



University of South Carolina
Controllers Suite Renovations
1600 Hampton Street-6th Floor
Columbia, South Carolina

March 7, 2014

ADDENDUM No. 1

This addendum forms a part of the Contract documents and modifies the original Bidding Documents and any previous Addenda as noted below. Acknowledge receipt of this Addendum in the space provided in the Bid Form. Failure to do so may subject Bidder to disqualification.

MODIFICATIONS TO PREVIOUS ADDENDA:

None

SEE ATTACHED FOR PRE-BID SIGN-IN SHEET

GENERAL QUESTIONS :

1. QUESTION: There are several spaces on the Room Finish Schedule that have a dashed line in the floor and base finish columns. One example is space 614, an open space that contains several other finish spaces 614d, e f, etc. Should they receive a finish also?
ANSWER: See revised sheet A801, attached.
2. QUESTION: Who do we contact to make arrangements for subcontractors to visit the site?
ANSWER: An additional site visit has been scheduled for Monday, March 10, 2014 at 10:00am. We will meet at 1600 Hampton on the 6th floor in the elevator lobby. The site visit will be from 10-11 am. This will be the only additional site visit.
3. QUESTION: What hours will the building be open for construction?
ANSWER: Standard building hours are 8am-5pm. Any work beyond standard hours can be arranged with USC Police and Skip Long (USC Facilities Building Contact). See section 011000 – SUMMARY, attached.
4. QUESTION: Will elevator access be allowed?
ANSWER: Reference Section 015000 – TEMPORARY FACILITIES AND CONTROLS. Yes, freight elevator access will be allowed. Deliveries must be coordinated with Skip Long (USC Facilities Building Contact).

APPROVED PRODUCT SUBSTITUTIONS:

NONE

MODIFICATIONS TO PROJECT MANUAL:

1. Reference TABLE OF CONTENTS: DELETE section in its entirety. ADD TABLE OF CONTENTS, page 1-2 inclusive, attached.
2. Reference INVITATION FOR BIDS (SE-310), page 1: After "BID CLOSING DATE: 3/12/2014 TIME:", DELETE "1:00 PM" and ADD in its place "3:00 PM".
 - a. The bid time has been CHANGED to 3:00 PM.
3. Reference Section 011000 – SUMMARY: DELETE section in its entirety. ADD section 011000 – SUMMARY, pages 1-5 inclusive, attached.

4. Reference Section 012100 – ALLOWANCES: ADD section in its entirety, pages 1-3 inclusive, attached.
5. Reference Section 064116 – PLASTIC-LAMINATE-FACED ARCHITECTURAL CABINETS: DELETE section in its entirety. ADD section 064116 – PLASTIC-LAMINATE-FACED ARCHITECTURAL CABINETS, pages 1-8 inclusive, attached.
6. Reference ADDITIONAL INFORMATION: DELETE all sections in their entirety. ADD sections, attached:

USC WORK ORDER FM00425566	2
ASBESTOS BULK BUILDING MATERIAL-CHAIN OF CUSTODY 3983	5
Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116	5
Method using Polarized Light Microscopy	
Test Report: Asbestos Analysis of Non-Friable Organically Bound Materials	1
by TEM via EPA/600/R-93/116 Section 2.5.5.1	
USC WORK ORDER FM00438063	2
ASBESTOS BULK BUILDING MATERIAL-CHAIN OF CUSTODY 5946	2
Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116	1
Method using Polarized Light Microscopy	
Test Report: Asbestos Analysis of Non-Friable Organically Bound Materials	1
by TEM via EPA/600/R-93/116 Section 2.5.5.1	

MODIFICATIONS TO DRAWINGS:

