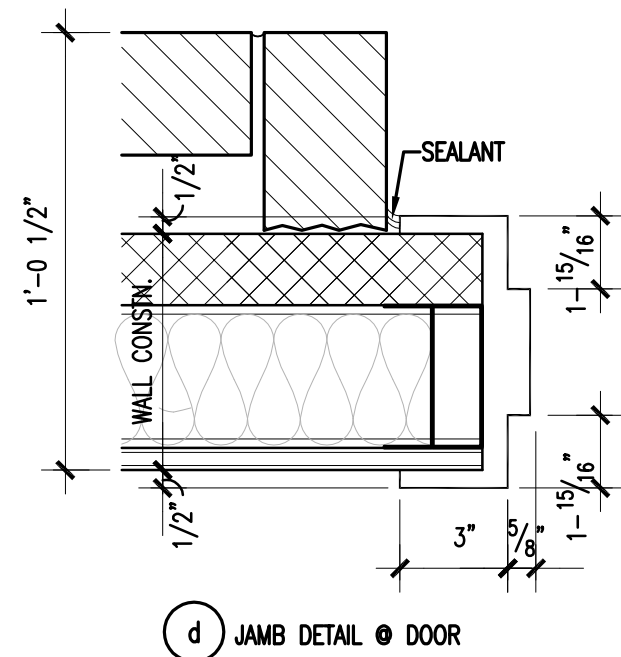
a HEAD DETAIL • TRANSOM



b HEAD DETAIL • DOOR

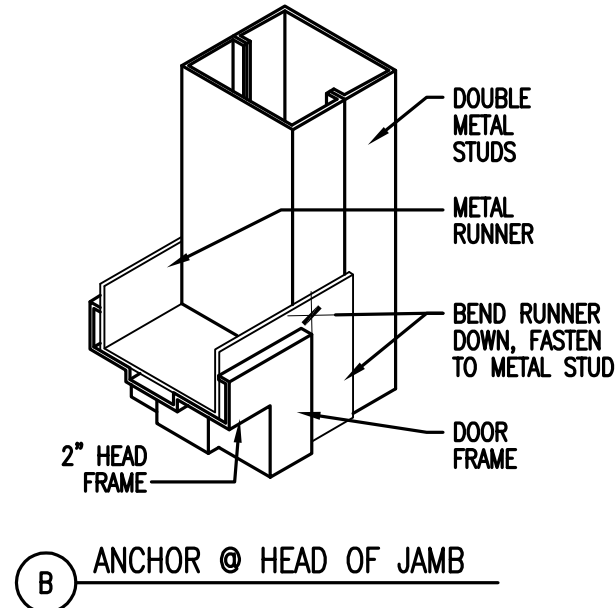


c JAMB DETAIL • TRANSOM

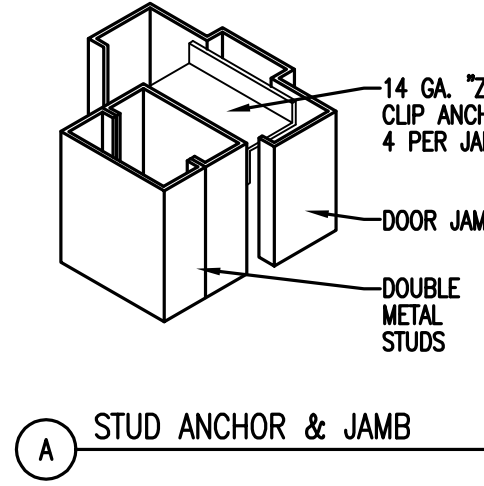


d JAMB DETAIL • DOOR

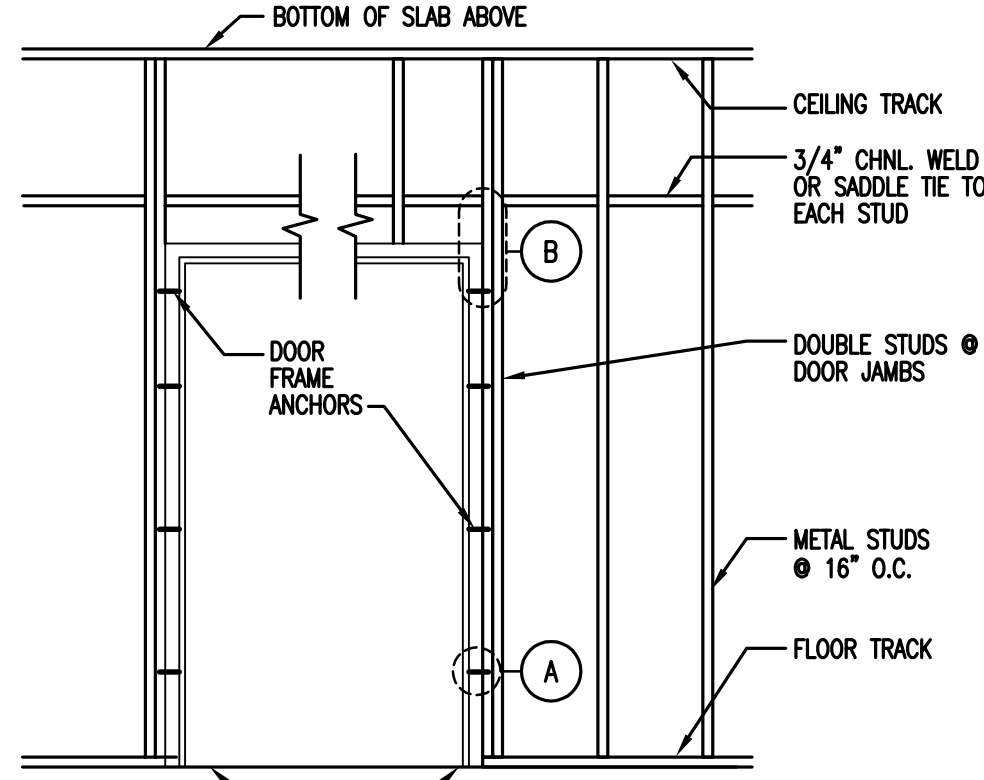
4 HEAD/JAMB DETAILS



B ANCHOR • HEAD OF JAMB



A STUD ANCHOR & JAMB



ELEVATION/SECTION

NOTE:  
LOCATE JAMB ANCHORS ABOVE  
HINGE REINF. AND JUST BELOW  
TOP REINF. CLIPS ON STRIKE SIDE  
OCCUR DIRECTLY OPPOSITE OF  
THOSE ON THE HINGE SIDE.

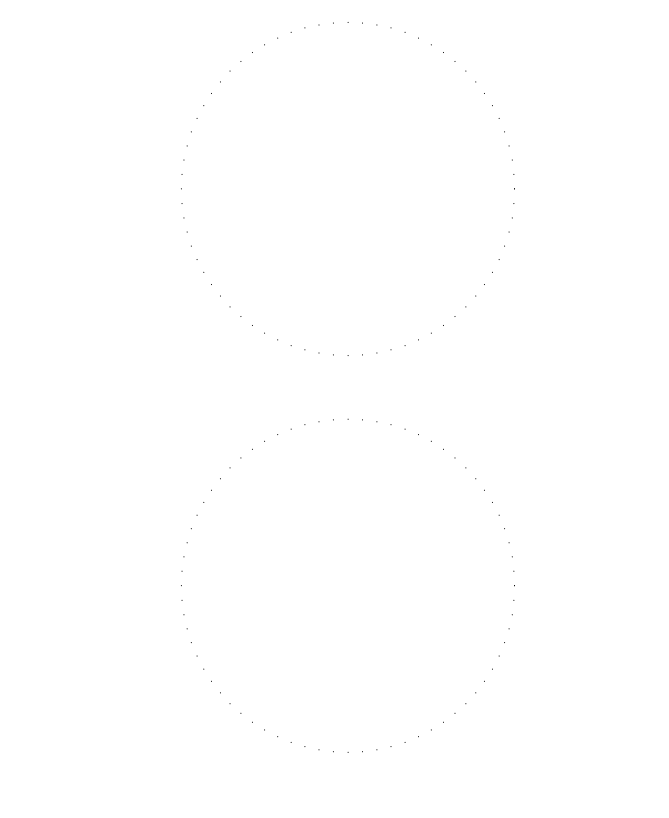
3 TYPICAL FRAMING  
AT H.M. DOOR FRAMES

ROOM FINISH SCHEDULE									
ROOM NUMBER	ROOM NAME	FLOOR		BASE	WALLS		CEILING		REMARKS
		FINISH	ACCENT		FINISH	ACCENT	FINISH	ACCENT	
H102	CORRIDOR	EX	—	—	PNT	—	ACT	—	PTD. EXPOSED CMU WALLS
224	RECEPTION	CARPET	—	WD	GYP/PNT	—	ACT	—	PTD. GYPBD. CEILING BULKHEAD
229	OFFICE	CARPET	—	WD	GYP/PNT	—	ACT	—	PTD. GYPBD CEILING BULKHEAD

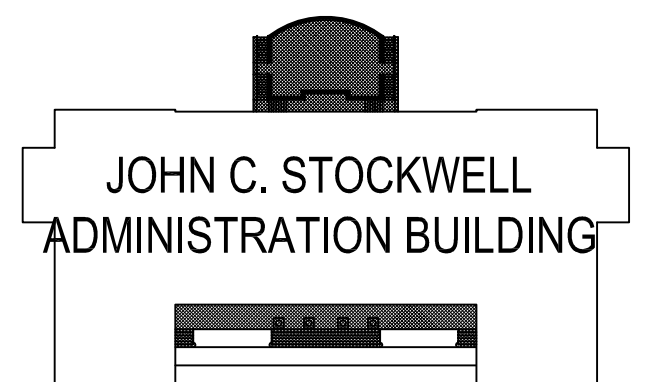
FINISH LEGEND:  
ACT = ACOUSTICAL CEILING TILE  
RB = RUBBER BASE  
PNT = PAINT  
CPT = CARPET  
GYP = GYPSUM BOARD  
WD = WOOD

FINISH NOTES:  
1. CUT AND REMOVE EXISTING CARPET AS REQUIRED FOR NEW CONSTRUCTION. REMAINING CARPET TO REMAIN IN PLACE AND PROTECTED TO PREVENT DAMAGE DURING CONSTRUCTION.

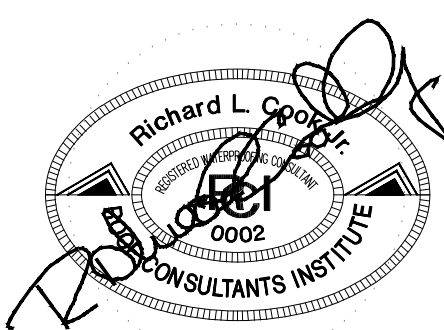
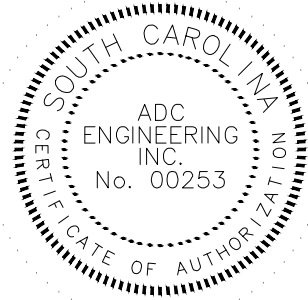
DOOR SCHEDULE						REMARKS
ROOM NAME	DOOR NUMBER	DOOR ELEV	DOOR SIZE	FRAME ELEV		
RECEPTION 224	01	A8	3'-8" X 7'-2"	a		NEW DOOR, FRAME, HDWR. AND ADA THRESHOLD
OFFICE 229	02	A8	3'-8" X 7'-2"	a		NEW DOOR, FRAME, HDWR. AND ADA THRESHOLD



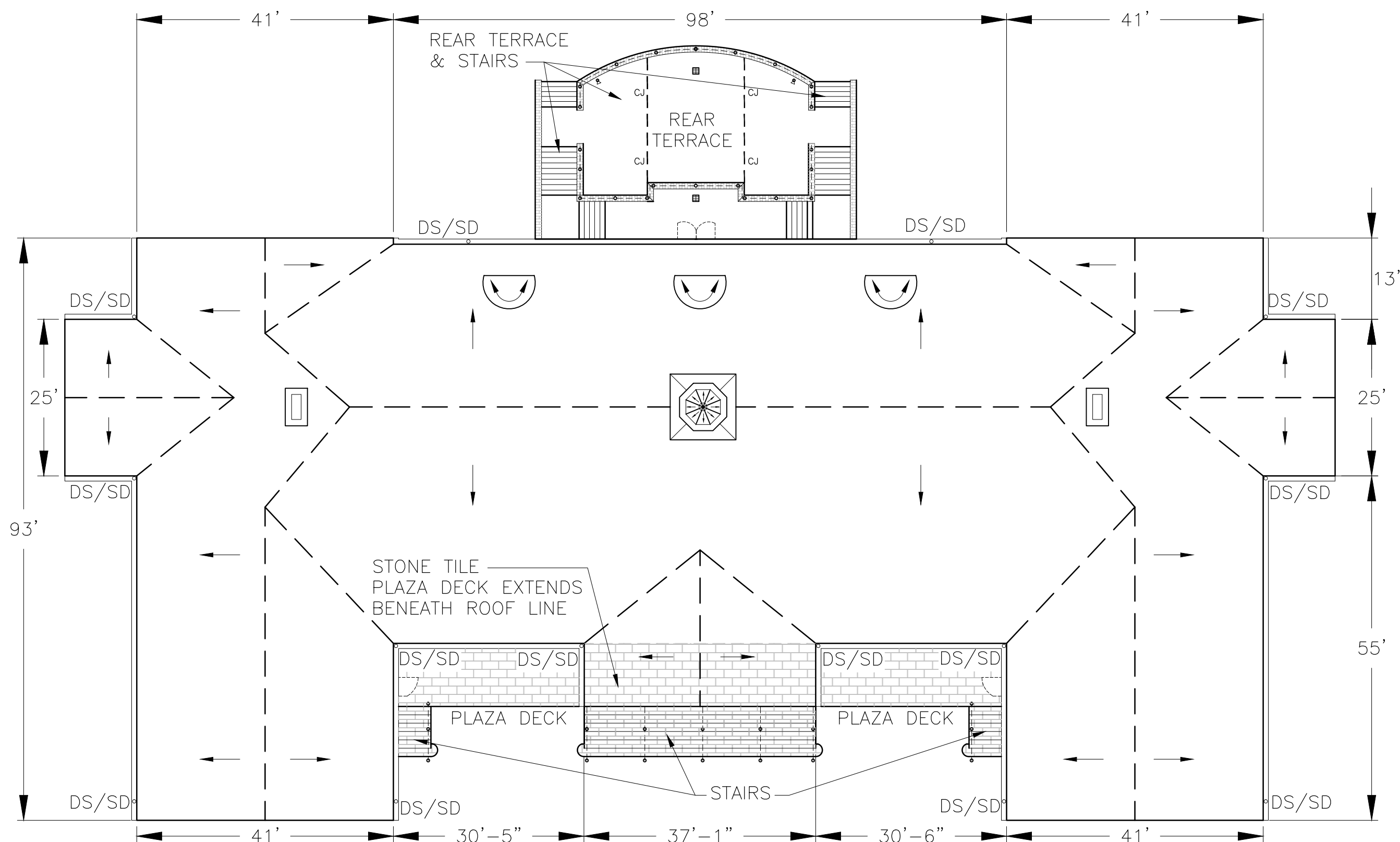
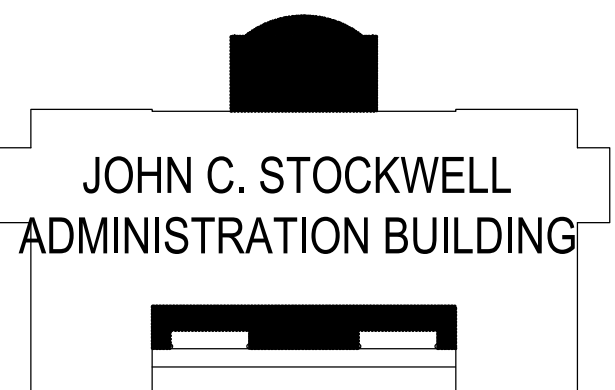
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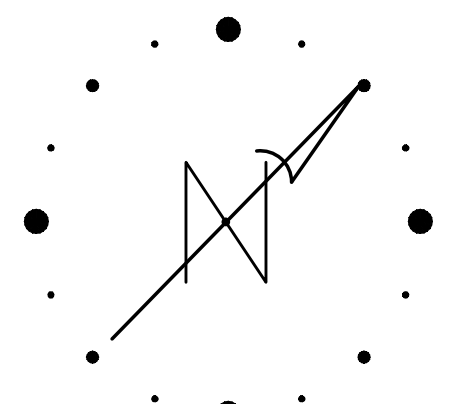




