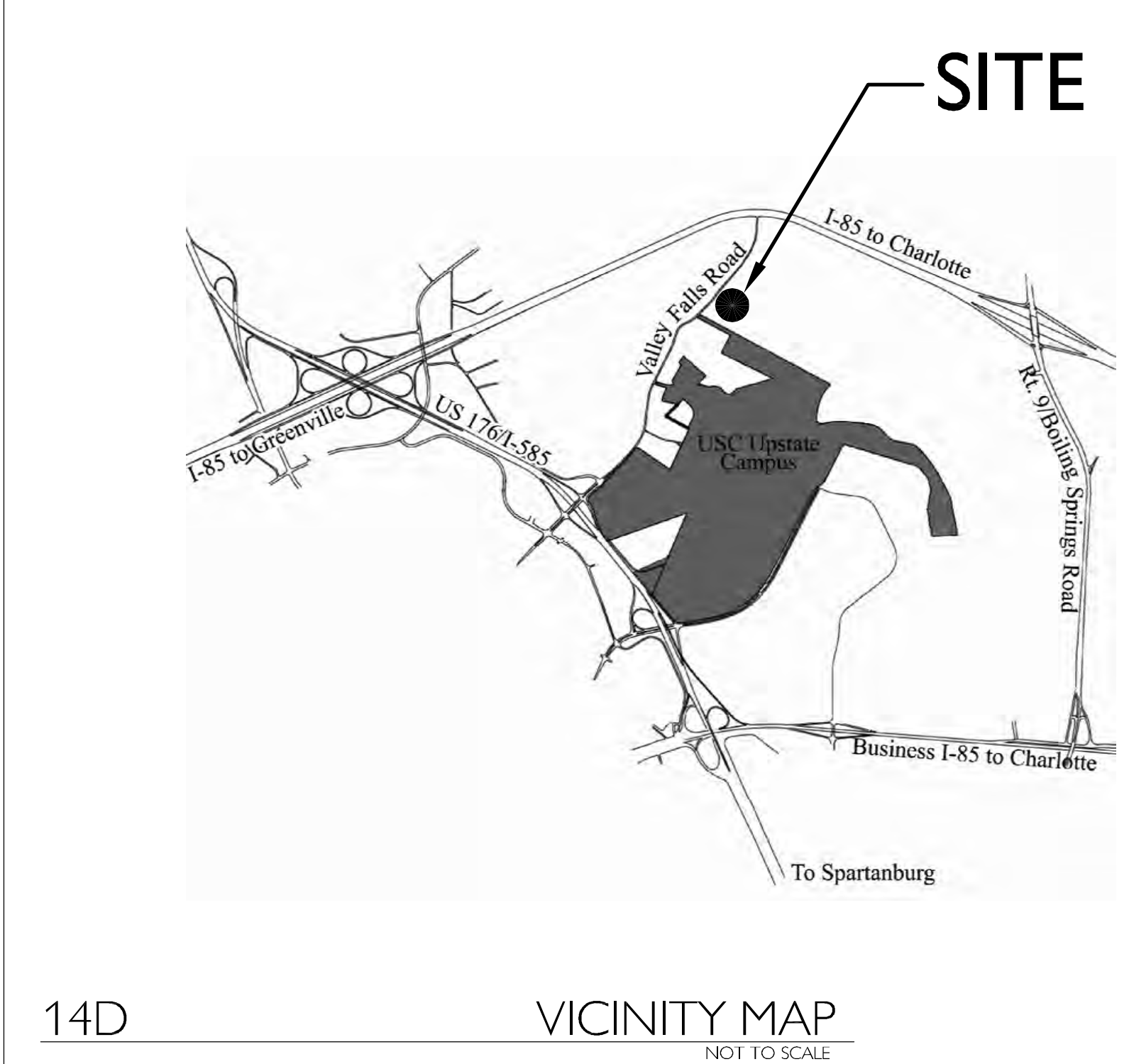
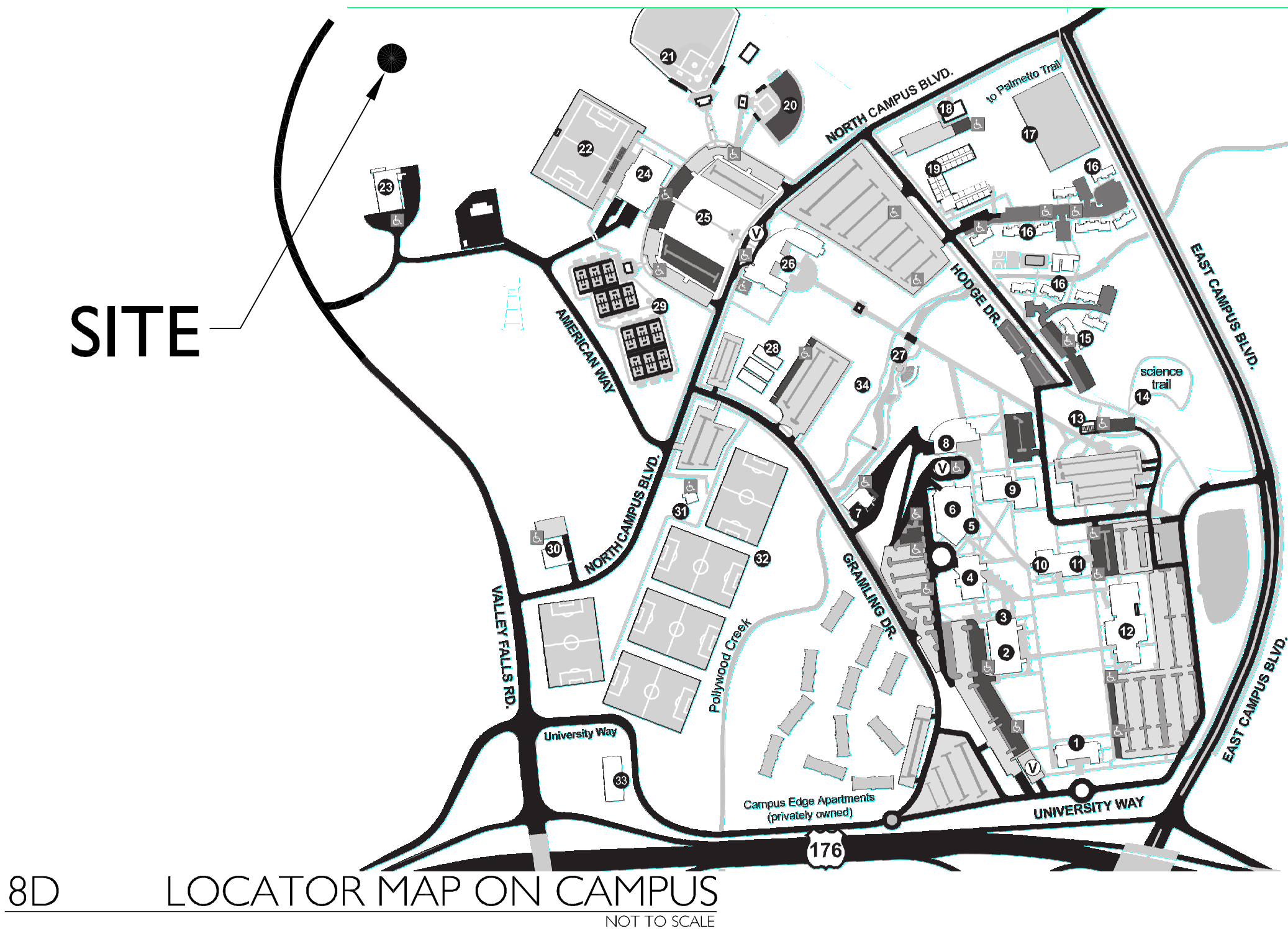


Upstate 8000 Valley Falls Road
Renovations/Upgrades -
Building Repairs
SPARTANBURG, SOUTH CAROLINA
STATE PROJECT NO. H34-I338





Michael Keeshen & Associates, Inc.