1. Reference Sheet AD101 – DELETE Sheet AD101 dated 02.24.14, ADD in its place Sheet AD101 dated 02.24.14, revised 03.07.14, see attached.
 - a. Key Plan: True North Added
 - b. Detail 1: Misc Notes added and revised
 - c. Demolition Tags and Notes: Note 9 added
2. Reference Sheet AD102 – DELETE Sheet AD102 dated 02.24.14, ADD in its place Sheet AD102 dated 02.24.14, revised 03.07.14, see attached.
 - a. Key Plan: True North Added
 - b. Detail 1: Notes added
3. Reference Sheet A101 – DELETE Sheet A101 dated 02.24.14, ADD in its place Sheet A101 dated 02.24.14, revised 03.07.14, see attached.
 - a. Key Plan: True North Added
 - b. Detail 1: Renovation notes added; furniture tags deleted
 - c. Renovation Tags and Notes: Note 7 clarified
4. Reference Sheet A201 – DELETE Sheet A201 dated 02.24.14, ADD in its place Sheet A201 dated 02.24.14, revised 03.07.14, see attached.
 - a. Key Plan: True North Added
 - b. Detail 1: Notes added
5. Reference Sheet A801 – DELETE Sheet A801 dated 02.24.14, ADD in its place Sheet A801 dated 02.24.14, revised 03.07.14, see attached.
 - a. Key Plan: True North Added
 - b. General Door Notes: Note F revised to include hinges.
 - c. Door Schedule: Revisions to door comments and hardware
 - d. Room Finish Schedule: Furniture Tags and associated areas deleted, revisions to finishes
 - e. Room Finish Specifications: Plastic Laminate selections added; Carpet Tile selection modified

6. Reference Sheet A901 – DELETE Sheet A901 dated 02.24.14, ADD in its place Sheet A901 dated 02.24.14, revised 03.07.14, see attached.
 - a. Detail 2: Note Added
7. Reference Sheet E102, dated 02.24.14: AMEND per sketch SK-E1, dated 02.24.13, revised 03.07.14, attached.

END OF ADDEDNDUM NO. 1

University of South Carolina
Columbia, South Carolina

Project Name: Controller's Suite Renovations
Project Number: CP00377004
Pre Bid Date & Time: March 3, 2014 @ 10am

Name	Company Name	Address	Phone #	Email
James Hewitt	M. Dillon Construction Inc	PO Box 90472 Columbia SC 29204	(803) 673-1411	james@dillonconstruction.com
JASON PROUSE	HAMMER CONSTRUCTION	785 HAMPTON CREEKWAY COLUMBIA, 29209	803-783-7633	JASON@HAMMERLLC.COM
Tim Floyd	Summerfield Assoc	P.O. Box 5815 315 Pinhook Rd W. Columbia 29171	803-791-5035	Tinfloyd@SC.RE.COM
Dennis Childs	Construction Services OF SC, LLC	500 Greenwood Rd	803-794-5591	dchilds@cs of sc. com
Lee Bedenbaugh	Core Construction	PO Box 2132 West Columbia, SC 29771	803-7988788	lee@coreconstructionsc.com
CHRIS SEINAR	Penn Contracting	P.O. Box 204 Ballentine, SC 29002	803 407 9724 803 781 4142	CHRIS@PENNCONTRACTING.COM
DAN HURT	DAN'S HTSTACK LLC	521 OLD OAKS + BORG L2K 29073	803-526-7575	DAN@SHEATHING_AIR@M5.N.COM
Jessica Drafts	BarMack Contracting	3321 Forest Dr. Ste 111A Columbia, SC 29204	803-834-4250	jdrafts@barmackcontracting.com
Juaquana Brookins	USC	743 Greene St Columbia SC	803-791-3576	WMECoy@barmackcontracting.com jbrookins@fmc.sc.edu

University of South Carolina
Columbia, South Carolina

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Name	Company Name	Address	Phone #	Email
SHANNON CROUCH	HENLEY'S CONST. CO.	2876 HWY #9 CHERAW SC 29520	803.743.2650	SHANNONCROUCH@SC.FF.COM
Jeff Brannon	VSC - Hazmat		(803) 917-4387	brannonm@fmc.sc.edu
Skip Long	VSC		509-3022	mLong@FMC.SC.EDU
Frank Sprinkle	Lindler Construction	551 S Edisto Columbia, SC 29205	803 252-9948 315-1688	Sprinklef@aol.com
Aldin Zimmerman	VSC		777-0298	RobinZ@fmc.sc.edu
UNDA A GIACCA	VSC - FIDC	7th GIBSONE	777-0424	lucciad@fmc.sc.edu
Jared Rickard	Capitol Construction of the Carolinas	704 Ramsgate Dr. Spartanburg SC 29301	864-809-7628	Jared@CapitolConstruction.us Bids@CapitolConstruction.us
Ashley Scott	ltd Design	P.O. Box 5075 Columbia, SC 29200	803.834.4044	ascott@ltddesign.com
Anna Fender	"	"	"	afender@ltdesign.com

