



**JUMPER CARTER SEASE/ARCHITECTS, P.A.**  
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**1600 HAMPTON ANNEX – RENOVATION (DLES)**

**PROJECT NO: H27-I997**  
**USC PROJECT NO: CP00345233**  
**JCS PROJECT NO: 12113**

**ADDENDUM 02**  
**April 3, 2014**

**GENERAL:**

1. Revise bid closing date, as listed on the SE-310 Request for Advertisement, to **4/9/2014** at 2:00 pm.
2. See attached demolition plans from previous Deferred Maintenance bid package (demolition shown for information only). Dashed lines indicate existing wall, door, casework, etc. being demolished under Deferred Maintenance contract. G.C. of this renovation package shall patch GWB surfaces of adjoining walls and column wraps smooth with additional GWB (taped, mudded, and sanded) as required. Demolition Plan sheets D100, D101, and D102 of this renovation package shall still apply.

**SPECIFICATIONS:**

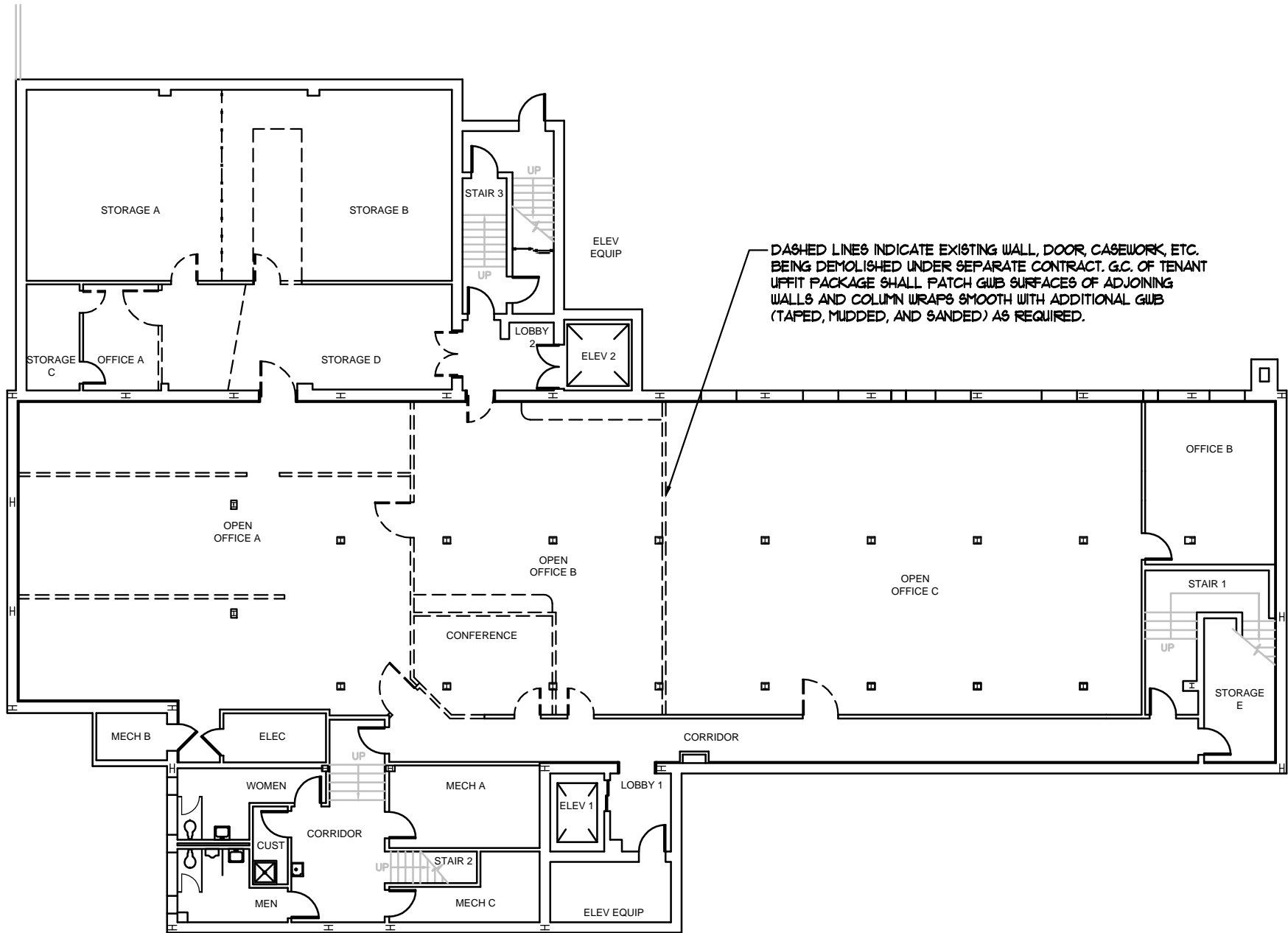
1. **Section 087100, Finish Hardware:** **ADD** the following hardware items for Door 221 only (at Server Room):  
  