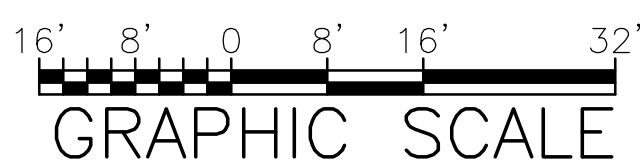
number	item	date



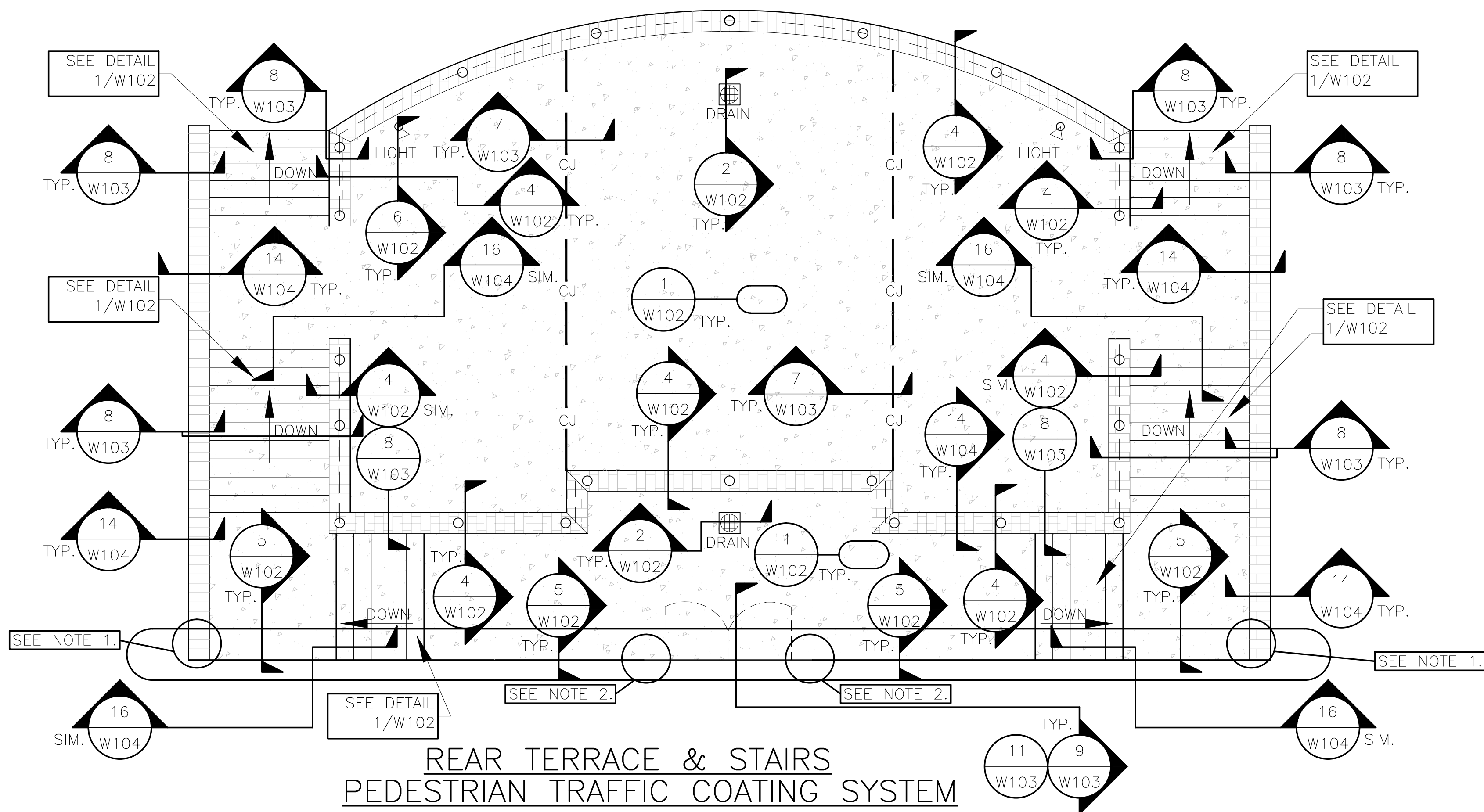
OVERALL EXISTING PLAN



PLAN NORTH



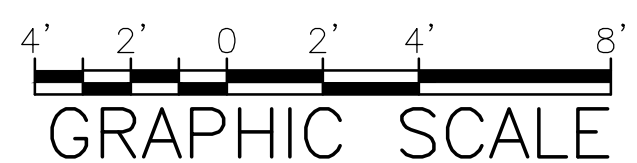
GRAPHIC SCALE



REAR TERRACE & STAIRS  
PEDESTRIAN TRAFFIC COATING SYSTEM

NOTES:

1. THRU-WALL FLASHING TO EXTEND A MINIMUM OF 6" BEYOND OUTSIDE EDGE OF WALL TERMINATION AND AT ALL PERIMETER BRICK CONDITIONS AT REAR TERRACE INTO MAIN BUILDING.
2. DECORATIVE TRIM AROUND DOORS AND AT COLUMNS TO BE REMOVED, MODIFIED TO RECEIVE THRU-WALL FLASHING SYSTEM AND REPLACED. SEE DETAIL 10/W103 FOR THRU-WALL FLASHING REQUIREMENTS.
3. REMOVE EYE BOLTS, ELECTRICAL CONDUIT, LIGHTS, AND OTHER ACCESSORIES TO COMPLETE THE WORK AND REINSTALL AFTER COMPLETION.
4. ALL MASONRY WALL CONTROL / EXPANSION JOINTS OF THE ENTIRE BUILDING TO BE REPLACED IN ACCORDANCE WITH DETAIL 19/W105. INCLUDE IN THE BIDS FOR THE WORK, THE FOLLOWING EXISTING SEALANT QUANTITIES: 92 WINDOWS AT 48" X 96" OPENING SIZE, 12 DOORS AT 96" X 72" OPENING SIZE AND 18 VERTICAL BRICK CONTROL JOINTS 42'-0" LONG. 6 LOCATIONS FOR VERTICAL BRICK JOINTS REQUIRE REMOVAL AND REINSTALLATION OF THE EXISTING DOWNSPOUT TO ACCESS THE CONCEALED JOINT.
5. REMOVE AND REPLACE ALL EXTERIOR SEALANT JOINTS AROUND ALL FENESTRATION (WINDOWS, DOORS, ETC.) AND ALL PENETRATIONS OF THE ENTIRE BUILDING ARE TO BE REPLACED IN ACCORDANCE WITH DETAILS 19/W105 & 20/W105.
6. ALL WORK SHOWN IN DETAILS TO BE CONSIDERED "NEW" UNLESS NOTED "EXISTING".

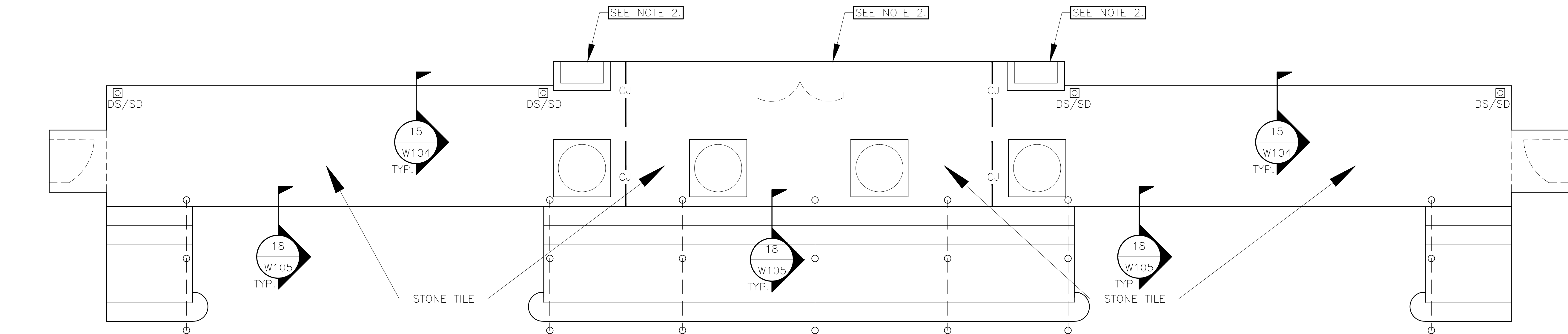
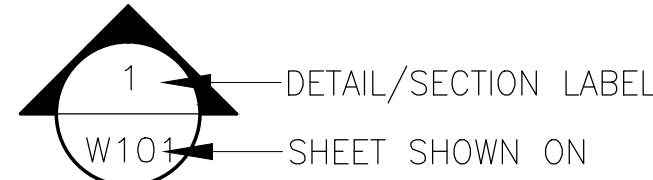


GRAPHIC SCALE

LEGEND	
	GUTTER W/ DOWNSPOUT TO STORM DRAIN
	CHIMNEY
	CUPOLA
	BRICK PARAPET WALL
	CONTROL JOINT
	HAND RIAL
	DOUBLE DOOR
	SINGLE DOOR
	STAIRS
	CONCRETE HATCH
	SLATE HATCH
	LIGHT PENETRATION
	SHINGLE DORMER
	DRAIN
	EXTENT OF THRU-WALL FLASHING WORK

ABBREVIATIONS	
A	ABANDONED
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
BIA	BRICK INDUSTRY ASSOCIATION
DS	DOWNSPOUT
EPDM	SINGLE PLY
ETC	ET CETERA
HVAC	HEAT/VENTILATION/AIR CONDITION
LB	POUND
MAX	MAXIMUM
MIN	MINIMUM
N.I.C.	NOT IN CONTRACT
NRCA	NATIONAL ROOFING CONTRACTORS ASSOCIATION
O.C.	ON CENTER
OSHA	OCCUPATIONAL SAFETY AND HEALTH ASSOCIATION
PVC	POLYVINYLCHLORIDE
RD	ROOF DRAIN
SMACNA	SHEET METAL AND AIR CONDITIONING CONTRACTORS ASSOCIATION, INC.
SWRI	SEALANT WATERPROOFING RESTORATION INSTITUTE
TYP	TYPICAL
VTR	VENT THRU ROOF
W/	WITH

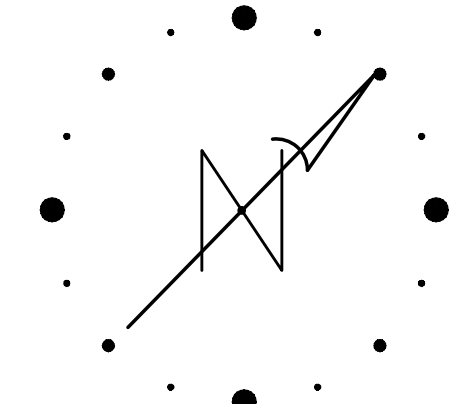
DETAILS/SECTION IDENTIFIER



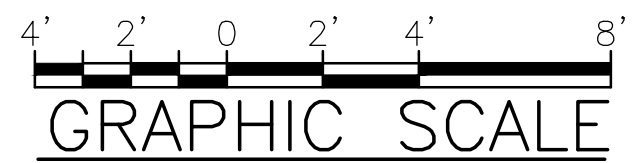
FRONT PLAZA DECK & STAIRS  
BITUMEN BASED WATERPROOFING SYSTEM

NOTES:

1. REPLACE THRESHOLD AND TRIM AND CENTER ENTRY DOOR.
2. DECORATIVE TRIM AROUND DOORS AND AT COLUMNS TO BE REMOVED, MODIFIED TO RECEIVE THRU-WALL FLASHING SYSTEM AND REPLACED. SEE DETAIL 10/W103 FOR THRU-WALL FLASHING REQUIREMENTS.
3. REMOVE EYE BOLTS, ELECTRICAL CONDUIT, LIGHTS, AND OTHER ACCESSORIES TO COMPLETE THE WORK AND REINSTALL AFTER COMPLETION.
4. ALL MASONRY WALL CONTROL / EXPANSION JOINTS OF THE ENTIRE BUILDING TO BE REPLACED IN ACCORDANCE WITH DETAIL 19/W105. INCLUDE IN THE BIDS FOR THE WORK, THE FOLLOWING EXISTING SEALANT QUANTITIES: 92 WINDOWS AT 48" X 96" OPENING SIZE, 12 DOORS AT 96" X 72" OPENING SIZE AND 18 VERTICAL BRICK CONTROL JOINTS 42'-0" LONG. 6 LOCATIONS FOR VERTICAL BRICK JOINTS REQUIRE REMOVAL AND REINSTALLATION OF THE EXISTING DOWNSPOUT TO ACCESS THE CONCEALED JOINT.
5. REMOVE AND REPLACE ALL EXTERIOR SEALANT JOINTS AROUND ALL FENESTRATION (WINDOWS, DOORS, ETC.) AND ALL PENETRATIONS OF THE ENTIRE BUILDING ARE TO BE REPLACED IN ACCORDANCE WITH DETAILS 19/W105 & 20/W105.
6. ALL WORK SHOWN IN DETAILS TO BE CONSIDERED "NEW" UNLESS NOTED "EXISTING".