Division	Section Title	Pages
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BID BOND (AIA A310)	1
SE-330-LUMP SUM BID	5
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ADDITIONAL INFORMATION

USC WORK ORDER FM00425566	2
ASBESTOS BULK BUILDING MATERIAL-CHAIN OF CUSTODY 3989	5
Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 Method using Polarized Light Microscopy	5
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ASBESTOS BULK BUILDING MATERIAL-CHAIN OF CUSTODY 5946	2
Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 Method using Polarized Light Microscopy	1
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SECTION 011000 - SUMMARY

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:

1. Project information.
2. Work covered by Contract Documents.
3. Phased construction.
4. Work by Owner.
5. Work under separate contracts.
6. Owner-furnished products.
7. Access to site.
8. Coordination with occupants.
9. Work restrictions.
10. Specification and drawing conventions.

- B. Related Requirements:

1. Section 015000 "Temporary Facilities and Controls" for limitations and procedures governing temporary use of Owner's facilities.

1.3 PROJECT INFORMATION

- A. Project Identification: Controllers Suite Renovations

1. Project Location: 1600 Hampton Street, 6th Floor, Columbia, SC 29201

- B. Owner: University of South Carolina

1. Owner's Representative: Linda Ciaccia, Project Manager

- C. Architect: 1x1 Design, Inc.

1. Architect's Representative: Asheley Scott, President

NOTE: Architect retained for limited Construction Administration Services. Responsibilities indicated in these documents to be completed or managed by the "Architect" may be completed by the "Owner's Representative". Further clarification will be provided in the Pre-Construction Conference.

- D. Other Owner Consultants: The Owner has retained the following design professionals who have prepared designated portions of the Contract Documents:
1. Mechanical: Mechanical Design, Inc., Denny Wilds
 2. Plumbing: Mechanical Design, Inc., Denny Wilds
 3. Fire Protection: Mechanical Design, Inc., M.C. Hendrix
 4. Electrical: Belka Engineering Associates, Inc., Kevin Belka
 5. Fire Alarm: Belka Engineering Associates, Inc., Kevin Belka
- E. Project Coordinator for Multiple Contracts: Linda Ciaccia has been appointed by Owner to serve as Project coordinator.

1.4 WORK COVERED BY CONTRACT DOCUMENTS

- A. The Work of Project is defined by the Contract Documents and consists of the following:
1. Interior Renovation of approximately 14,000 sf on the 6th floor of the building at 1600 Hampton Street. The renovations will occur in two phases. The end user is the Controllers Office for the University of South Carolina.
- B. Type of Contract:
1. Project will be constructed under a single prime contract.

1.5 PHASED CONSTRUCTION

- A. The Work shall be conducted in Two phases, with each phase substantially complete as indicated:
1. Phase One: Interior renovation of office space, plan north on drawings. Work of this phase shall commence by April 8, 2014 and be substantially complete and ready for occupancy by Friday, May 9, 2014.
 2. Phase Two: Work for this phase shall commence following Substantial Completion of Phase I and be substantially complete by Friday, June 13, 2014.
- B. Before commencing Work of each phase, submit an updated copy of Contractor's construction schedule showing the sequence, commencement and completion dates, and move-out and -in dates of Owner's personnel for all phases of the Work.

1.6 WORK BY OWNER

- A. General: Cooperate fully with Owner so work may be carried out smoothly, without interfering with or delaying work under this Contract or work by Owner. Coordinate the Work of this Contract with work performed by Owner.

- B. Preceding Work: Owner will perform the following construction operations at Project site. Those operations are scheduled to be substantially complete before work under this Contract begins.
 - 1. Hazardous materials will be abated prior to the start of the work covered by this set of Contract Documents. Abatement will be completed in phases, along with the phases of work in the Contract Documents.

1.7 WORK UNDER SEPARATE CONTRACTS

- A. General: Cooperate fully with separate contractors so work on those contracts may be carried out smoothly, without interfering with or delaying work under this Contract or other contracts. Coordinate the Work of this Contract with work performed under separate contracts.
- B. Subsequent Work: Owner will award separate contract(s) for the following additional work to be performed at site following Substantial Completion. Completion of that work will depend on successful completion of preparatory work under this Contract.
 - 1. Furniture Procurement and Installation: To qualified vendor to provide and install new furniture, installed after substantial completion of each phase.