S77                      smoke rated frame seal (PEMKO)  
4131CRL                automatic door bottom (PEMKO)  
271A                     threshold (PEMKO)

**DRAWINGS:**

1. **Sheet D100, D101, & D102, Demolition Plans:** **ADD** to Demolition General Note 8: "GC SHALL PATCH ALL WALL OPENINGS, INTERIOR OR EXTERIOR, WHERE MECHANICAL DEVICES OR DUCTWORK WERE REMOVED UNDER SEPARATE CONTRACT, WITH LIKE MATERIALS (GWB OR CMU) TO MATCH EXISTING SURFACES (PAINT TO MATCH EXISTING) – APPROXIMATELY (4) 2'X2' EXTERIOR OPENINGS IN CMU, AND APPROXIMATELY (6) 2'X2' INTERIOR OPENINGS IN GWB."

2. **Sheet A102, Floor Plan – 2nd Floor:** **ADD** note to floor plan at Server Room 221:  
“SEAL BOTTOM OF WALLS AT FLOOR SLAB AND TOP OF WALLS AT DECK WITH NON-FIRE-RATED CAULK BOTH SIDES OF WALL (NEW AND EXISTING WALLS AT SERVER ROOM 221).”
3. **Sheet FP1, Sprinkler Notes (from Addendum 01):** In Sprinkler System Hatch Key, **REVISE** all references to “CONCEALED PENDENT HEADS” to be “SEMI-RECESSED PENDENT HEADS” in accordance with the specifications.