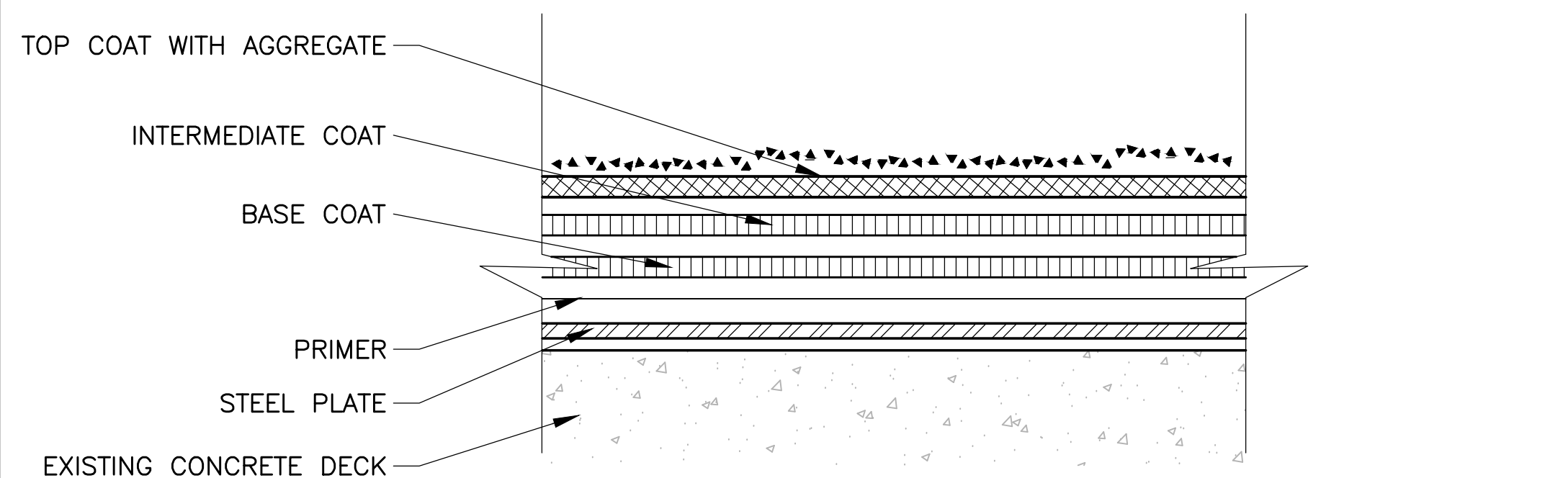


PLAN NORTH

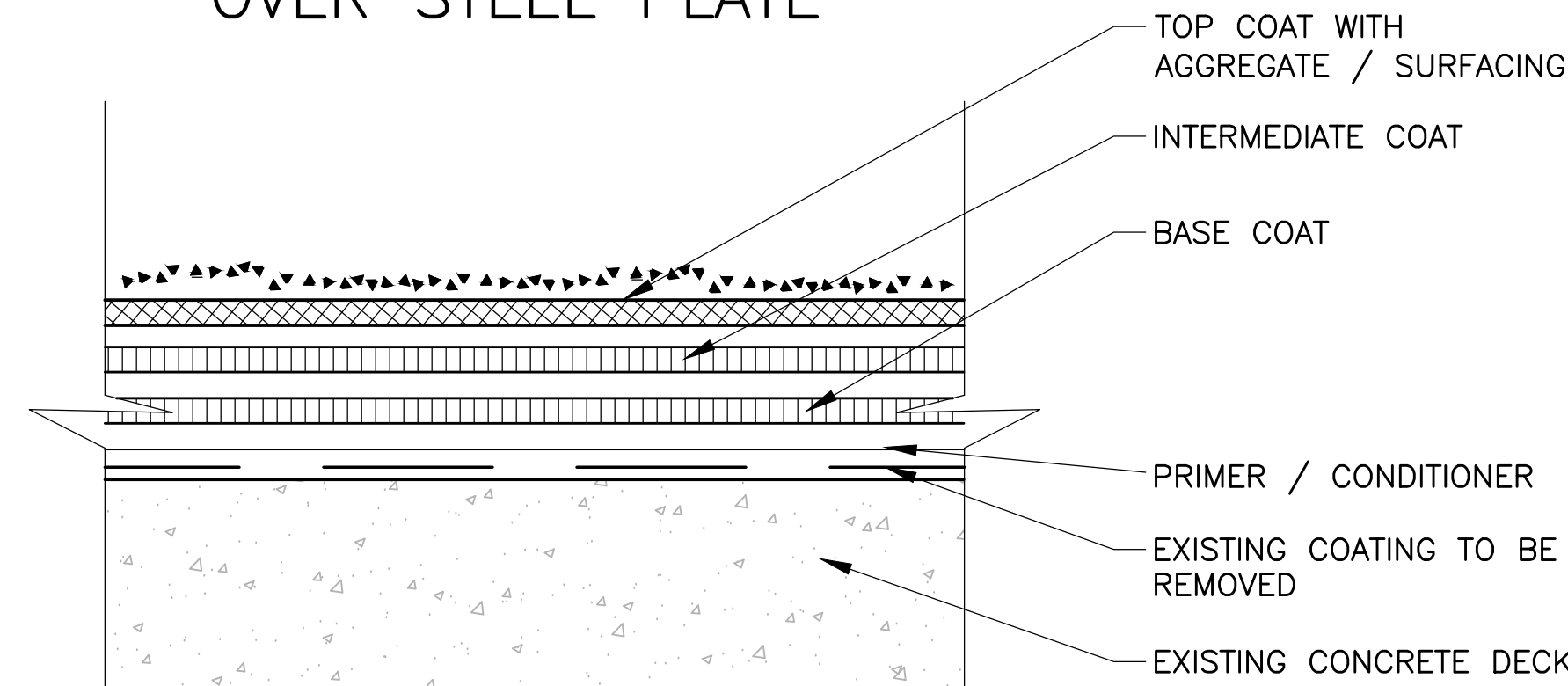


GRAPHIC SCALE





PEDESTRIAN TRAFFIC COATING SYSTEM  
OVER STEEL PLATE

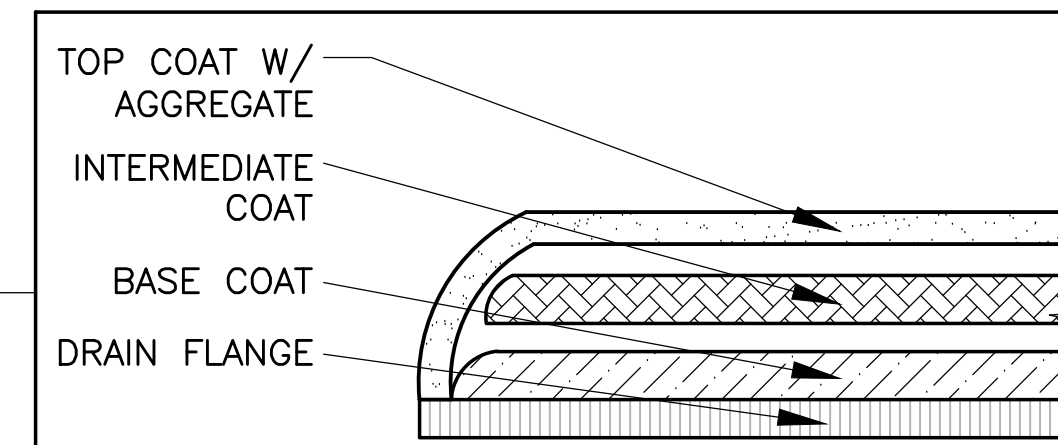


PEDESTRIAN TRAFFIC COATING SYSTEM  
OVER EXISTING CONCRETE

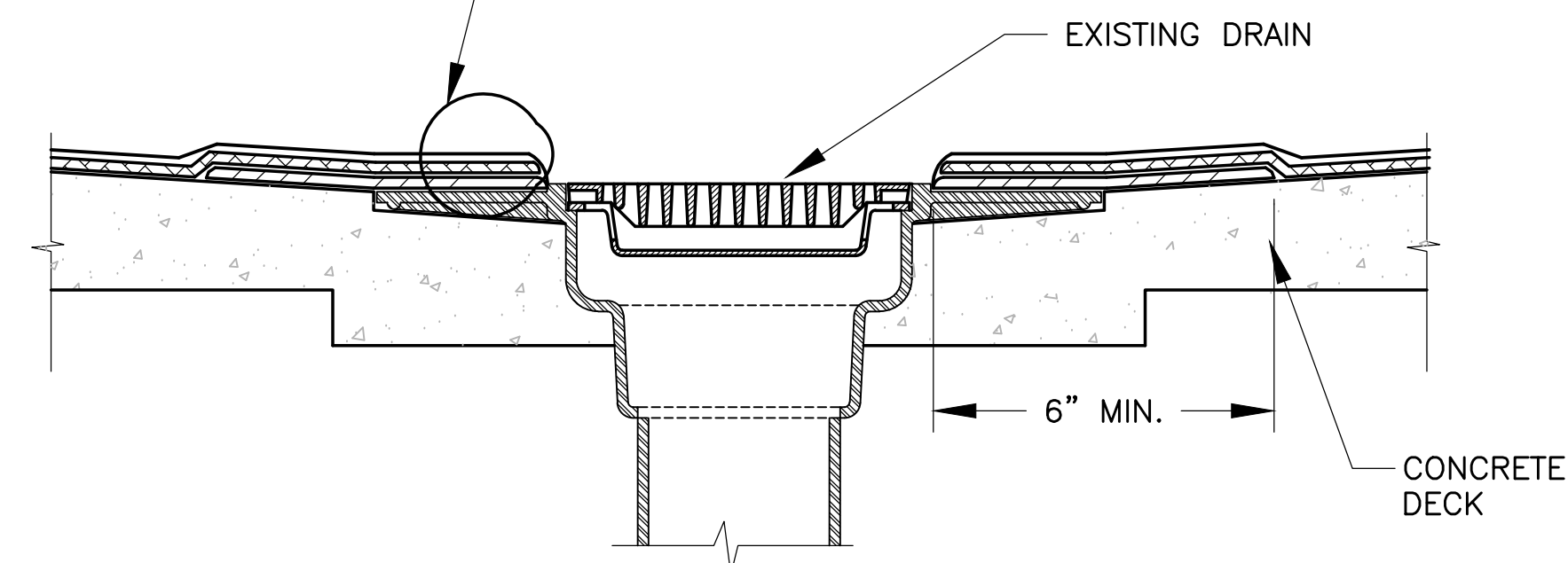
**NOTE:**

1. CONCRETE SURFACE TO BE PROPERLY PREPARED CLEANED AND PRIMED BEFORE NEW PEDESTRIAN TRAFFIC COATING SYSTEM IS INSTALLED.
2. PEDESTRIAN TRAFFIC COATING SYSTEM TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURE'S RECOMMENDATION.