Architects :
Michael Keeshen & Associates, Inc.
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101 E. Washington St.
Suite 320
Clemsonville, South Carolina 29601
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Consultants:

BUILDING CODE SUMMARY

Name of Project: UPSTATE 8000 VALLEY FALLS ROAD RENOVATIONS/UPGRADE - BUILDING REPAIRS
Address: 8000 VALLEY FALLS ROAD, SPARTANBURG, SC
Proposed Use: BUSINESS - STORAGE
Owner or Authorized Agent: USC UPSTATE Phone #: 864.503.5500
Owned By: County Private State
Code Enforcement Jurisdiction: City County OSE

LEAD DESIGN PROFESSIONAL: Michael Keeshen-Michael Keeshen & Associates, Inc.

DESIGNER	HRM	NAME	LICENSE #	PHONE #	E-MAIL
Architectural	MKA	Mike Keeshen	--	864.233.2804	mike@keeshen.com
Civil	--	--	--	--	--
Electrical	--	--	--	--	--
Fire Alarm	--	--	--	--	--
Plumbing	--	--	--	--	--
Mechanical	--	--	--	--	--
Sprinkler-Standpipe	--	--	--	--	--
Structural	--	--	--	--	--
Other	--	--	--	--	--

YEAR EDITION OF CODE: 2009 International Existing Building Code

Repair Alteration<50% Alteration>50% Change of occupancy Addition Relocation (Existing Bldg.)
Level 1 Level 2 Level 3

Methodology (101.5 IEBC)
Prescriptive Compliance Work Area Compliance Performance Compliance

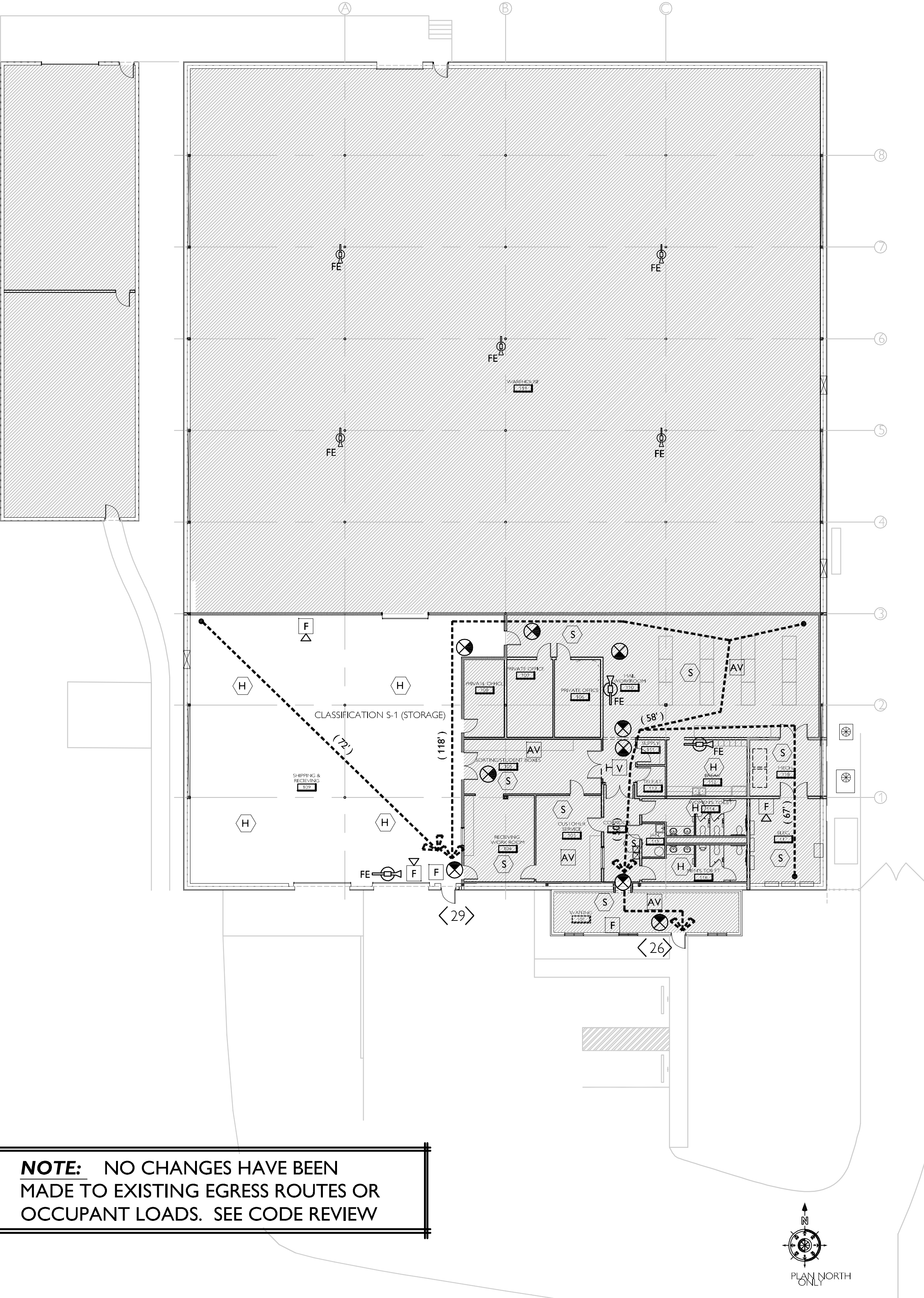
BUILDING DATA
Year constructed: UNKNOWN Site seismic category: --
Construction Type: I-A/I I-B/II I-A/V/P I-B/V/L/P I-II-A/V/P I-II-B/V/L/P I-IV/III V-A/V/P V-B/V/L/P
Mixed Construction: No Yes Types: --
Sprinklers: No Yes
Standpipes: No Yes
Fire District: No Yes
Building Height: 22 Feet Number of Stories: Unlimited per
Mezzanine: No Yes
High Rise: No Yes Central Reference Sheet # (if provided) --
Gross Building Area (sq. ft.):
FLOOR EXISTING Addition WORK AREA FLOOR EXISTING Addition WORK AREA
1st 25,483sf 0sf 3000 sf -- -- -- --
TOTAL 25,483sf 0sf 3000 sf -- -- -- --