1.8 OWNER-FURNISHED PRODUCTS

- A. Owner will furnish products indicated. The Work includes receiving, unloading, handling, storing, protecting, and installing Owner-furnished products.
- B. Owner-Furnished Products:
 - 1. Refrigerators, coffee makers, microwaves

1.9 ACCESS TO SITE

- A. General: Contractor shall have limited use of Project site for construction operations as indicated on Drawings by the Contract limits and as indicated by requirements of this Section.
- B. Condition of Existing Building: Maintain portions of existing building affected by construction operations in a weathertight condition throughout construction period. Repair damage caused by construction operations.
- C. Coordinate access with USC Project Manager.

1.10 COORDINATION WITH OCCUPANTS

- A. Partial Owner Occupancy: Owner will occupy the premises during entire construction period, with the exception of areas under construction. Cooperate with Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with Owner's operations. Maintain existing exits unless otherwise indicated.

1. Maintain access to existing walkways, corridors, and other adjacent occupied or used facilities. Do not close or obstruct walkways, corridors, or other occupied or used facilities without written permission from Owner and authorities having jurisdiction.
2. Provide not less than 72 hours' notice to Owner of activities that will affect Owner's operations.

B. Coordinate access with USC Project Manager.

1.11 WORK RESTRICTIONS

A. Coordinate work restrictions with USC Project Manager.

B. Work Restrictions, General: Comply with restrictions on construction operations.

1. Comply with limitations on use of public streets and with other requirements of authorities having jurisdiction.

C. **On-Site Work Hours: Limit work in the existing building to normal business working hours of 8 a.m. to 5 p.m., Monday through Friday, unless otherwise indicated. Any work beyond standard hours can be arranged with USC Police and Skip Long (USC Facilities Building Contact).**

1. Hours for Utility Shutdowns: Coordinate with Owner's Representative

D. Existing Utility Interruptions: Do not interrupt utilities serving facilities occupied by Owner or others unless permitted under the following conditions and then only after providing temporary utility services according to requirements indicated:

1. Notify Owner not less than two days in advance of proposed utility interruptions.
2. Obtain Owner's written permission before proceeding with utility interruptions.

E. Noise, Vibration, and Odors: Coordinate operations that may result in high levels of noise and vibration, odors, or other disruption to Owner occupancy with Owner.

1. Notify Owner not less than two days in advance of proposed disruptive operations.
2. Obtain Owner's written permission before proceeding with disruptive operations.

F. Nonsmoking Building: Smoking is not permitted within the building or within 25 feet of entrances, operable windows, or outdoor-air intakes.

G. Controlled Substances: Use of tobacco products and other controlled substances on Project site is not permitted.

H. Employee Identification: Owner will provide identification tags for Contractor personnel working on Project site. Require personnel to use identification tags at all times.

I. Employee Screening: Comply with Owner's requirements for drug and background screening of Contractor personnel working on Project site.

1. Maintain list of approved screened personnel with Owner's representative.

1.12 SPECIFICATION AND DRAWING CONVENTIONS

- A. Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
 1. Imperative mood and streamlined language are generally used in the Specifications. The words "shall," "shall be," or "shall comply with," depending on the context, are implied where a colon (:) is used within a sentence or phrase.
 2. Specification requirements are to be performed by Contractor unless specifically stated otherwise.
- B. Division 01 General Requirements: Requirements of Sections in Division 01 apply to the Work of all Sections in the Specifications.
- C. Drawing Coordination: Requirements for materials and products identified on Drawings are described in detail in the Specifications. One or more of the following are used on Drawings to identify materials and products:
 1. Terminology: Materials and products are identified by the typical generic terms used in the individual Specifications Sections.
 2. Abbreviations: Materials and products are identified by abbreviations scheduled on Drawings.
 3. Keynoting: Materials and products are identified by reference keynotes referencing Specification Section numbers found in this Project Manual.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF SECTION 011000

SECTION 012100 - ALLOWANCES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements governing allowances.
 - 1. Certain items are specified in the Contract Documents by allowances. Allowances have been established in lieu of additional requirements and to defer selection of actual materials and equipment to a later date when direction will be provided to Contractor. If necessary, additional requirements will be issued by Change Order.
- B. Types of allowances include the following:
 - 1. Lump-sum allowances.
- C. Related Requirements:
 - 1. Section 014000 "Quality Requirements" for procedures governing the use of allowances for testing and inspecting.