1 PEDESTRIAN TRAFFIC COATING ASSEMBLY  
W102 NOT TO SCALE (TYPICAL)



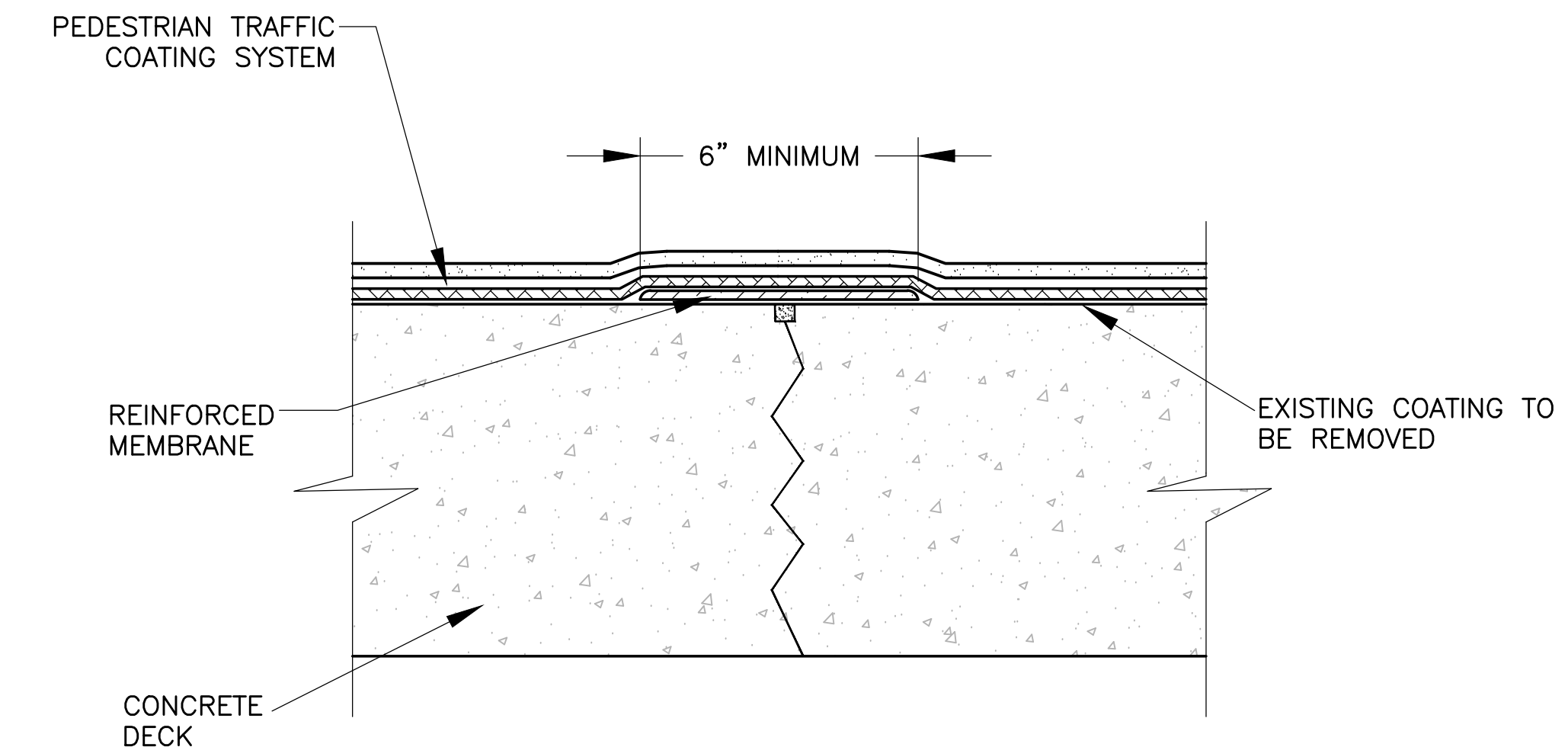
TYPICAL PEDESTRIAN  
TRAFFIC COATING SYSTEM  
ASSEMBLY



**NOTE:**

1. CLEAN AND PRIME DRAIN TO RECEIVE FLASHING.
2. REMOVE EXISTING COATING SYSTEM.

2 DRAIN FOR PEDESTRIAN  
TRAFFIC COATING SYSTEM  
W102 NOT TO SCALE (TYPICAL)

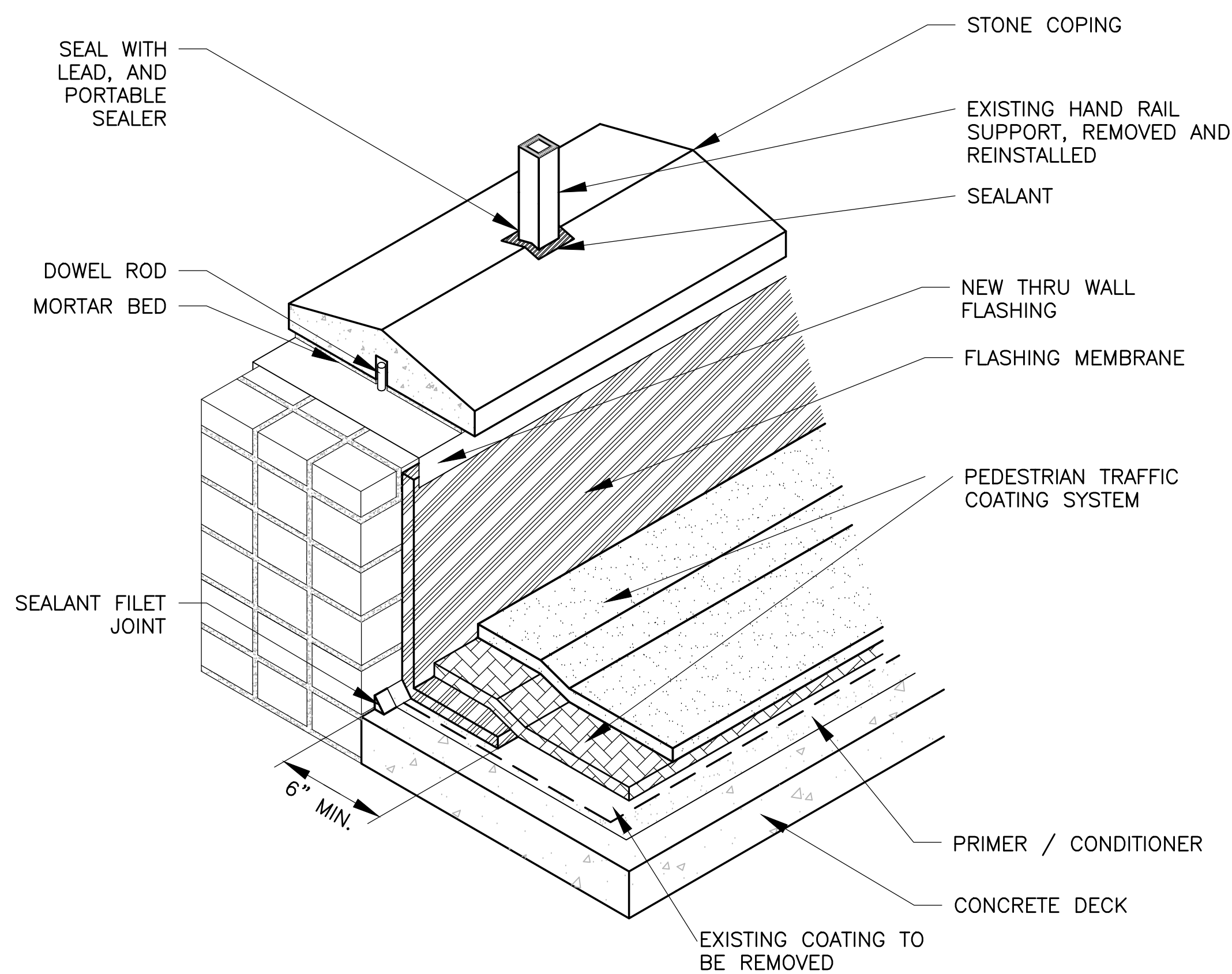


**NOTE:**

1. STATIC CRACK TO BE PROPERLY CLEANED, PRIMED, AND FREE OF DEBRIS BEFORE REPAIRED.

STATIC CRACK REPAIR  
FOR PEDESTRIAN TRAFFIC  
COATING SYSTEM

3 NOT TO SCALE (TYPICAL)

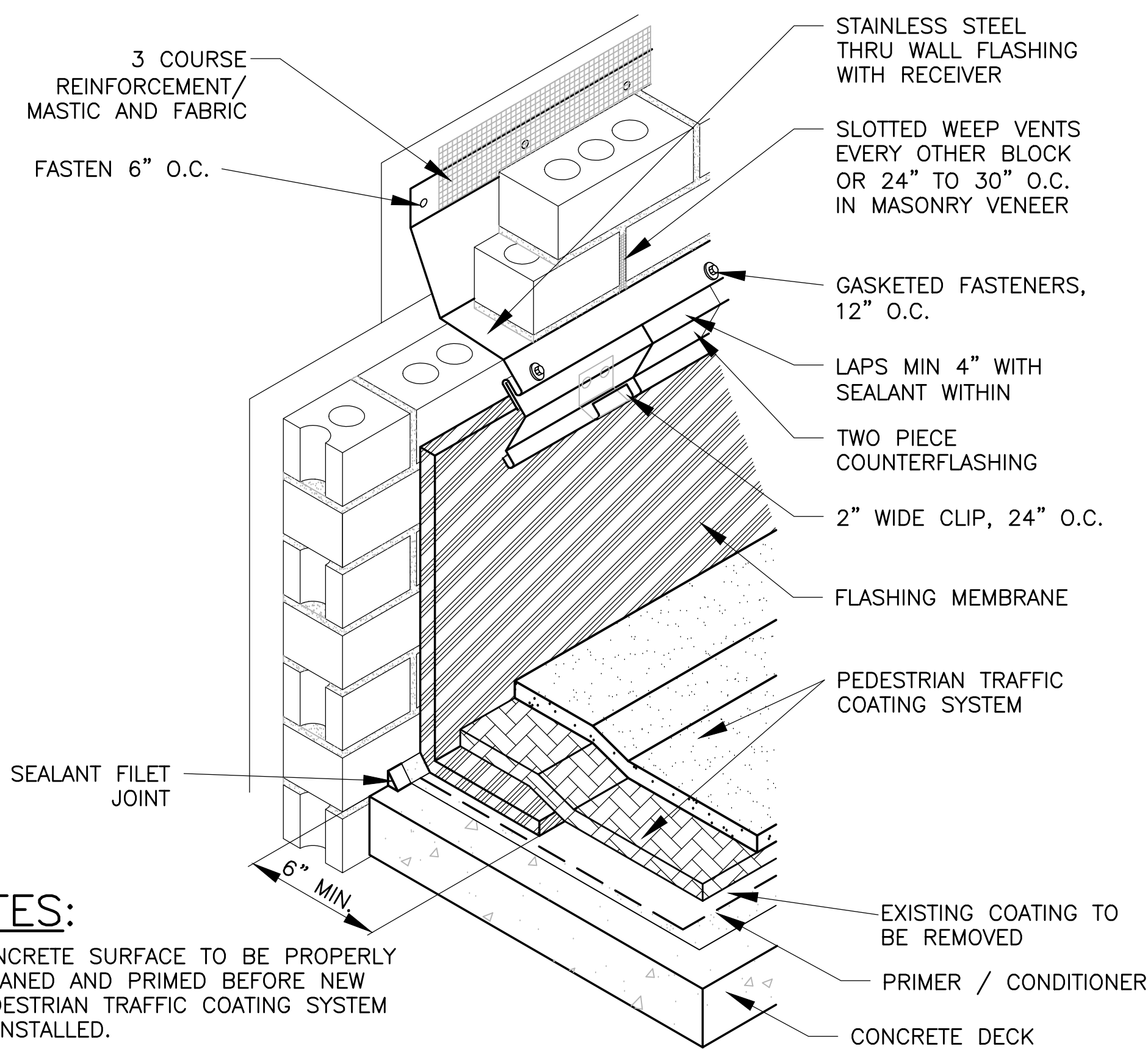


**NOTE:**

1. NEW COPING SYSTEM TO BE INSTALLED OVER EXISTING BRICK VENEER WALL. SEE ARCHITECTURAL DRAWINGS FOR SPECIFIC COPING AND COPING ATTACHMENT REQUIREMENTS. DOWEL RODS TO BE SEALED AROUND THRU WALL FLASHING WITH COMPATIBLE MASTIC.
2. COLOR OF FLASHING MEMBRANE FOR WATERPROOFING SYSTEM TO MATCH BRICK COLOR WHERE MEMBRANE TURNS UP WALL.

PEDESTRIAN TRAFFIC COATING SYSTEM  
AT ALL MASONRY WALL W/ COPING

4 NOT TO SCALE (TYPICAL)

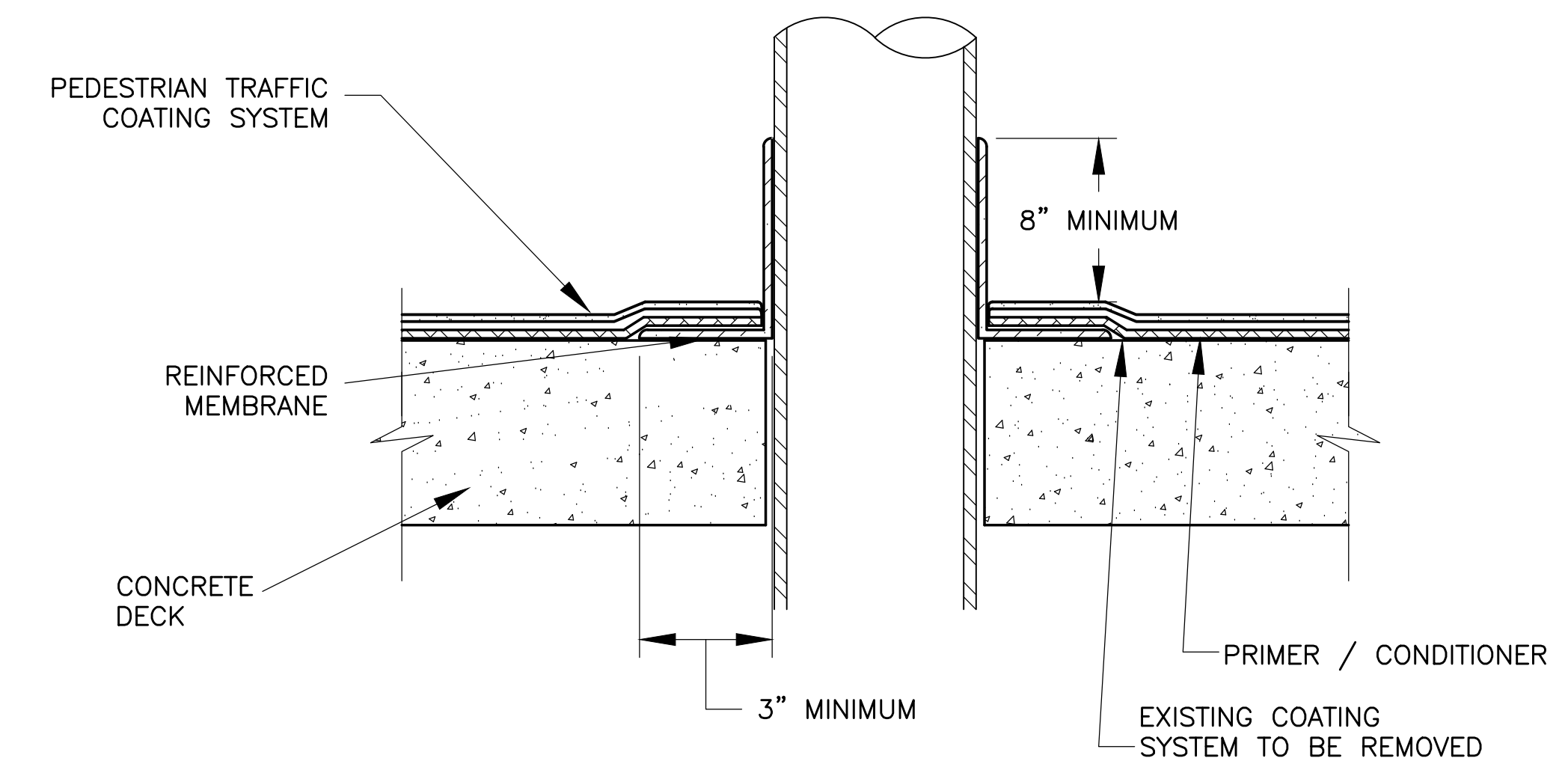


**NOTES:**

1. CONCRETE SURFACE TO BE PROPERLY CLEANED AND PRIMED BEFORE NEW PEDESTRIAN TRAFFIC COATING SYSTEM IS INSTALLED.
2. COLOR OF FLASHING MEMBRANE FOR PEDESTRIAN TRAFFIC COATING SYSTEM TO MATCH BRICK COLOR WHERE MEMBRANE TURNS UP WALL.
3. OFFSETS AND REVEALS EXIST IN MASONRY WALLS. (NOT SHOWN ON DETAIL FOR CLARITY)