- IEBC APPLICABLE REFERENCES** per the Work Area Compliance Method
- CHAPTER 4 - Definitions
Section 402 - Repairs as defined in Chapter 2.
- CHAPTER 5 - Repairs Repairs comply:
Section 502 - No Hazardous materials or glazing in hazardous locations will be used.
Section 503 - The existing level of fire protection shall be maintained.
Section 504 - The existing means of egress shall be maintained.
Section 505 - The existing level of accessibility provided shall be maintained.
Section 506 - The structural elements in this existing building have been evaluated and repaired during a previous project. Any minor repairs to structural members shall be considered less than substantial structural damage.
Section 507 - No electrical work anticipated or designed.
Section 508 - No mechanical work anticipated or designed.
Section 509 - No plumbing work anticipated or designed.
- PROJECT CODE STANDARDS**
- A. INTERNATIONAL BUILDING CODE, 2009 EDITION.
B. INTERNATIONAL EXISTING BUILDING CODE, 2009 EDITION.
C. INTERNATIONAL FIRE CODE, 2009 EDITION.
D. INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION.
E. INTERNATIONAL FUEL GAS CODE, 2009 EDITION.
F. INTERNATIONAL MECHANICAL CODE, 2009 EDITION.
G. INTERNATIONAL PLUMBING CODE, 2009 EDITION WITH THE FOLLOWING INSERTIONS:
1. SECTION 305.6.1, INSERT "2" AND INSERT "4".
2. SECTION 901.1, INSERT "8".
H. INTERNATIONAL PRIVATE SEWAGE DISPOSAL CODE, 2009 EDITION
I. INTERNATIONAL PROPERTY MAINTENANCE CODE, 2009 EDITION
J. INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS, 2009 EDITION WITH THE FOLLOWING INSERTIONS:
1. 1203.6.1, INSERT "12" AND INSERT "2".
K. INTERNATIONAL WILDLAND - URBAN INTERFACE CODE, 2009 EDITION.
NOTE: THE IULWC DOES NOT SUPERCEDE EXISTING STATUTORY REQUIREMENTS.
L. NATIONAL ELECTRICAL CODE, NFPA 70, 2008 EDITION
M. NATIONAL ELECTRICAL SAFETY CODE, ANSI-C2-2007 EDITION.
N. LATEST EDITION OF THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC. (ANSI) DOCUMENT A17.1, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.
O. STATE FIRE MARSHALL REGULATIONS, LATEST EDITION.
P. SOUTH CAROLINA ELEVATOR CODE AND REGULATIONS LATEST EDITION.
Q. STATE OF SC TELEPHONE EQUIPMENT ROOM AND COMMUNICATIONS DATA SYSTEMS POLICES AS FORMULATED BY THE DIVISION OF STATE INFORMATION TECHNOLOGY.
R. INTERNATIONAL CODE COUNCIL PERFORMANCE CODE, 2009 EDITION, UPON STATE ENGINEERS WRITTEN APPROVAL.
S. GOVERNORS EXECUTIVE ORDER NO. 82-19 (APRIL 1982) STATE OF SC BUILDING STANDARDS IN FLOODPLAIN AREAS.
T. THE SOUTH CAROLINA MODULAR BUILDINGS CONSTRUCTION ACT S.C. CODE 23-43-10 ET. SEQ.

1K BASIC CODE REVIEW & STANDARDS
SCALE: N.T.S.

- P = PAINT
SC = SEALED CONCRETE (FLOOR OF ROOM 109)
IB = IGNITION BARRIER (FOR SPRAY FOAM TOP COAT) WHITE
P1 = INTERIOR WHITE PAINT ON METAL (DRYPALL FOR METAL ABOVE HEAD)
P2 = INTERIOR WHITE PAINT ON GYP.
P3 = EXTERIOR PAINT TO MATCH FRONT ELEVATION

1N FINISH LEGEND & SCHEDULE
SCALE: N.T.S.



NOTE: NO CHANGES HAVE BEEN MADE TO EXISTING EGRESS ROUTES OR OCCUPANT LOADS. SEE CODE REVIEW

16G SYMBOL LEGEND
NOT TO SCALE

(D)	COLUMN LINE DESIGNATION	(1)	PLAN NOTE NOTATION NOT IN CONTRACT
(INT. ELEV.)	INTERIOR ELEVATION NOTATION	(REV.)	REVISION TAG NOTATION
(NORTH ARROW)	NORTH ARROW COMPASS POINTS REFER TO ARCHITECTURAL DRAWINGS AND DO NOT REFLECT TRUE SITE ORIENTATION	(101)	DOOR TAG NOTATION
(ELEV. NOTATION)	ELEVATION NOTATION	(D)	WALL TYPE NOTATION
(10'-0")	Ceiling Height Notation	(AW - ALUM. WINDOW SH - HOLLOW METAL CW - CLUTTER WALL)	OPENING TAG NOTATION
(TAA1)	PLAN REFERENCE NOTATION	(TAA1)	BUILDING SECTION NOTATION
(TAA1)	DETAIL REFERENCE NOTATION	(TAA1)	WALL SECTION NOTATION
(1B AS1)	EXTERIOR ELEVATION		

- ARCHITECTURAL SERIES**
- A0.01 COVER, SHEET
 - A2.01 FLOOR PLAN & DETAILS
 - A2.21 ROOF, PLAN AND REFLECTED CEILING PLAN
 - A5.01 EXTERIOR ELEVATIONS

16I DRAWING INDEX

- | | |
|---------------|---|
| (Hatched Box) | INTERIOR NO WORK AREA |
| (---) | EXIST. FIRE RATED WALL DESIGNATION - 1 HR |
| (X) | EXIST. EXIT LIGHT LOCATION |
| (FE) | EXIST. FIRE EXTINGUISHER |
| (---) | EXIT TRAVEL DISTANCE |
| (XX) | EGRESS OCCUPANT LOAD |
| (F) | EXIST. FIRE ALARM PULL STATION |
| (F) | EXIST. FIRE ALARM HORN |
| (S) | EXIST. SMOKE DETECTOR |
| (H) | EXIST. HEAT DETECTOR - CEILING MTD. |
| (V) | EXIST. FIRE ALARM STROBE - CEILING MTD. |
| (H-V) | EXIST. FIRE ALARM STROBE - WALL MTD. |
| (AV) | EXIST. AUDIO/VISUAL STROBE - CEILING MTD. |