1.3 SELECTION AND PURCHASE

- A. At the earliest practical date after award of the Contract, advise Architect of the date when final selection and purchase of each product or system described by an allowance must be completed to avoid delaying the Work.
- B. At Architect's request, obtain proposals for each allowance for use in making final selections. Include recommendations that are relevant to performing the Work.
- C. Purchase products and systems selected by Architect from the designated supplier.

1.4 ACTION SUBMITTALS

- A. Submit proposals for purchase of products or systems included in allowances, in the form specified for Change Orders.

1.5 INFORMATIONAL SUBMITTALS

- A. Coordinate and process submittals for allowance items in same manner as for other portions of the Work.

1.6 COORDINATION

- A. Coordinate allowance items with other portions of the Work. Furnish templates as required to coordinate installation.

1.7 LUMP-SUM ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials ordered by Owner or selected by Architect under allowance and shall include taxes, freight, and delivery to Project site.
- B. Unless otherwise indicated, Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials under allowance shall be included as part of the Contract Sum and not part of the allowance.
- C. Unused Materials: Return unused materials purchased under an allowance to manufacturer or supplier for credit to Owner, after installation has been completed and accepted.
 - 1. If requested by Architect, retain and prepare unused material for storage by Owner. Deliver unused material to Owner's storage space as directed.

1.8 ADJUSTMENT OF ALLOWANCES

- A. Allowance Adjustment: To adjust allowance amounts, prepare a Change Order proposal based on the difference between purchase amount and the allowance, multiplied by final measurement of work-in-place where applicable. If applicable, include reasonable allowances for cutting losses, tolerances, mixing wastes, normal product imperfections, and similar margins.
 - 1. Include installation costs in purchase amount only where indicated as part of the allowance.
 - 2. If requested, prepare explanation and documentation to substantiate distribution of overhead costs and other margins claimed.
 - 3. Submit substantiation of a change in scope of work, if any, claimed in Change Orders related to unit-cost allowances.
 - 4. Owner reserves the right to establish the quantity of work-in-place by independent quantity survey, measure, or count.

- B. Submit claims for increased costs because of a change in scope or nature of the allowance described in the Contract Documents, whether for the purchase order amount or Contractor's handling, labor, installation, overhead, and profit.
 - 1. Do not include Contractor's or subcontractor's indirect expense in the Change Order cost amount unless it is clearly shown that the nature or extent of work has changed from what could have been foreseen from information in the Contract Documents.
 - 2. No change to Contractor's indirect expense is permitted for selection of higher- or lower-priced materials or systems of the same scope and nature as originally indicated.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine products covered by an allowance promptly on delivery for damage or defects. Return damaged or defective products to manufacturer for replacement.

3.2 PREPARATION

- A. Coordinate materials and their installation for each allowance with related materials and installations to ensure that each allowance item is completely integrated and interfaced with related work.

3.3 SCHEDULE OF ALLOWANCES

- A. Allowance No. 1: Lump-Sum Allowance: Include the sum of \$1,000 for floor patching at areas of penetrations caused by former tenant.
 - 1. This allowance includes material cost, receiving, handling, and installation, and Contractor overhead and profit.
- B. Allowance No. 1: Lump-Sum Allowance: Include the sum of \$500 for paint touch-up and ceiling tile replacement due to hazardous materials remediation, by others, under separate contract.
 - 1. This allowance includes material cost, receiving, handling, and installation, and Contractor overhead and profit.

END OF SECTION 012100

SECTION 064116 - PLASTIC-LAMINATE-FACED ARCHITECTURAL CABINETS

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:

1. Plastic-laminate-faced architectural cabinets.
2. Wood furring, blocking, shims, and hanging strips for installing plastic-laminate-faced architectural cabinets unless concealed within other construction before cabinet installation.

- B. Related Requirements:

1.3 ACTION SUBMITTALS

- A. Product Data: For each type of product, including high-pressure decorative laminate and cabinet hardware and accessories.

1. Include data for fire-retardant treatment from chemical-treatment manufacturer and certification by treating plant that treated materials comply with requirements.

- B. Shop Drawings: Show location of each item, dimensioned plans and elevations, large-scale details, attachment devices, and other components.

1. Show details full size.
2. Show locations and sizes of furring, blocking, and hanging strips, including concealed blocking and reinforcement specified in other Sections.
3. Show locations and sizes of cutouts and holes for electrical switches and outlets and other items installed in architectural plastic-laminate cabinets.
4. Apply AWI Quality Certification Program label to Shop Drawings.