PEDESTRIAN TRAFFIC COATING SYSTEM  
AT MASONRY WALL W/ THROUGH WALL FLASHING

5 NOT TO SCALE (TYPICAL)

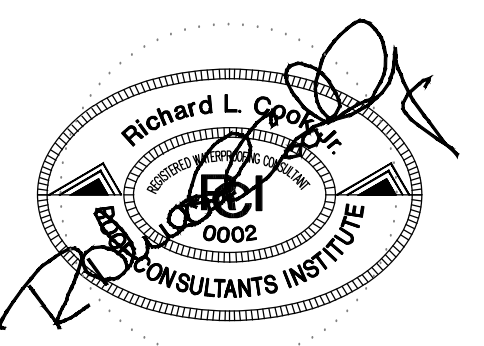
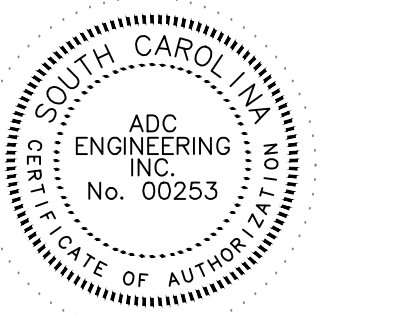


**NOTE:**

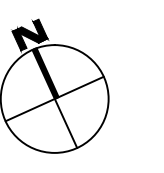
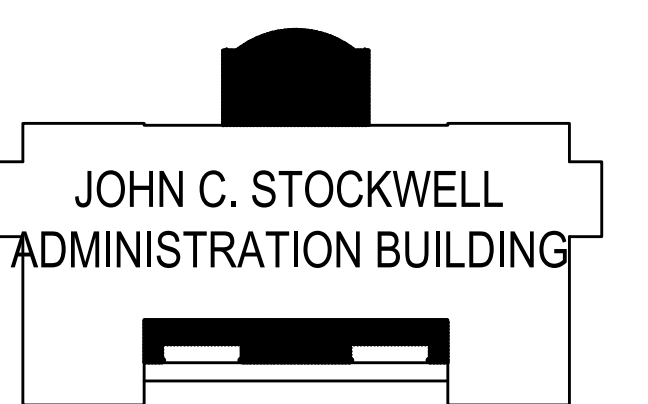
1. CONCRETE SURFACE TO BE PROPERLY CLEANED AND PRIMED BEFORE NEW PEDESTRIAN TRAFFIC COATING SYSTEM IS INSTALLED.

PEDESTRIAN TRAFFIC COATING  
SYSTEM @ PIPE

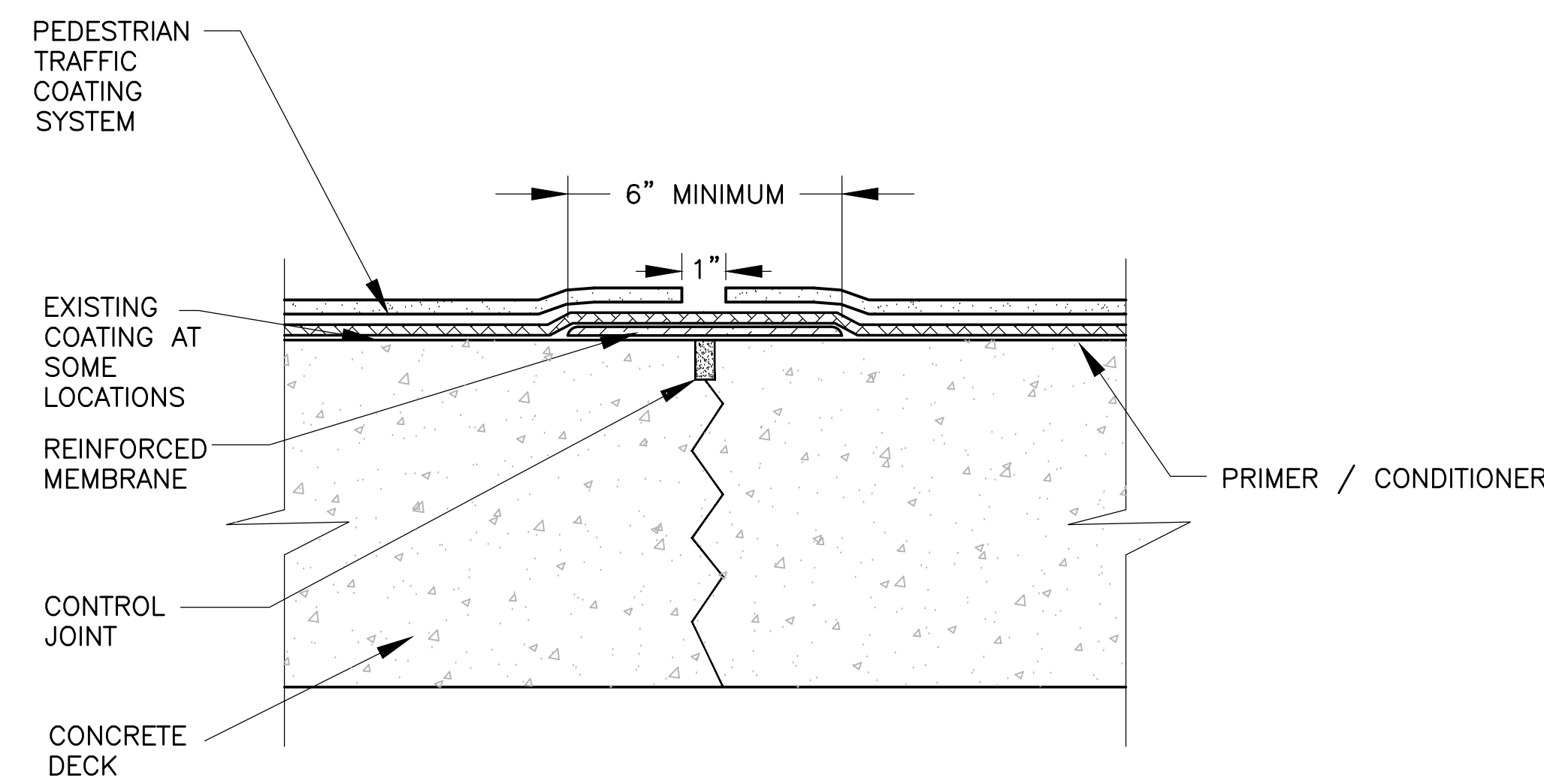
6 NOT TO SCALE (TYPICAL)



number	item	date







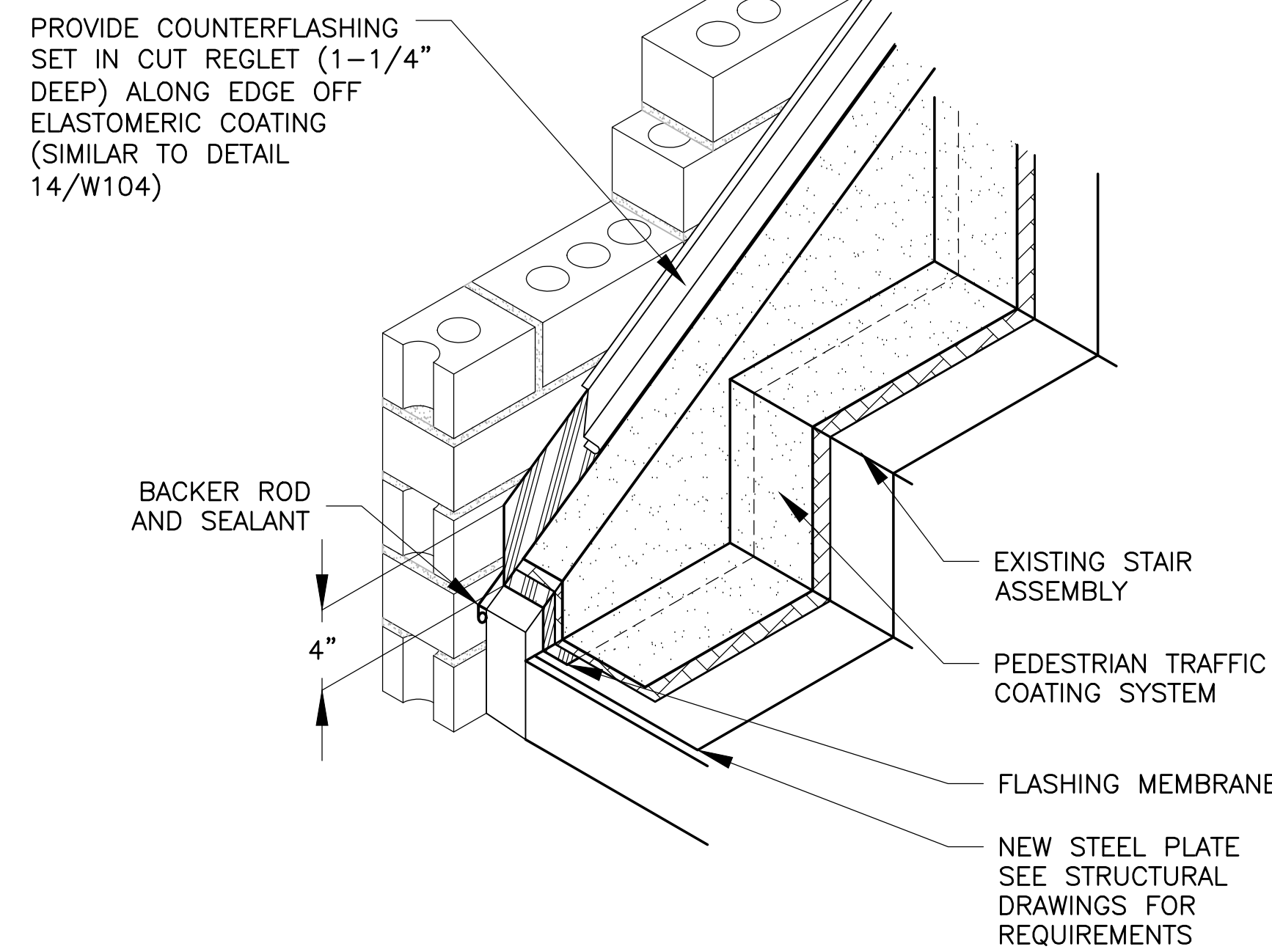
**NOTE:**

1. CONCRETE SURFACE TO BE PROPERLY CLEANED AND PRIMED BEFORE NEW PEDESTRIAN TRAFFIC COATING SYSTEM IS INSTALLED.

**PEDESTRIAN TRAFFIC COATING SYSTEM CONTROL JOINT REPAIR**

7  
W103

NOT TO SCALE (TYPICAL)



**NOTE:**

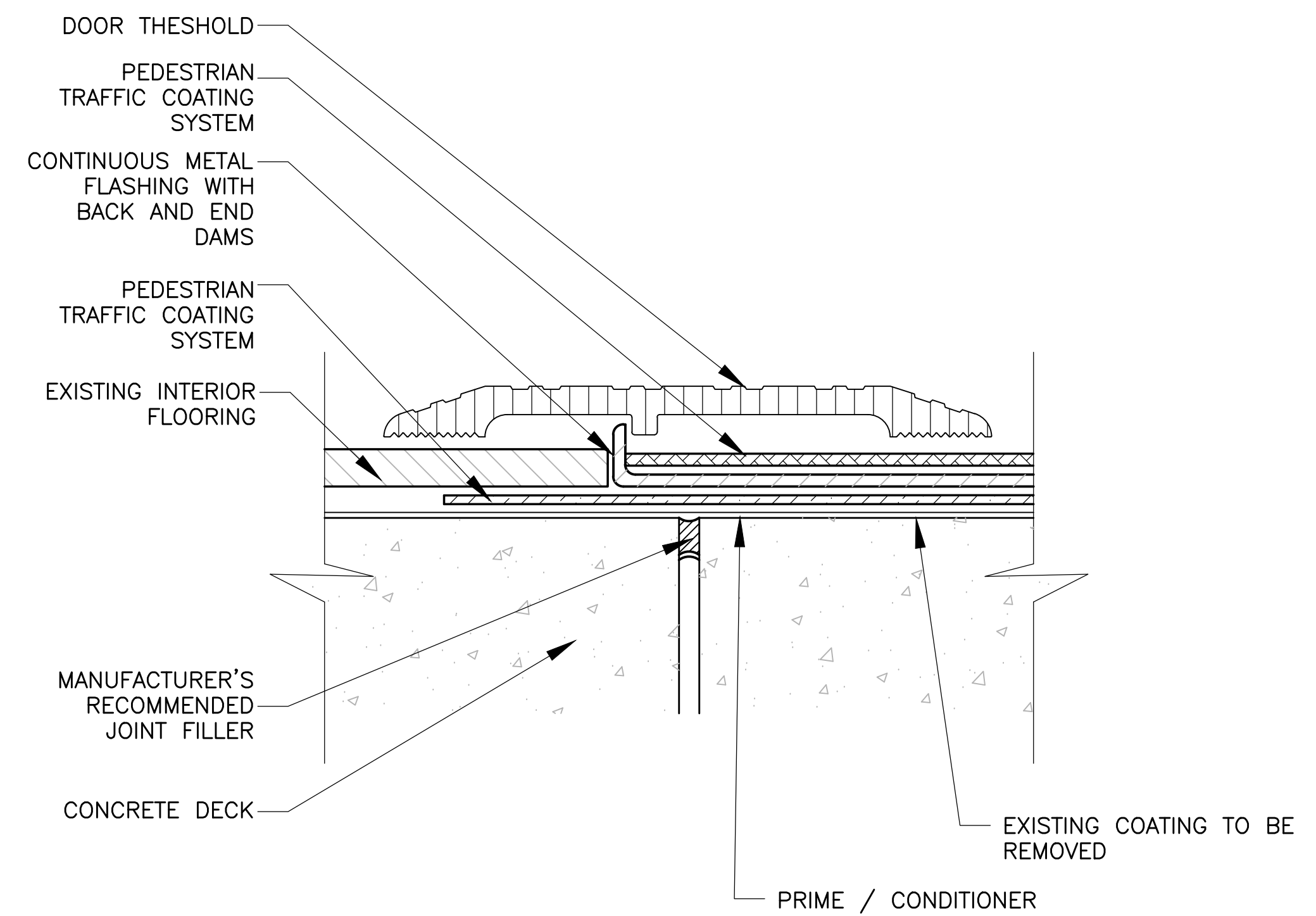
1. SEE ARCHITECTURAL DRAWINGS FOR SPECIFIC STAIR REQUIREMENTS.
2. STAIRS GET COMPLETELY COATED W/ PEDESTRIAN TRAFFIC COATING SYSTEM.
3. COLOR OF FLASHING MEMBRANE FOR PEDESTRIAN TRAFFIC COATING SYSTEM TO MATCH BRICK COLOR WHERE MEMBRANE TURNS UP WALL.