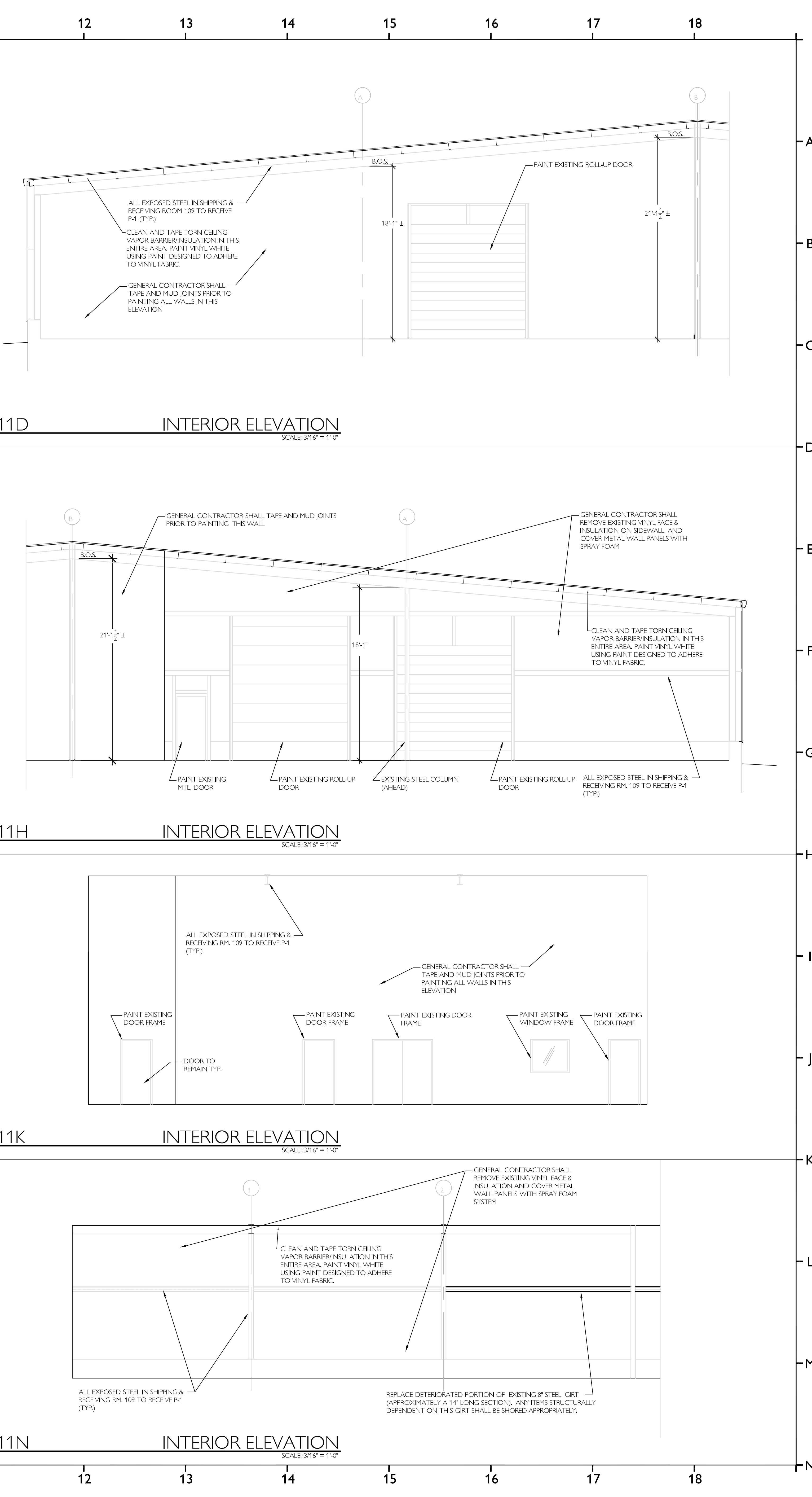
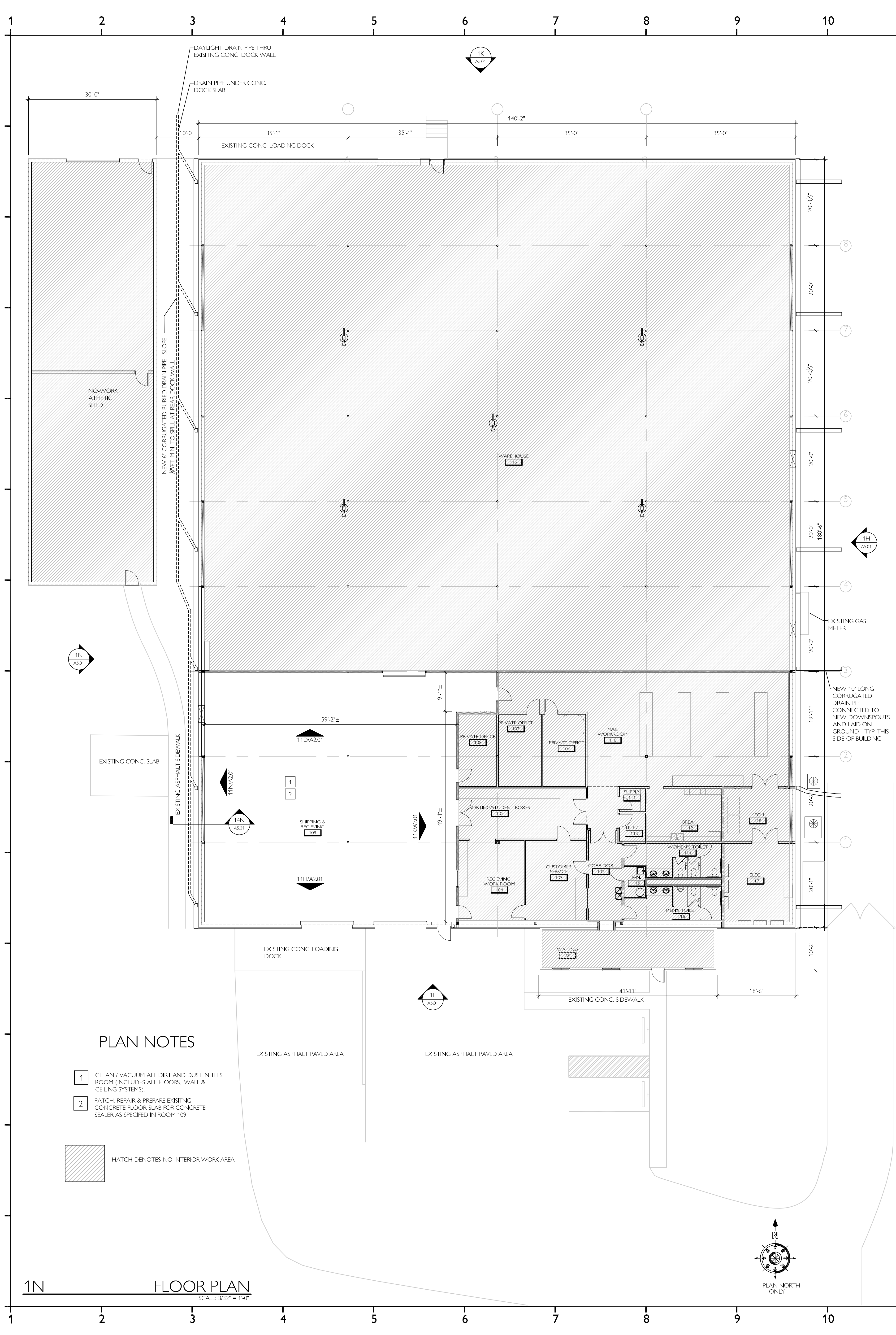
16N LIFE SAFETY PLAN LEGEND
SCALE: N.T.S.