~~C. Samples for Initial Selection:~~

- ~~1. Plastic laminates.~~
- ~~2. PVC edge material.~~
- ~~3. Thermoset decorative panels.~~

- D. Samples for Verification:

1. Plastic laminates, 8 by 10 inches, for each type, color, pattern, and surface finish.

- a. PL-1/Countertops: WilsonArt; 4820-60; Carbon EV
- b. PL-2/Cabinets: WilsonArt: 7924K-07; Biltmore Cherry

- 2. Exposed cabinet hardware and accessories, one unit for each type and finish.

1.4 INFORMATIONAL SUBMITTALS

- A. Qualification Data: For Installer and fabricator.
- B. Product Certificates: For the following:
 - 1. Composite wood and agrifiber products.
 - 2. Thermoset decorative panels.
 - 3. Adhesives.
- C. Woodwork Quality Standard Compliance Certificates: AWI Quality Certification Program certificates.
- D. Evaluation Reports: For fire-retardant-treated materials, from ICC-ES.

1.5 QUALITY ASSURANCE

- A. Fabricator Qualifications: Shop that employs skilled workers who custom fabricate products similar to those required for this Project and whose products have a record of successful in-service performance. Shop is a certified participant in AWI's Quality Certification Program.
- B. Installer Qualifications: Certified participant in AWI's Quality Certification Program.
- C. Testing Agency Qualifications: For testing agency providing classification marking for fire-retardant-treated material, an inspection agency acceptable to authorities having jurisdiction that periodically performs inspections to verify that the material bearing the classification marking is representative of the material tested.

1.6 DELIVERY, STORAGE, AND HANDLING

- A. Do not deliver cabinets until painting and similar operations that could damage woodwork have been completed in installation areas. If cabinets must be stored in other than installation areas, store only in areas where environmental conditions comply with requirements specified in "Field Conditions" Article.

1.7 FIELD CONDITIONS

- A. Environmental Limitations: Do not deliver or install cabinets until building is enclosed, wet work is complete, and HVAC system is operating and maintaining temperature and relative humidity at occupancy levels during the remainder of the construction period.

- B. Environmental Limitations: Do not deliver or install cabinets until building is enclosed, wet work is complete, and HVAC system is operating and maintaining temperature between 60 and 90 deg F (16 and 32 deg C) and relative humidity between 25 and 55 percent during the remainder of the construction period.
- C. Field Measurements: Where cabinets are indicated to fit to other construction, verify dimensions of other construction by field measurements before fabrication, and indicate measurements on Shop Drawings. Coordinate fabrication schedule with construction progress to avoid delaying the Work.
 - 1. Locate concealed framing, blocking, and reinforcements that support cabinets by field measurements before being enclosed, and indicate measurements on Shop Drawings.
- D. Established Dimensions: Where cabinets are indicated to fit to other construction, establish dimensions for areas where cabinets are to fit. Provide allowance for trimming at site, and coordinate construction to ensure that actual dimensions correspond to established dimensions.

1.8 COORDINATION

- A. Coordinate sizes and locations of framing, blocking, furring, reinforcements, and other related units of Work specified in other Sections to ensure that cabinets can be supported and installed as indicated.

PART 2 - PRODUCTS

2.1 PLASTIC-LAMINATE-FACED ARCHITECTURAL CABINETS

- A. Quality Standard: Unless otherwise indicated, comply with the "Architectural Woodwork Standards" for grades of architectural plastic-laminate cabinets indicated for construction, finishes, installation, and other requirements.
- B. Grade: Custom.
- C. Type of Construction: Frameless
- D. Cabinet, Door, and Drawer Front Interface Style: Flush overlay.
- E. Reveal Dimension: 1/2 inch.
- F. High-Pressure Decorative Laminate: NEMA LD 3, grades as indicated or if not indicated, as required by woodwork quality standard.
- G. Laminate Cladding for Exposed Surfaces:
 - 1. Horizontal Surfaces: Grade HGS
 - 2. Postformed Surfaces: Grade HGP.

3. Vertical Surfaces: Grade VGS.
4. Edges: Grade HGS.
5. Pattern Direction: Vertically for drawer fronts, doors, and fixed panels.

H. Materials for Semiexposed Surfaces:

1. Drawer Sides and Backs: Thermoset decorative panels with PVC or polyester edge banding.
2. Drawer Bottoms: Thermoset decorative panels.