**PEDESTRIAN TRAFFIC COATING SYSTEM AT STAIRS**

8  
W103

NOT TO SCALE

(TYPICAL)



**PEDESTRIAN TRAFFIC COATING SYSTEM @ DOOR THRESHOLD**

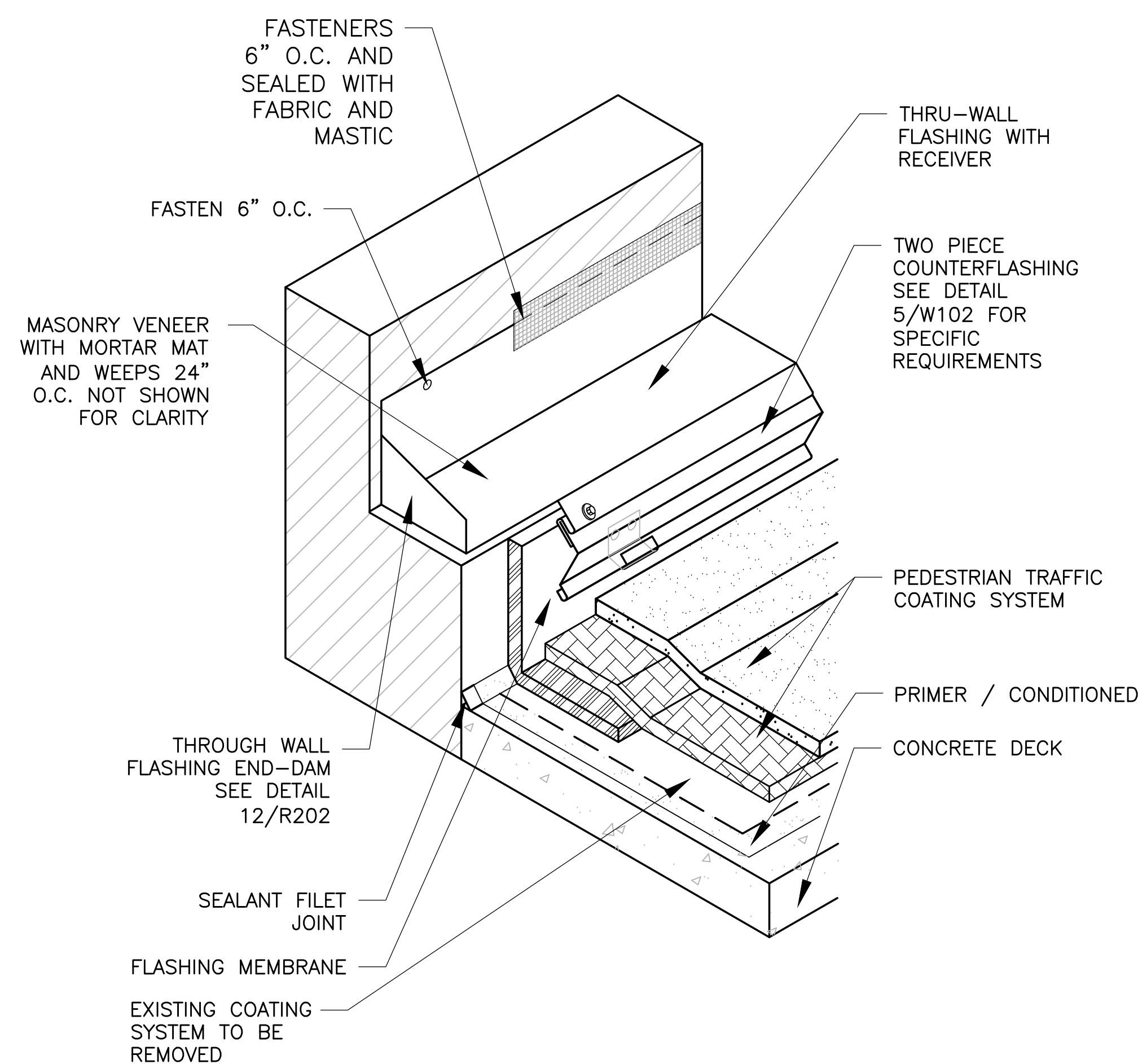
9  
W103

NOT TO SCALE

(TYPICAL)

**NOTE:**

1. SEE 17/W105 FOR TERMINATION AT NEW PVC TRIM.

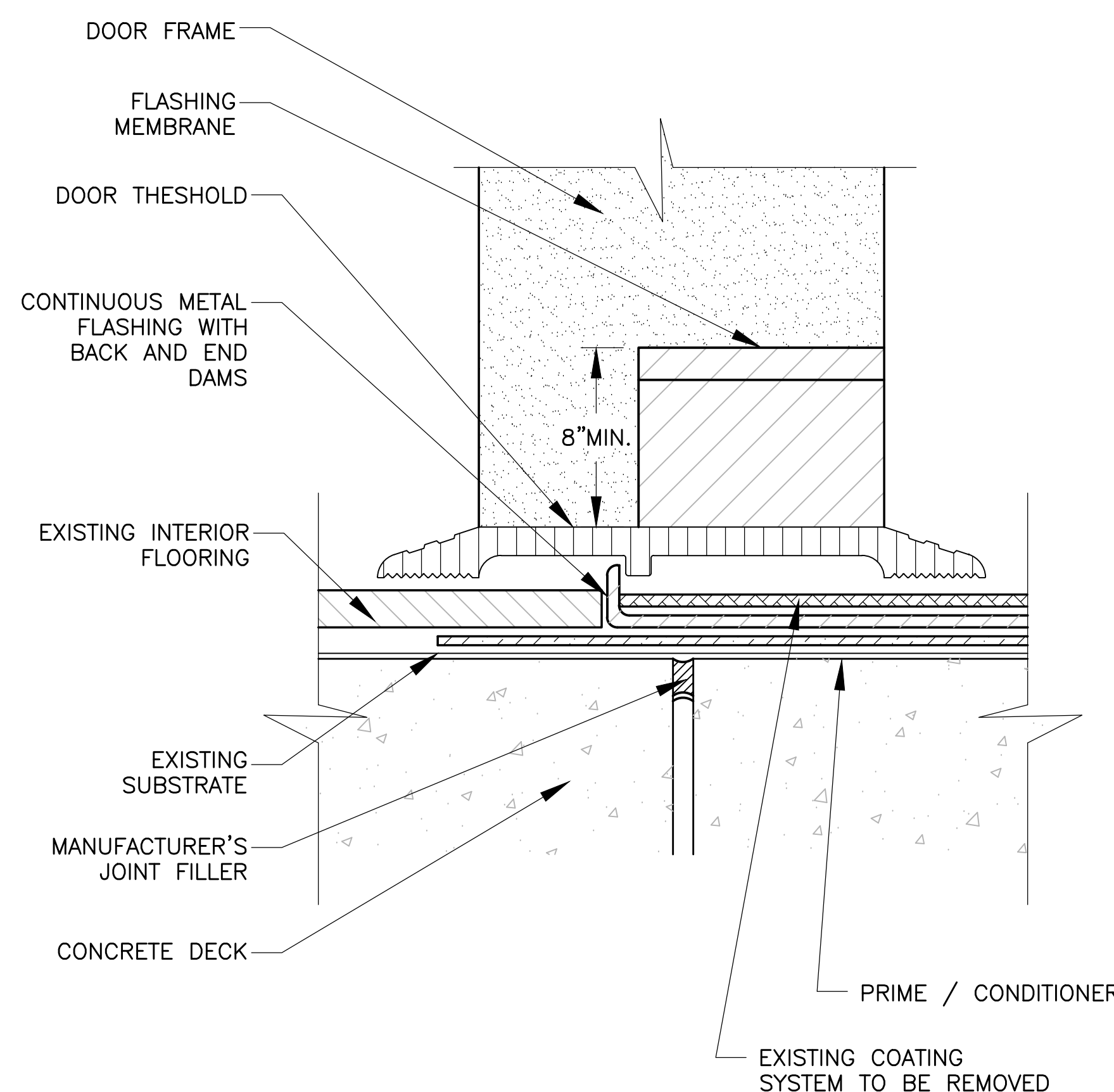


**THRU-WALL FLASHING BEHIND DOOR COLUMN**

10  
W103

NOT TO SCALE

(TYPICAL)

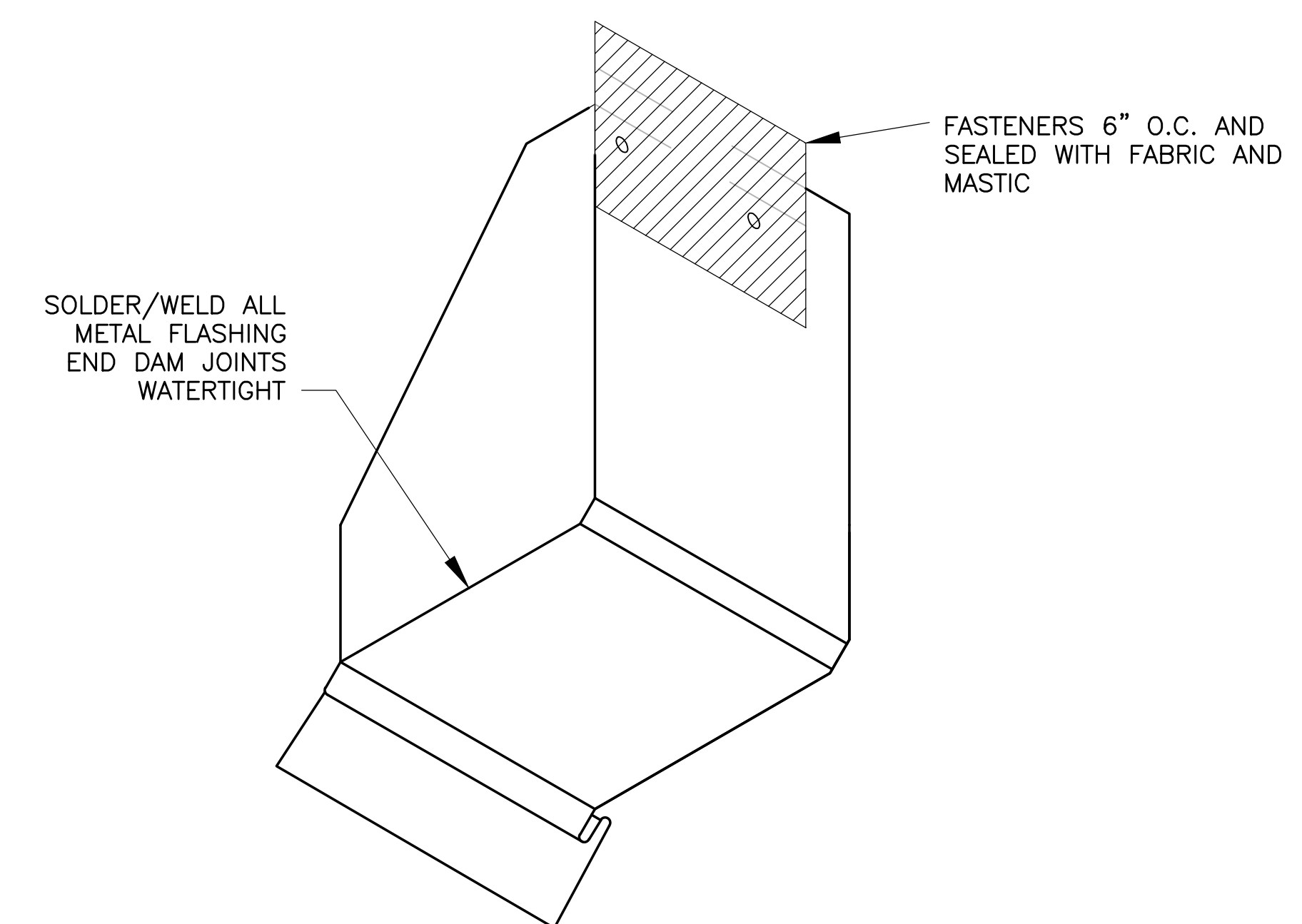


**DOOR FRAMING FLASHING**

11  
W103

NOT TO SCALE

(TYPICAL)