Project Title:
UPSTATE 8000 VALLEY FALLS ROAD RENOVATIONS/UPGRADES - BUILDING REPAIRS

Client Logo:


Scale:

Project Number:
11031
Phase:
ISSUED FOR BID
Date:
01.04.2012
Drawn By:
DKI
Checked By:
MEK
Sheet Number:
A0.01
Sheet Title:
COVER SHEET






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Seals:

Revisions:

Project Number:
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Phase:
ISSUED FOR BID

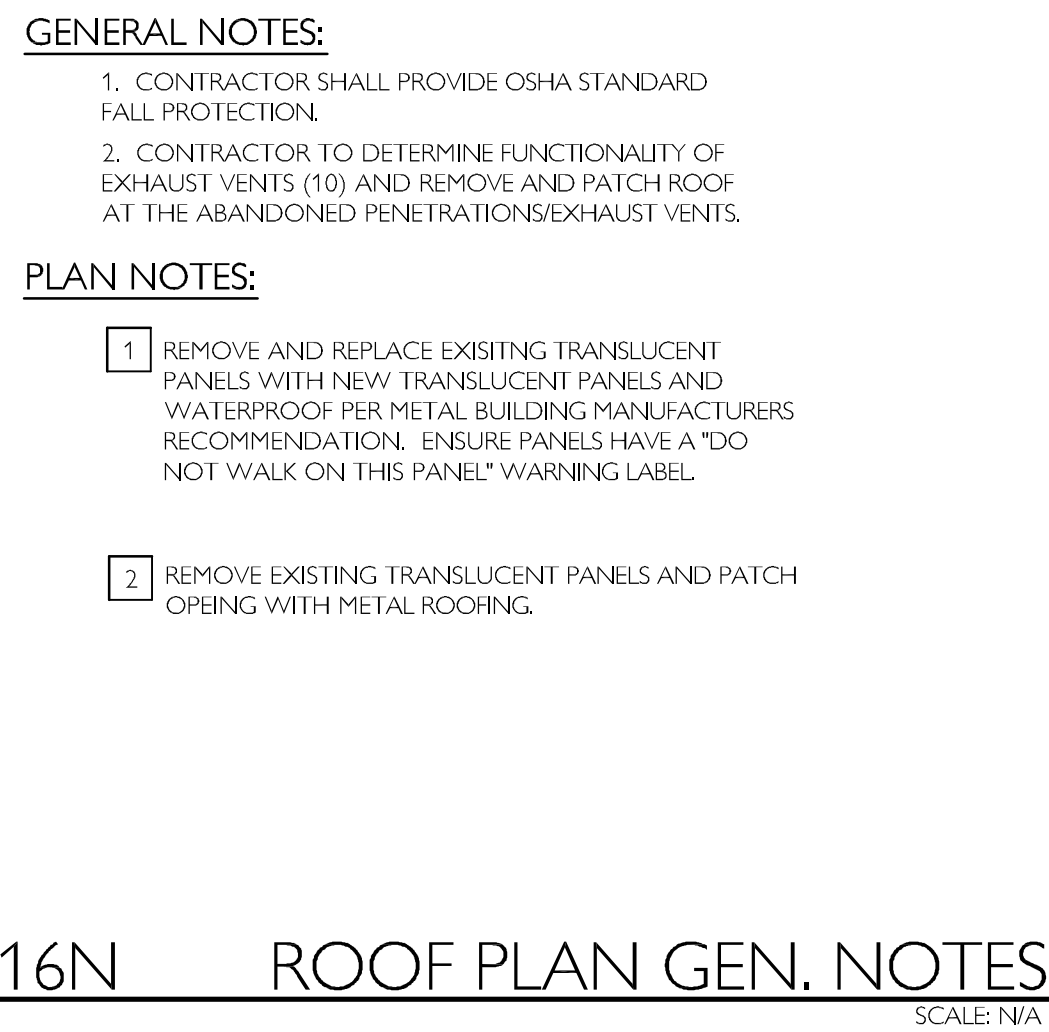
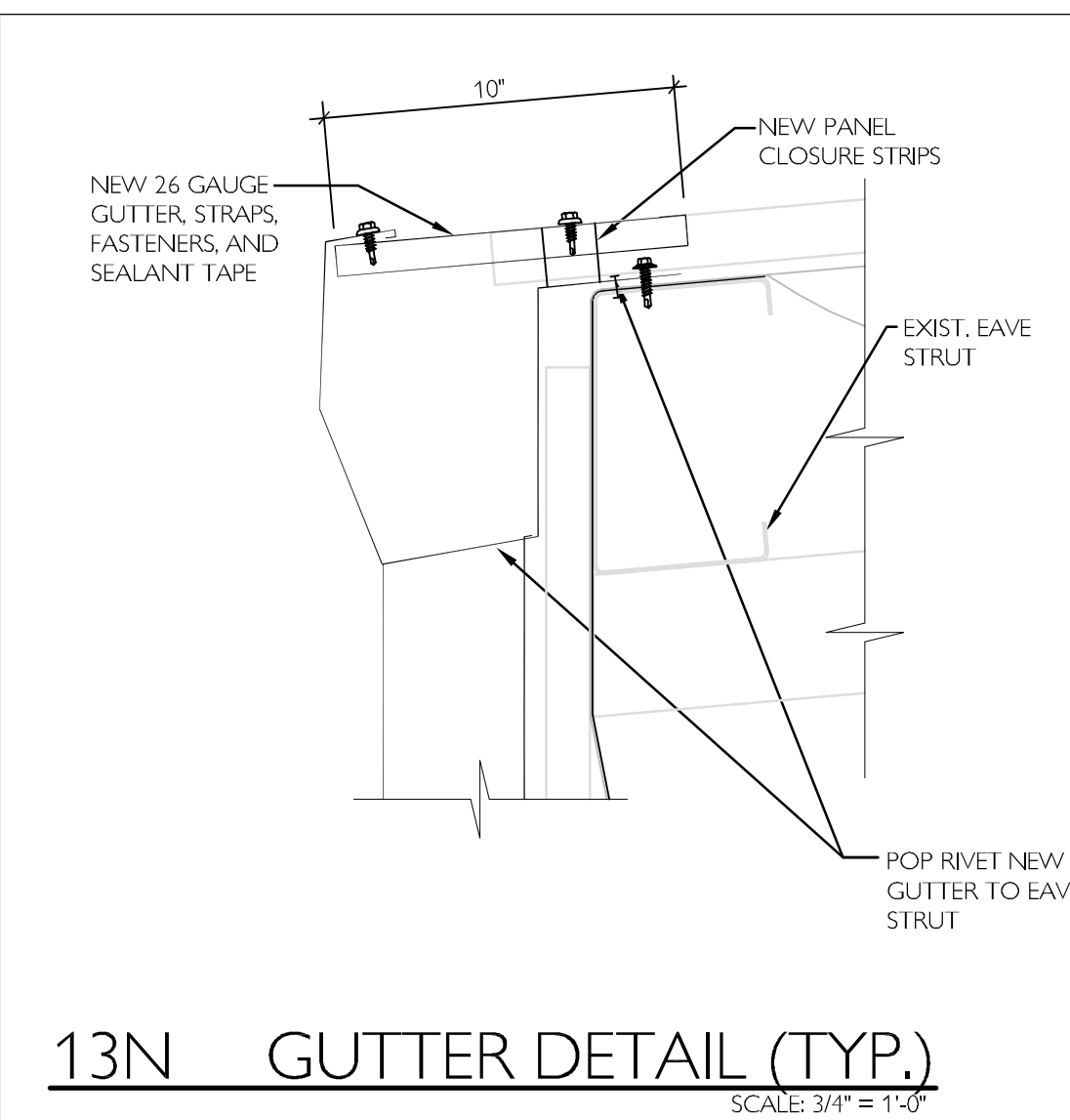
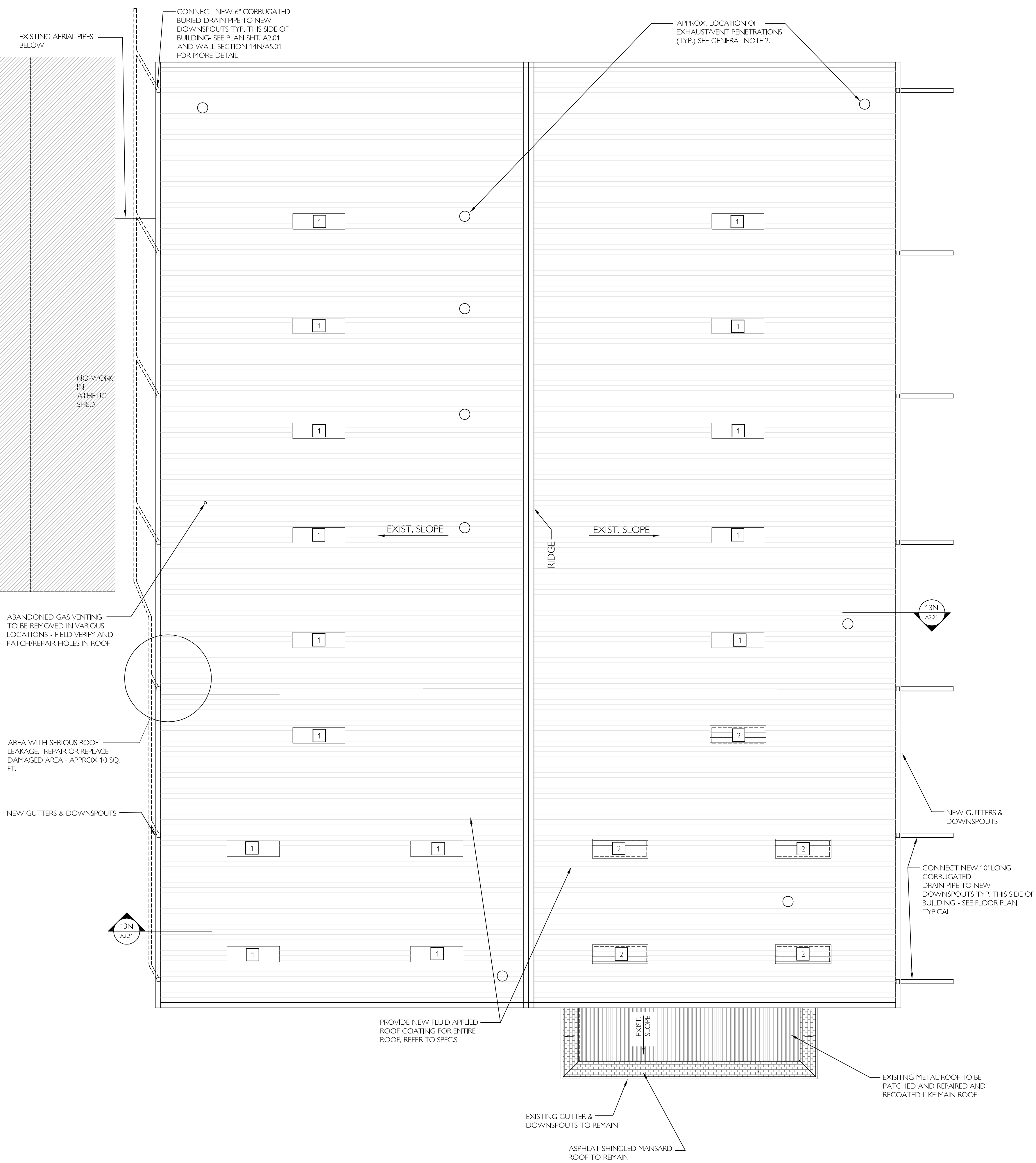
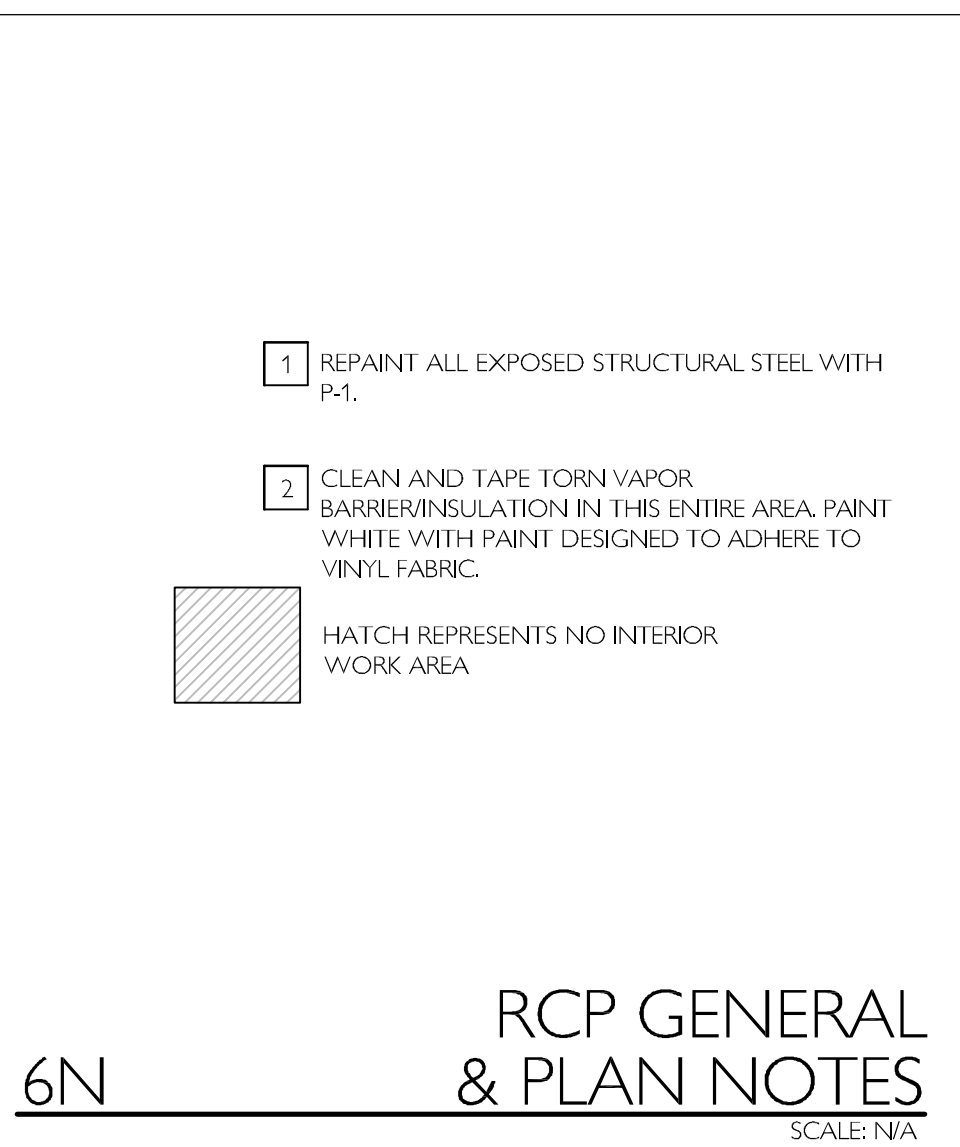
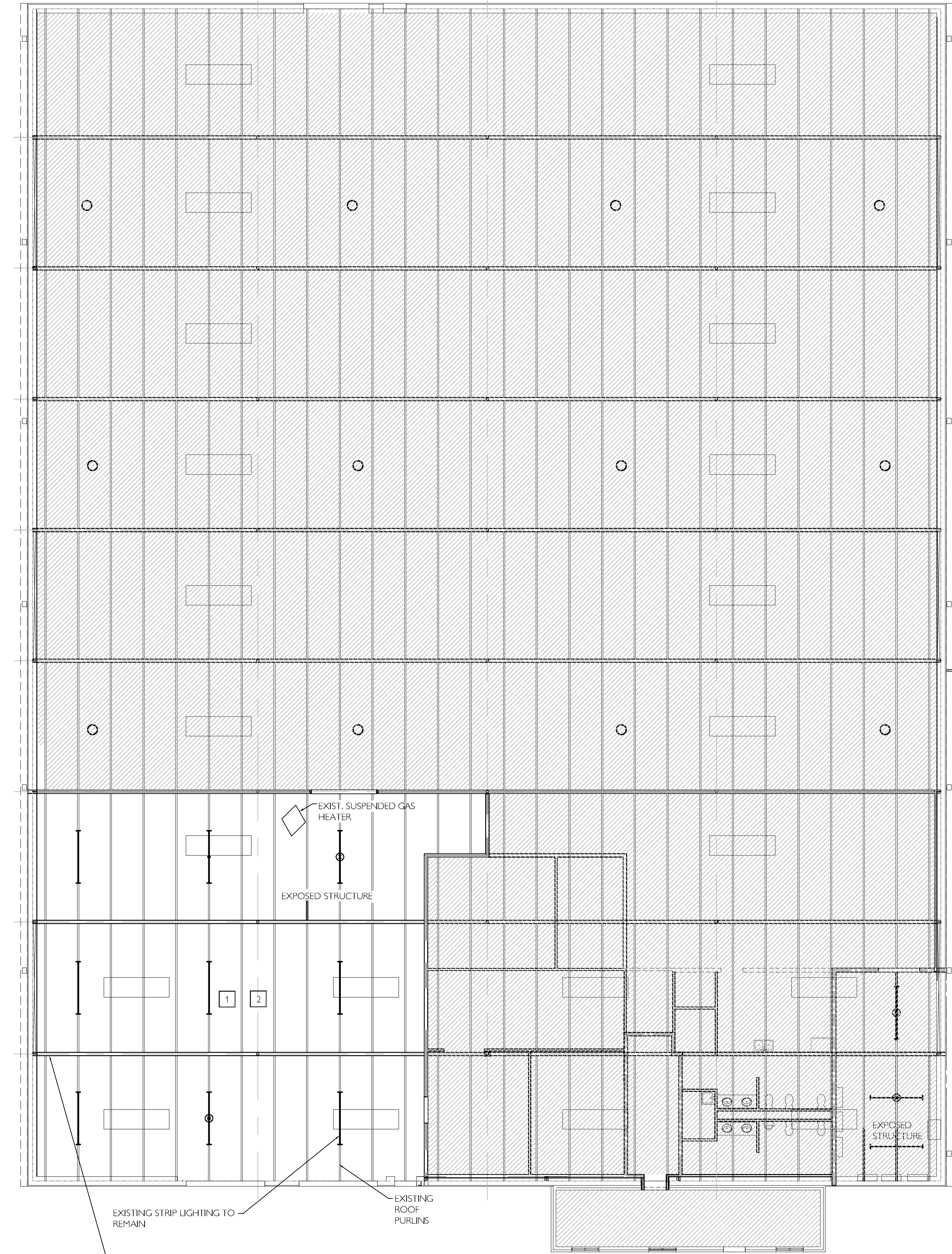
Date:
01.04.2012