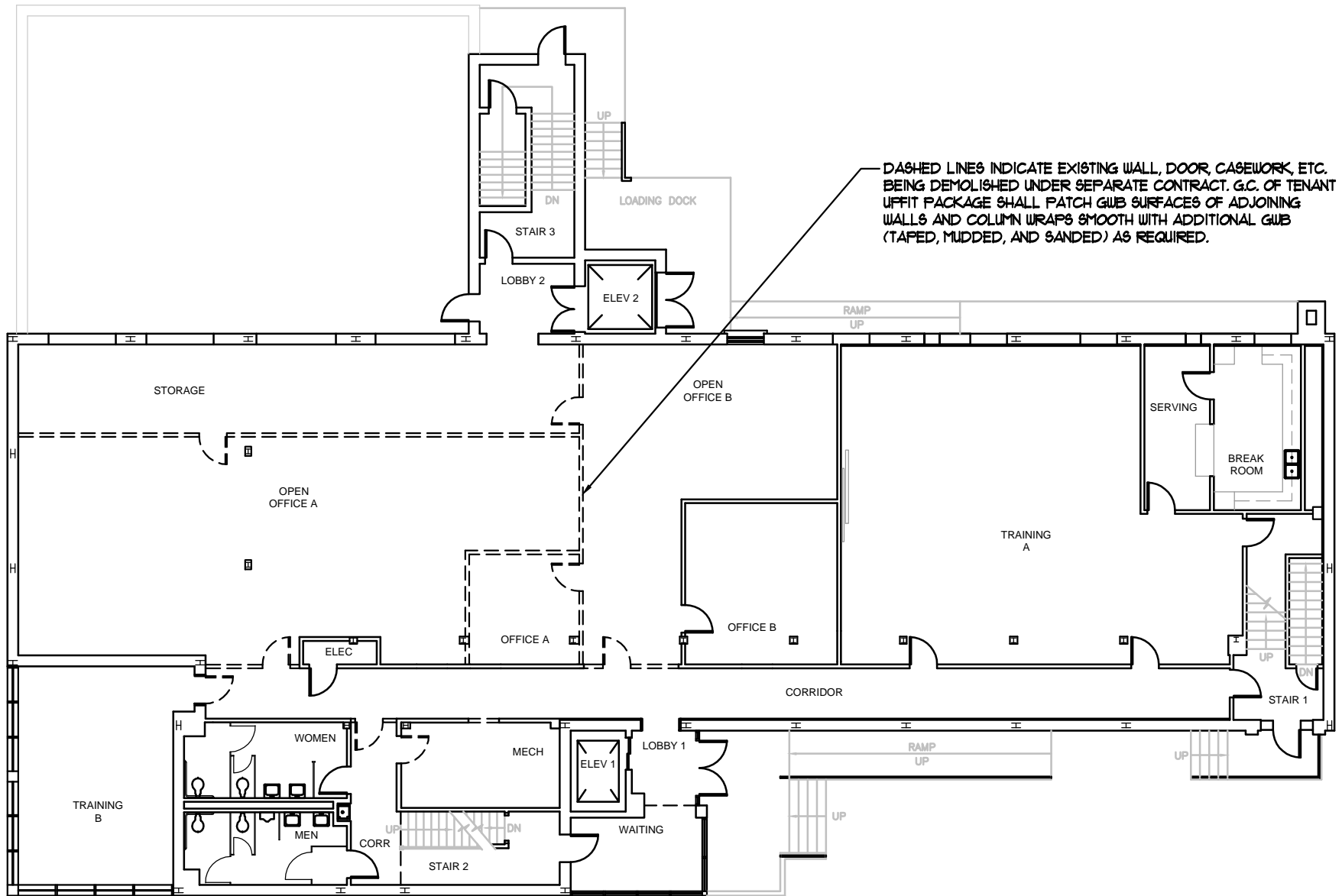
**END OF ADDENDUM**



**DEMOLITION PLAN - BASEMENT**

SCALE: 1/8" = 1'-0"



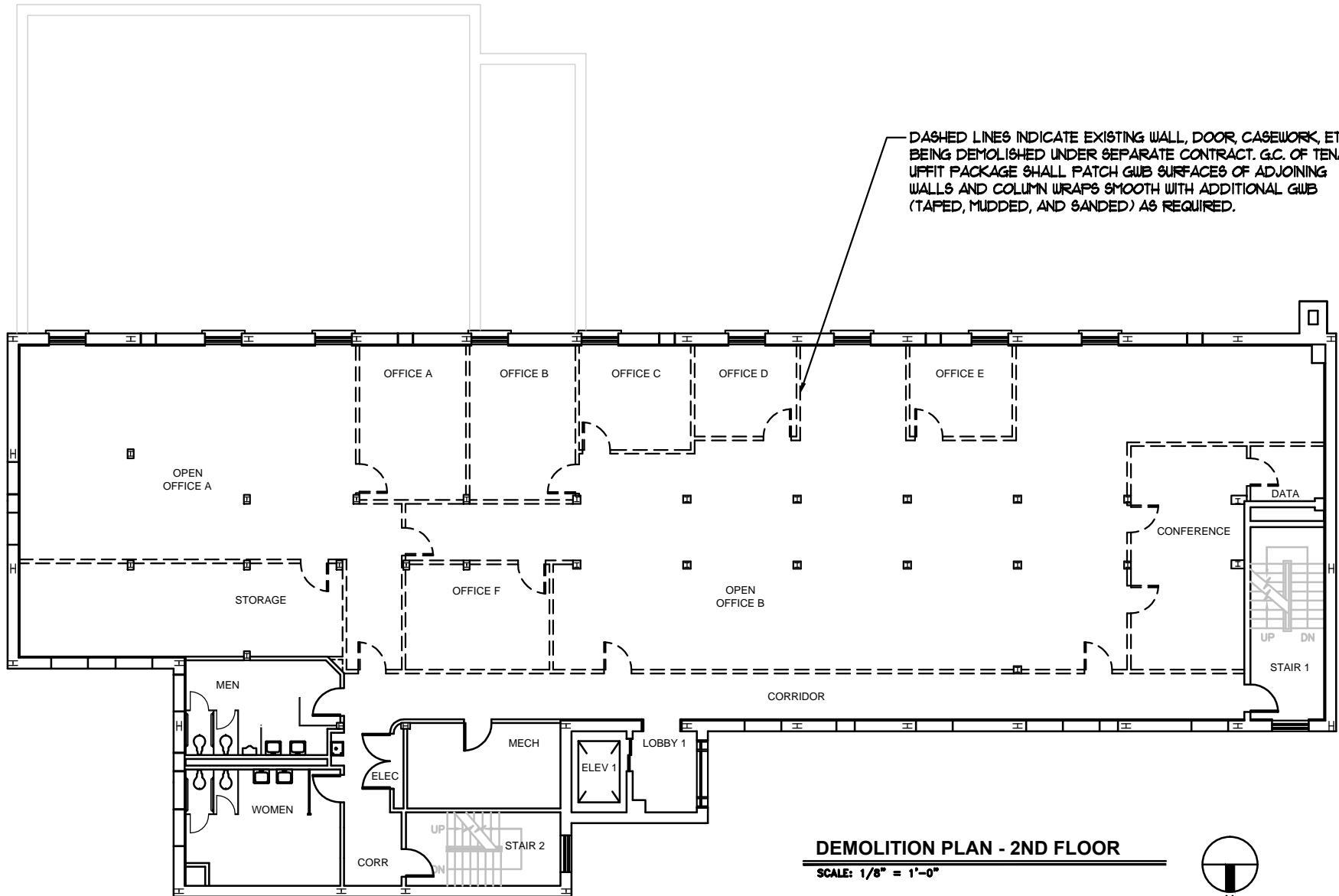


**DEMOLITION PLAN - 1ST FLOOR**

SCALE: 1/8" = 1'-0"



DASHED LINES INDICATE EXISTING WALL, DOOR, CASEWORK, ETC. BEING DEMOLISHED UNDER SEPARATE CONTRACT. G.C. OF TENANT UFFIT PACKAGE SHALL PATCH GUB SURFACES OF ADJOINING WALLS AND COLUMN WRAPS SMOOTH WITH ADDITIONAL GUB (TAPED, MUDDERED, AND SANDED) AS REQUIRED.