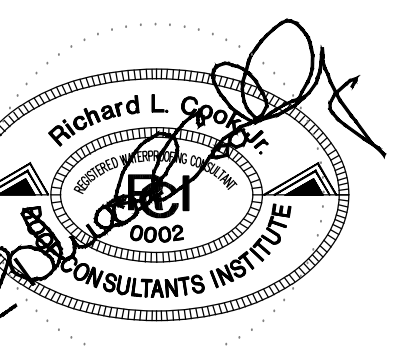
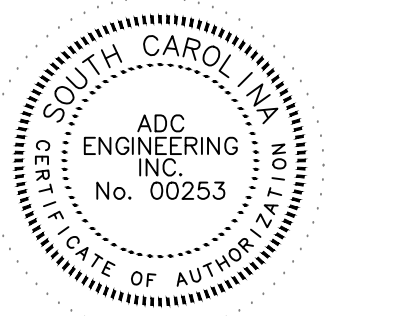
**NOTE:**

1. INSTALL END DAM AT ALL FLASHING TERMINATIONS.
2. SEE DETAILS 13/W104 AND 14/W104

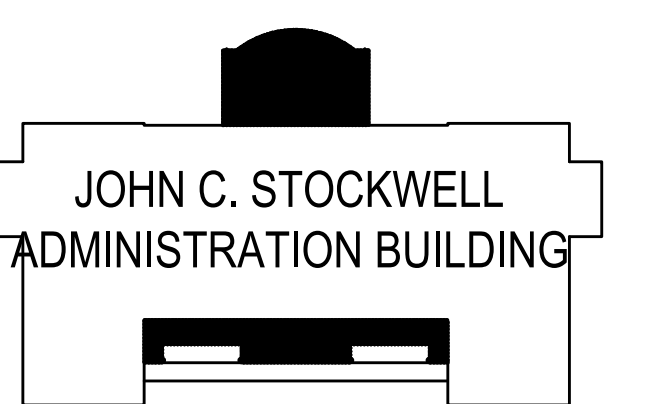
**END DAM**

12  
W103

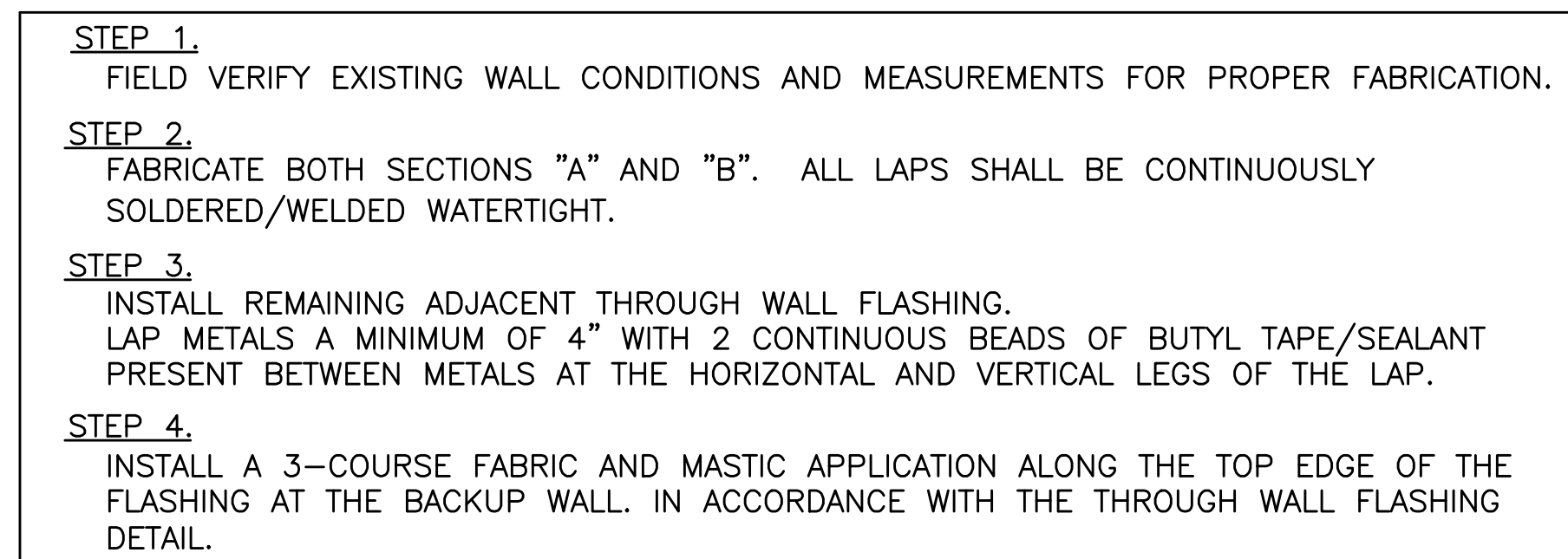
NOT TO SCALE (TYPICAL)



number	item	date

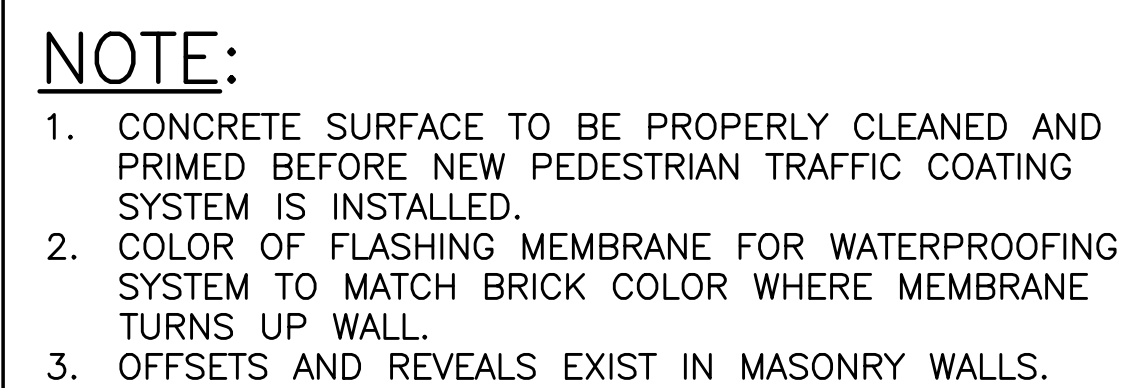






FABRICATED THRU-WALL  
FLASHING CORNER WITH RECEIVER

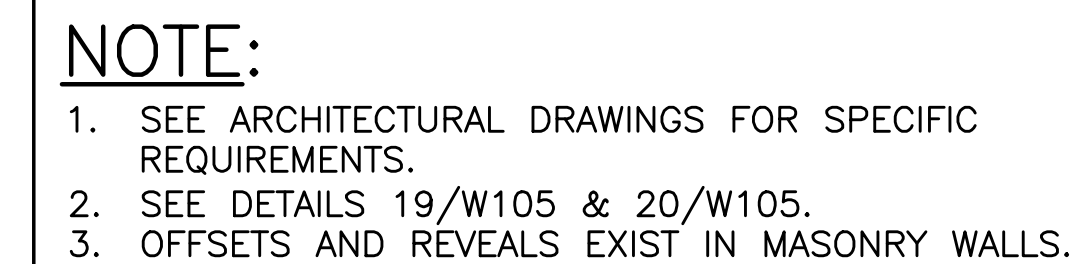
13  
W104 NOT TO SCALE (TYPICAL)



14  
W104

BASE FLASHING AT  
MASONRY WALL

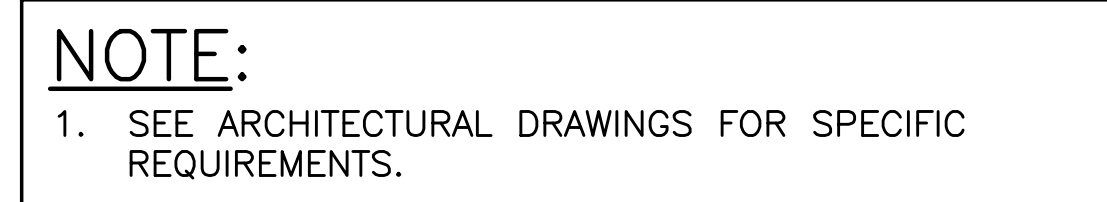
NOT TO SCALE (TYPICAL)



15  
W104

BITUMEN BASED WATERPROOFING SYSTEM  
AT EXISTING THRU WALL FLASHING

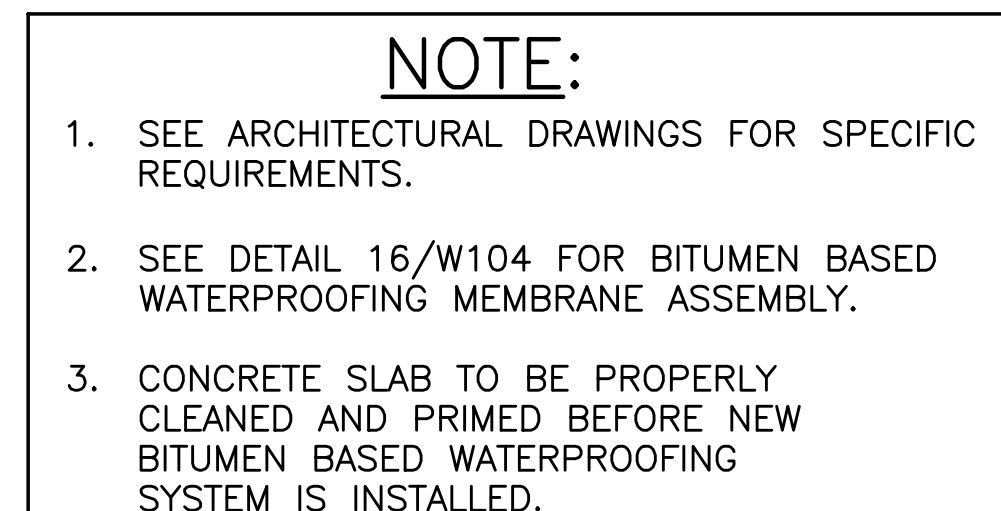
NOT TO SCALE (TYPICAL)



16  
W104

BITUMEN BASED WATERPROOFING  
MEMBRANE ASSEMBLY

NOT TO SCALE (TYPICAL)



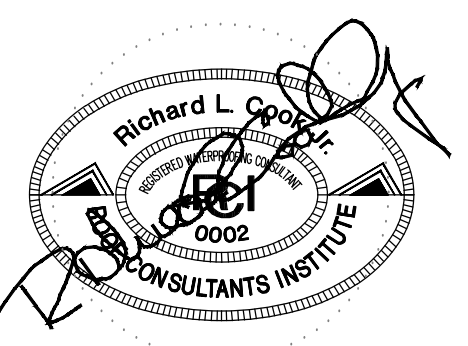
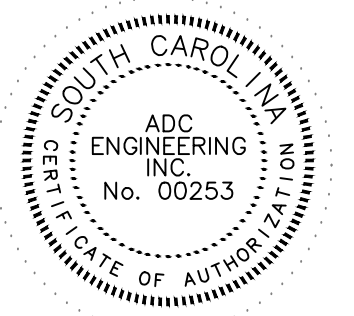
18  
W104

BITUMEN BASED WATERPROOFING  
SYSTEM @ PIPE

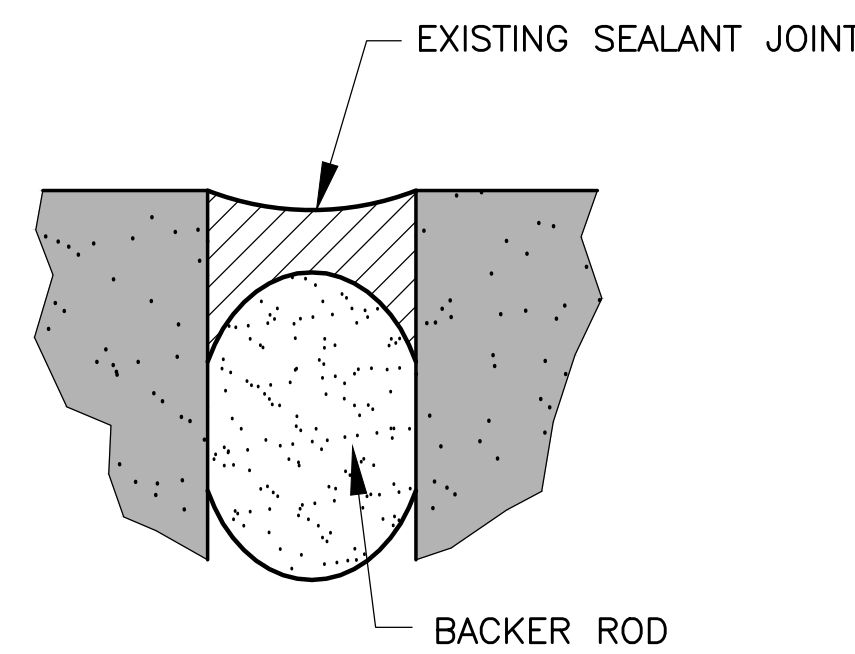
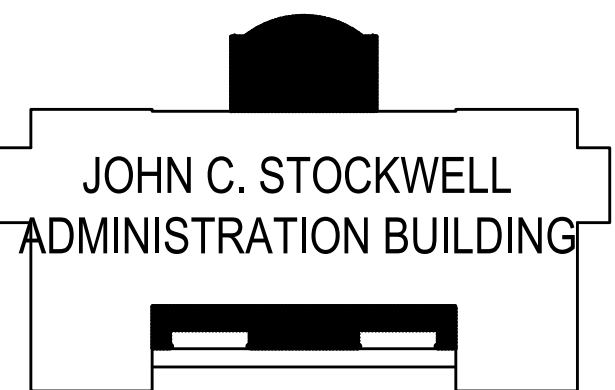
NOT TO SCALE

(TYPICAL)