Drawn By:
DKI

Checked By:
MEK

Sheet Number:
A2.01

Sheet Title:
FLOOR PLAN & DETAILS



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Client Logo:

UNIVERSITY OF
SOUTH CAROLINA
Upstate

Seals :

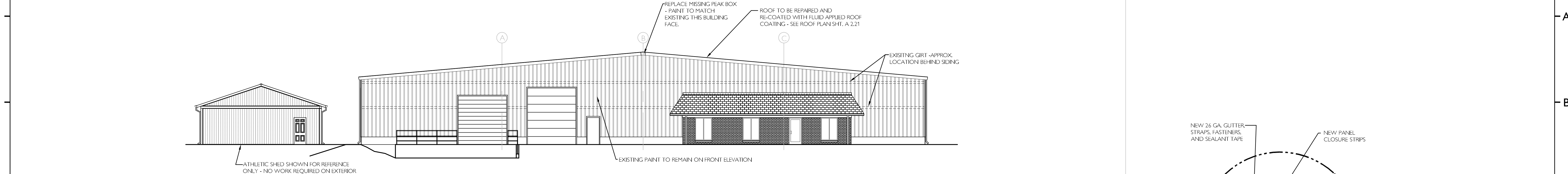
Revisions :

Project Number :
11031
Phase :
ISSUED FOR BID
Date :
01.04.2012
Drawn By :
DKI
Checked By :
MEK
Sheet Number :

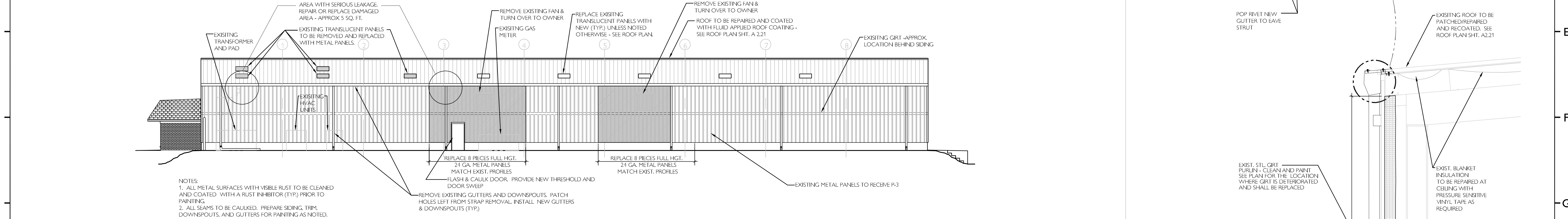
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Sheet Title :
**ROOF PLAN & REFLECTED CEILING
PLAN**

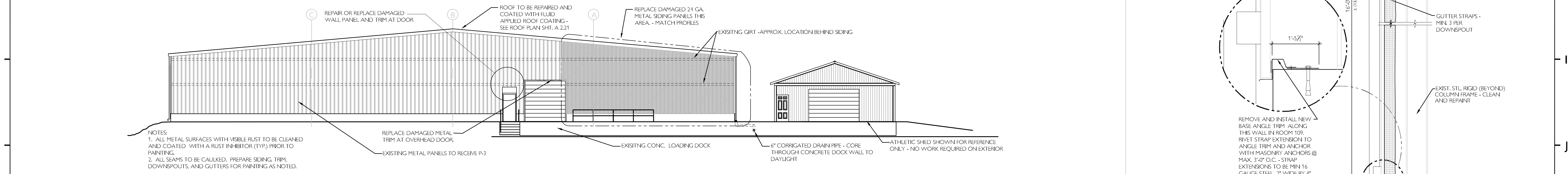
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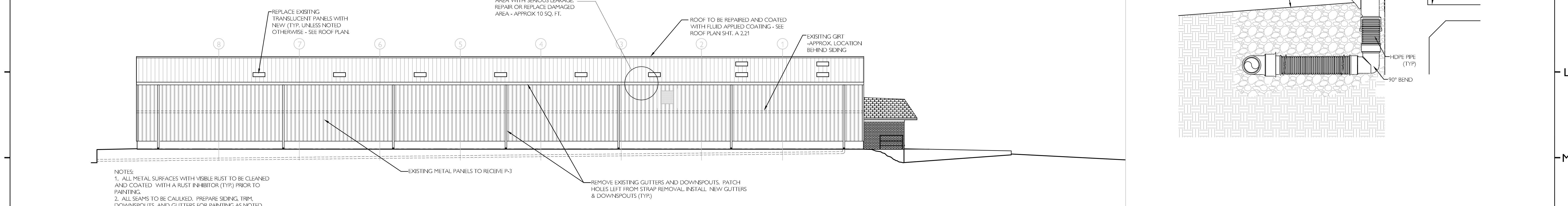
1D FRONT ELEVATION
SCALE: 3/32" = 1'-0"