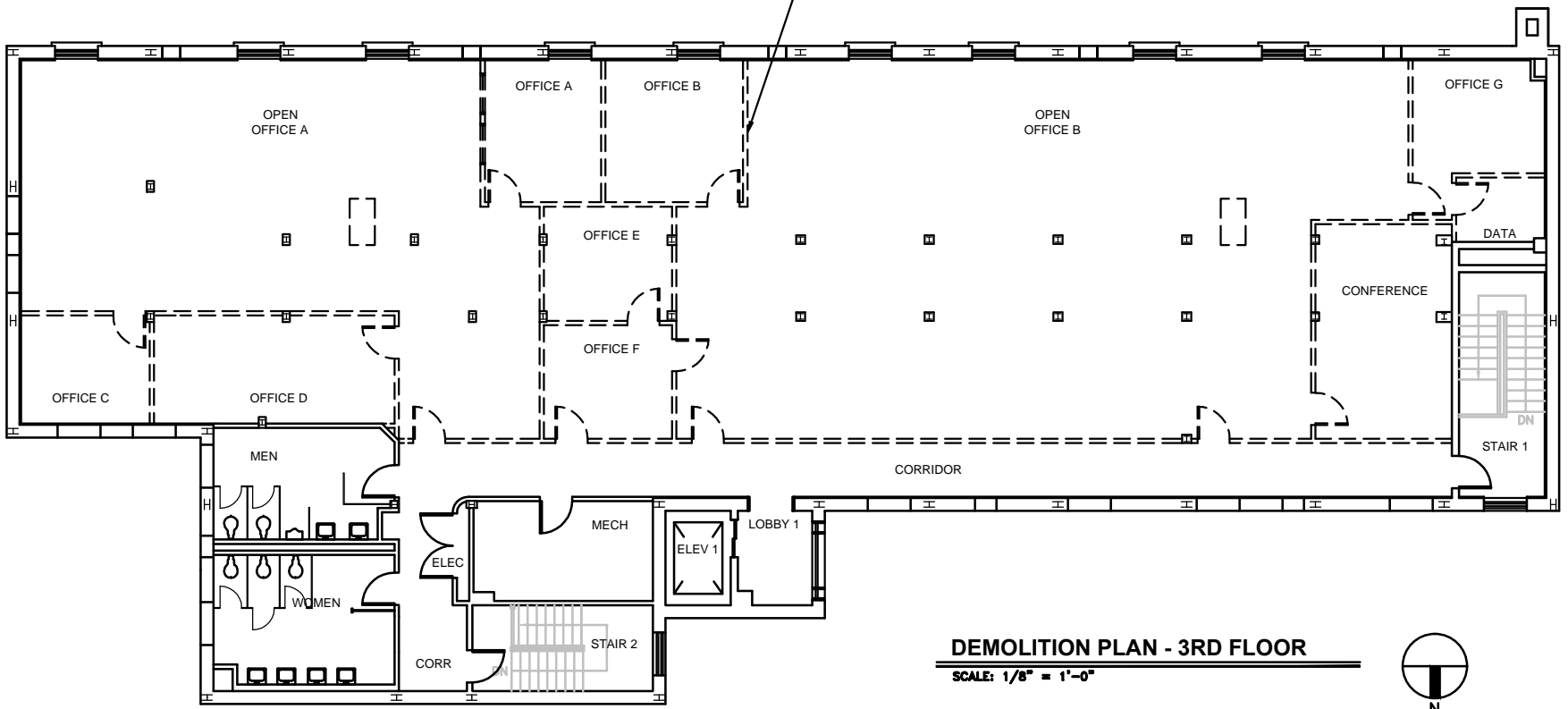


**DEMOLITION PLAN - 2ND FLOOR**

SCALE: 1/8" = 1'-0"



DASHED LINES INDICATE EXISTING WALL, DOOR, CASEWORK, ETC. BEING DEMOLISHED UNDER SEPARATE CONTRACT. G.C. OF TENANT UFFIT PACKAGE SHALL PATCH GUB SURFACES OF ADJOINING WALLS AND COLUMN WRAPS SMOOTH WITH ADDITIONAL GUB (TAPED, MUDDERED, AND SANDED) AS REQUIRED.



**DEMOLITION PLAN - 3RD FLOOR**  
SCALE: 1/8" = 1'-0"