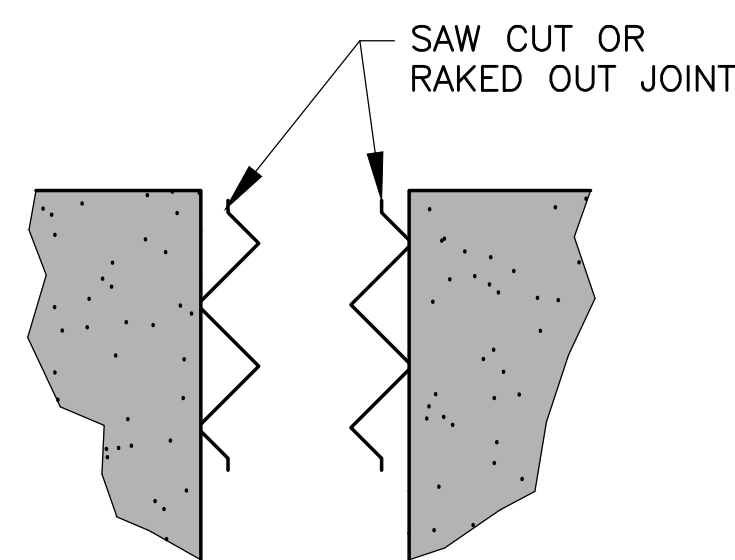




number	item	date

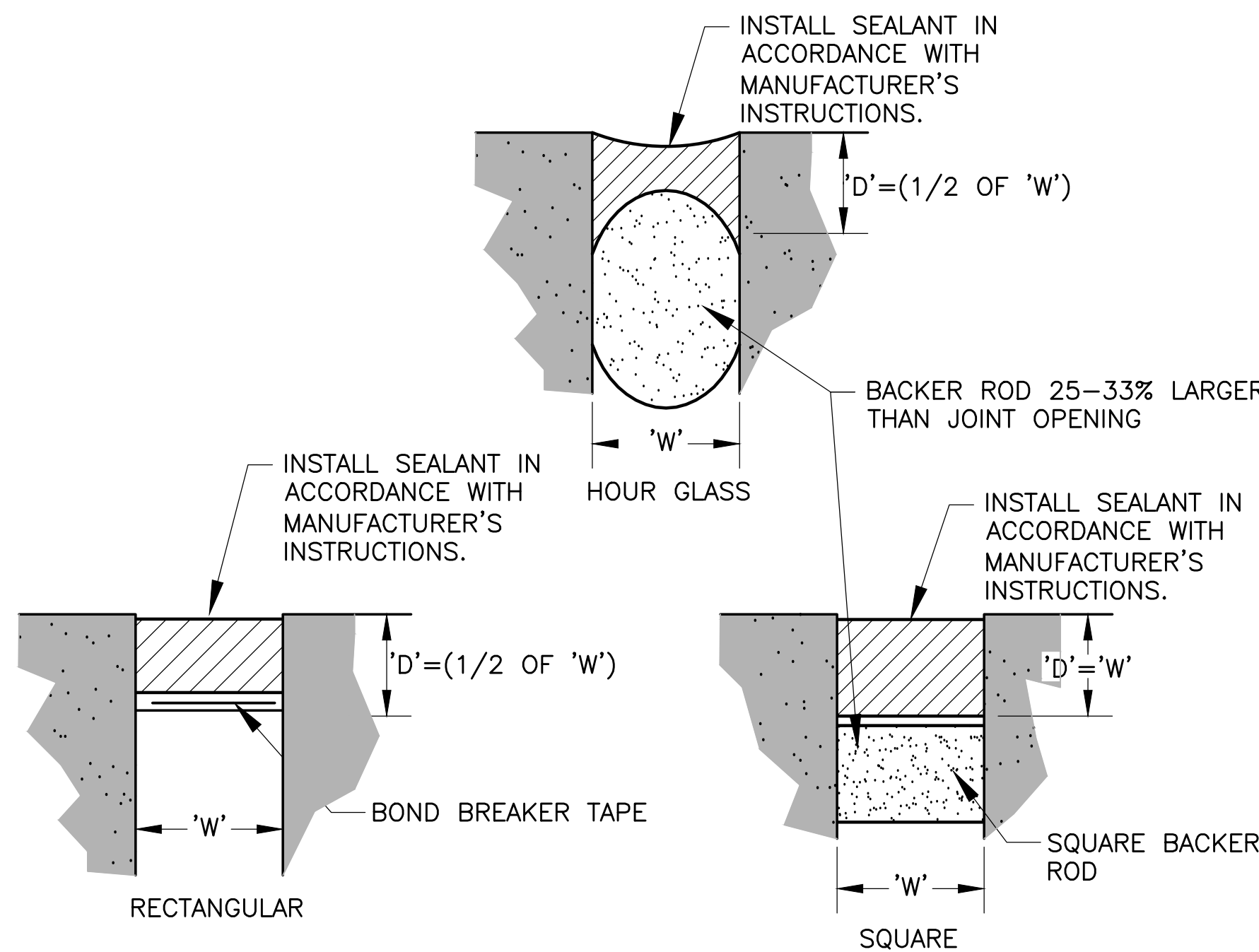


EXISTING STANDARD JOINT  
STEP ONE



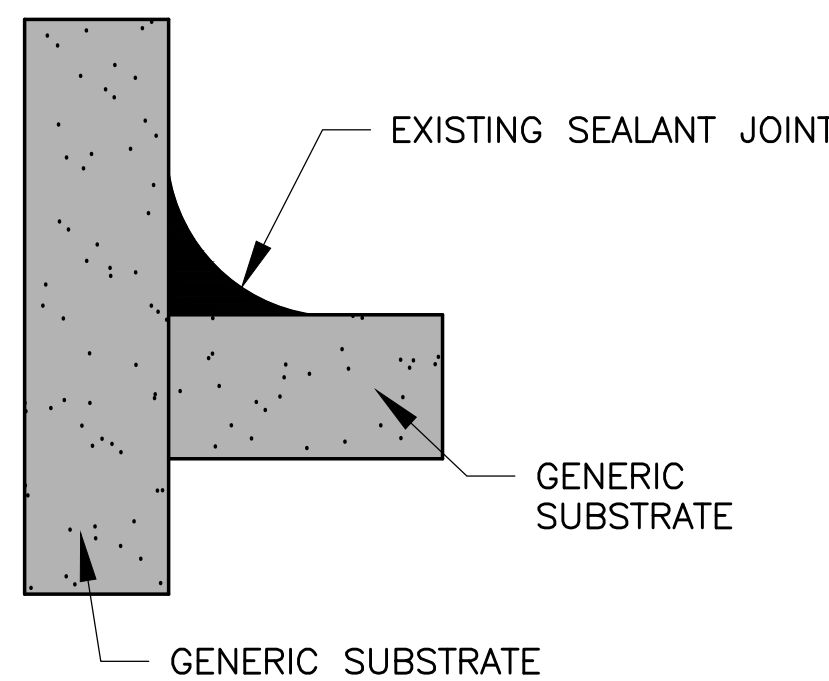
- NOTES:
1. A SEALANT IS NO BETTER THAN THE SURFACE TO WHICH IT IS ATTACHED. PROPER PREPARATION IS CRITICAL.
  2. THE MANUFACTURERS INSTRUCTIONS MUST BE CAREFULLY FOLLOWED TO OBTAIN PROPER SEALANT ADHESION.
  3. ADHERE TO THE JOINT DESIGN AND APPLICATION REQUIREMENTS.

PREPARE STANDARD JOINT  
STEP TWO

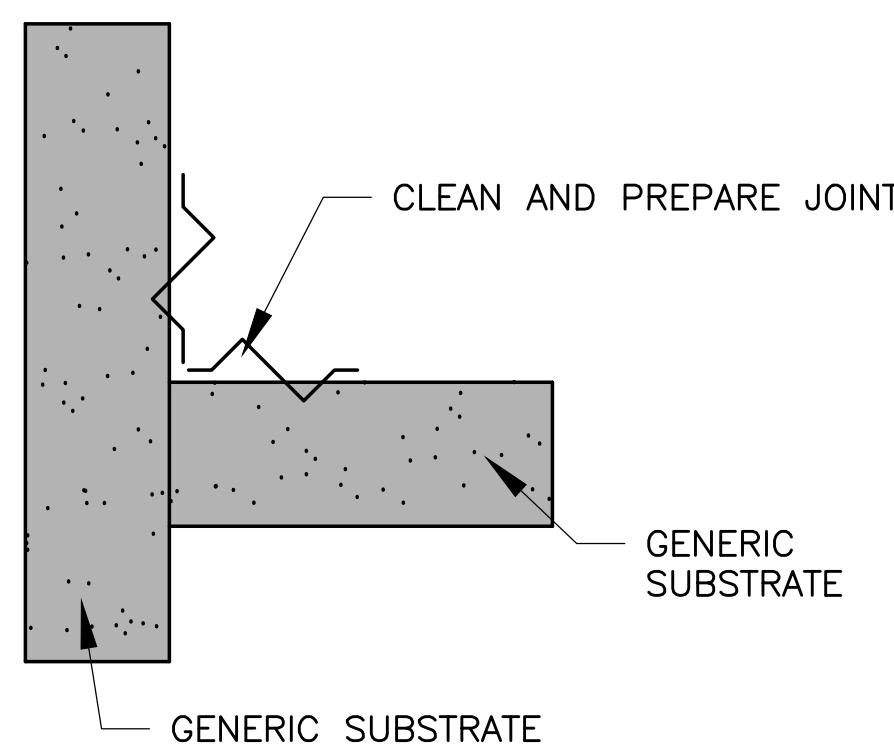


REPAIR, STANDARD JOINT OPTIONS  
STEP THREE

19 STANDARD JOINT DETAIL  
W105 NOT TO SCALE (TYPICAL)

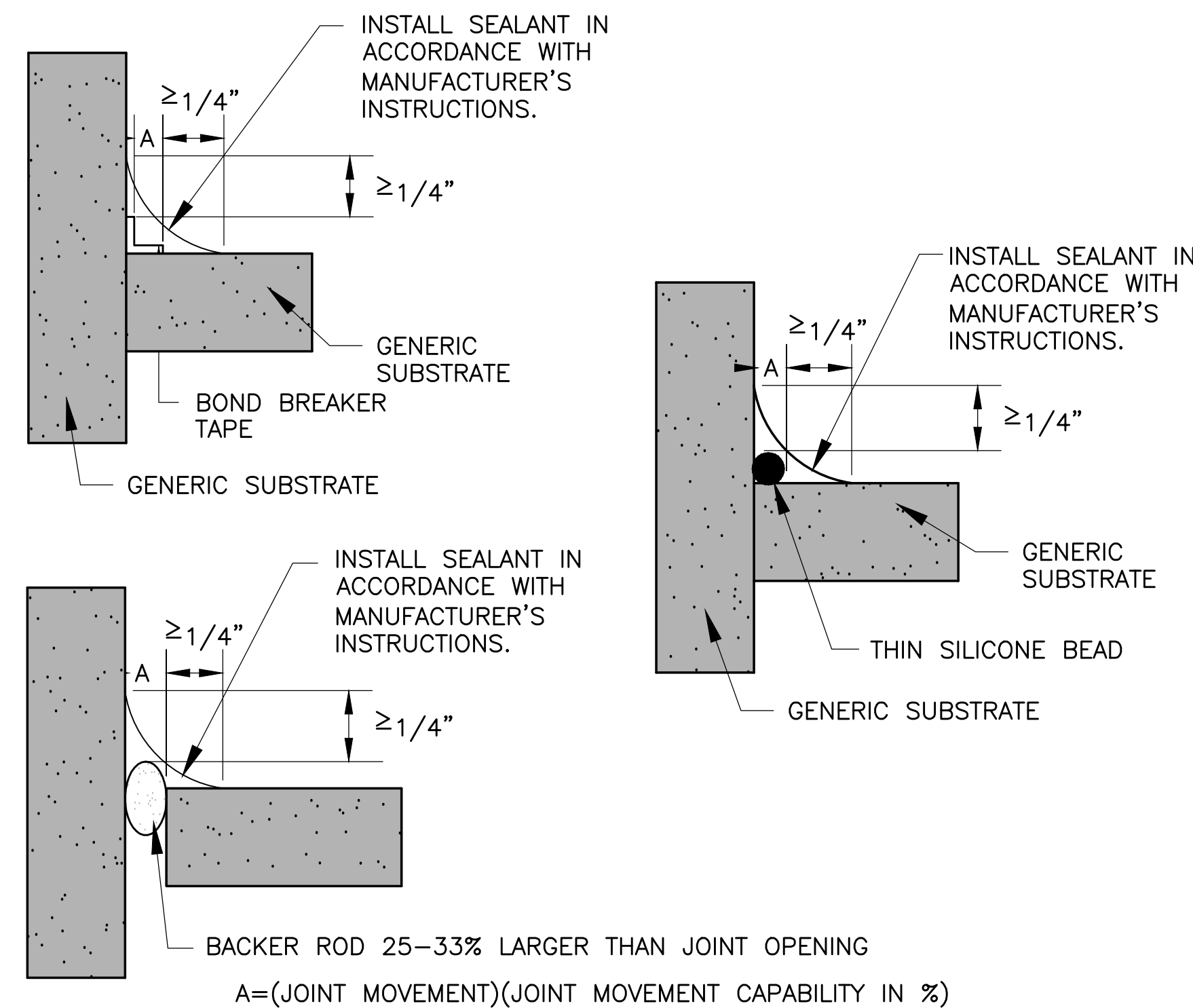


EXISTING CORNER/FILLET JOINT  
STEP ONE



- NOTES:
1. A SEALANT IS NO BETTER THAN THE SURFACE TO WHICH IT IS ATTACHED. PROPER PREPARATION IS CRITICAL.
  2. THE MANUFACTURERS INSTRUCTIONS MUST BE CAREFULLY FOLLOWED TO OBTAIN PROPER SEALANT ADHESION.
  3. ADHERE TO THE JOINT DESIGN AND APPLICATION REQUIREMENTS.
  4. CONTRACTOR OPTIONS FOR BOND BREAKER/BACKER ROD FOR CORNER/FILLET JOINT.

PREPARE CORNER/FILLET JOINT  
STEP TWO



PROVIDE CORNER/FILLET JOINT OPTIONS  
STEP THREE

20 CORNER/FILLET JOINT  
W105 NOT TO SCALE (TYPICAL)