1H RIGHT SIDE ELEVATION
SCALE: 3/32" = 1'-0"

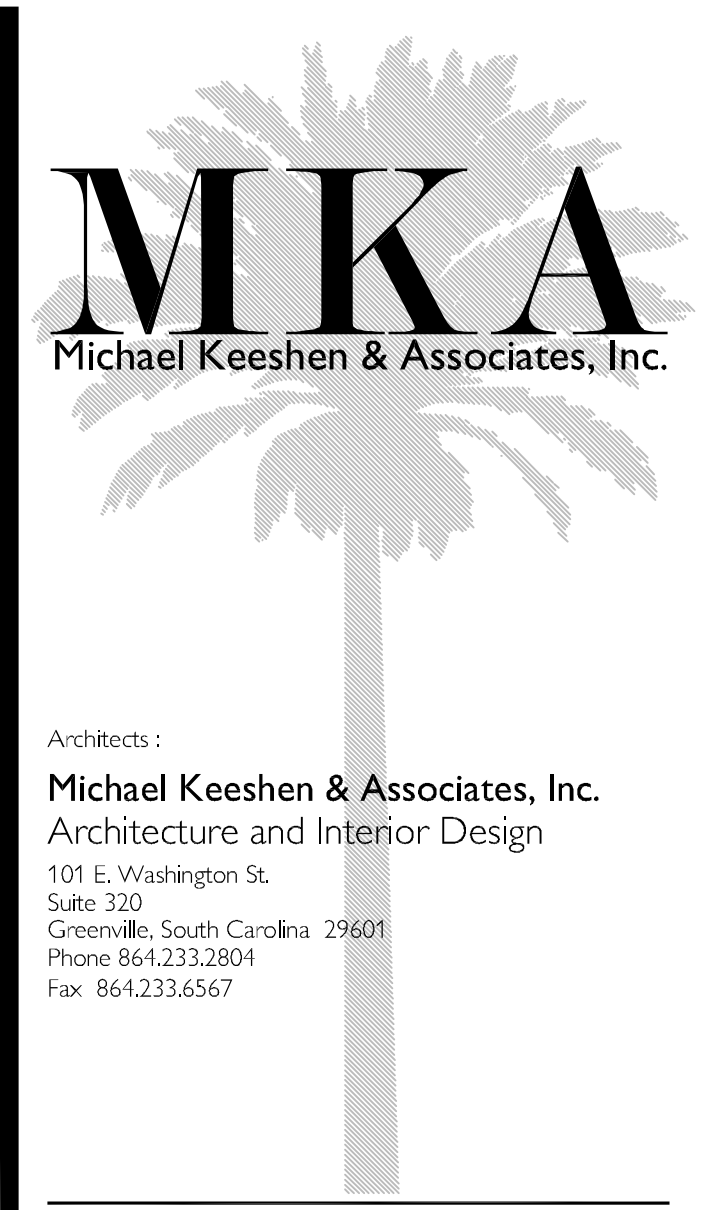
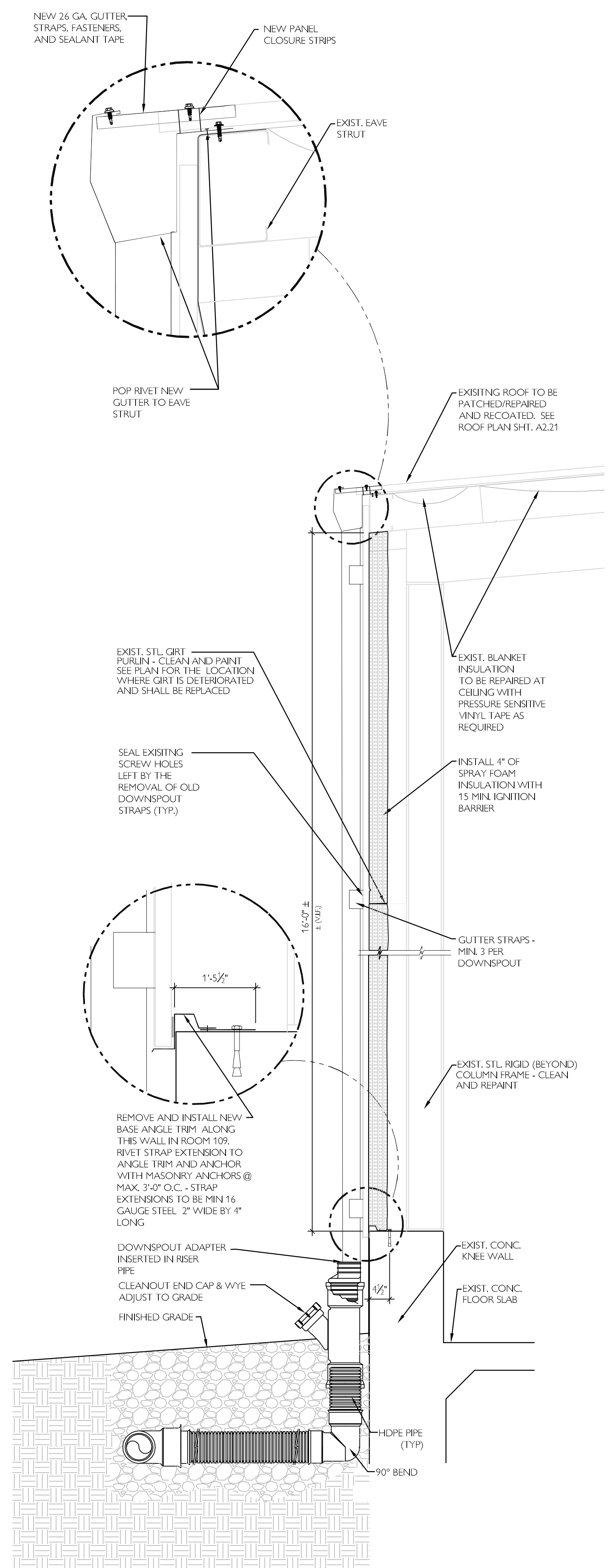


1K REAR ELEVATION
SCALE: 3/32" = 1'-0"



1N LEFT SIDE ELEVATION
SCALE: 3/32" = 1'-0"

14N EXTERIOR WALL SECTION - RM. 109
SCALE: 3/8" = 1'-0"



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Revisions:
#####

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Sheet Number:

A5.01
Sheet Title:
EXTERIOR ELEVATIONS