I. Concealed Backs of Panels with Exposed Plastic-Laminate Surfaces: High-pressure decorative laminate, NEMA LD 3, Grade BKL.

J. Drawer Construction: Fabricate with exposed fronts fastened to subfront with mounting screws from interior of body.

1. Join subfronts, backs, and sides with glued rabbeted joints supplemented by mechanical fasteners or glued dovetail joints.

K. Colors, Patterns, and Finishes: Provide materials and products that result in colors and textures of exposed laminate surfaces complying with the following requirements:

1. As selected by Architect from laminate manufacturer's full range in the following categories:
 - a. Solid colors, gloss or matte finish.
 - b. Wood grains, gloss or matte finish.
 - c. Patterns, gloss or matte finish.

2.2 WOOD MATERIALS

A. Wood Products: Provide materials that comply with requirements of referenced quality standard for each type of woodwork and quality grade specified unless otherwise indicated.

1. Wood Moisture Content: 5 to 10 percent.

B. Composite Wood and Agrifiber Products: Provide materials that comply with requirements of referenced quality standard for each type of woodwork and quality grade specified unless otherwise indicated.

1. Medium-Density Fiberboard: ANSI A208.2, Grade 130, made with binder containing no urea formaldehyde.
2. Particleboard: ANSI A208.1, Grade M-2, made with binder containing no urea formaldehyde.
3. Thermoset Decorative Panels: Particleboard or medium-density fiberboard finished with thermally fused, melamine-impregnated decorative paper and complying with requirements of NEMA LD 3, Grade VGL, for test methods 3.3, 3.4, 3.6, 3.8, and 3.10.

2.3 FIRE-RETARDANT-TREATED MATERIALS

- A. Fire-Retardant-Treated Materials, General: Where fire-retardant-treated materials are indicated, use materials complying with requirements in this article that are acceptable to authorities having jurisdiction and with fire-test-response characteristics specified as determined by testing identical products per test method indicated by a qualified testing agency.
1. Use treated materials that comply with requirements of referenced woodworking standard. Do not use materials that are warped, discolored, or otherwise defective.
 2. Use fire-retardant-treatment formulations that do not bleed through or otherwise adversely affect finishes. Do not use colorants to distinguish treated materials from untreated materials.
 3. Identify fire-retardant-treated materials with appropriate classification marking of qualified testing agency in the form of removable paper label or imprint on surfaces that will be concealed from view after installation.
- B. Fire-Retardant-Treated Lumber and Plywood: Products with a flame-spread index of 25 or less when tested according to ASTM E 84, with no evidence of significant progressive combustion when the test is extended an additional 20 minutes, and with the flame front not extending more than 10.5 feet beyond the centerline of the burners at any time during the test.
1. Kiln dry lumber and plywood after treatment to a maximum moisture content of 19 and 15 percent, respectively.
 2. Mill lumber after treatment within limits set for wood removal that do not affect listed fire-test-response characteristics, using a woodworking shop certified by testing and inspecting agency.
- C. Fire-Retardant Fiberboard: Medium-density fiberboard panels complying with ANSI A208.2, made from softwood fibers, synthetic resins, and fire-retardant chemicals mixed together at time of panel manufacture to achieve flame-spread index of 25 or less and smoke-developed index of 200 or less per ASTM E 84.

2.4 CABINET HARDWARE AND ACCESSORIES

- A. General: Provide cabinet hardware and accessory materials associated with architectural cabinets.
- B. Butt Hinges: 2-3/4-inch five-knuckle steel hinges made from 0.095-inch-thick metal, and as follows:
1. Semi-concealed Hinges for Flush Doors: BHMA A156.9, B01361.
- C. Wire Pulls: Back mounted, solid metal, 4 inches long, 2-1/2 inches deep, and 5/16 inch in diameter.
- D. Catches: Magnetic catches, BHMA A156.9, B03141

- E. Adjustable Shelf Standards and Supports: BHMA A156.9, B04071; with shelf rests, B04081.
- F. Shelf Rests: BHMA A156.9, B04013; metal.
- G. Drawer Slides: BHMA A156.9.
 - 1. Grade 1 and Grade 2: Side mounted and extending under bottom edge of drawer; full-extension type; epoxy-coated steel with polymer rollers.
 - 2. For drawers not more than 3 inches high and not more than 24 inches wide, provide Grade 2.
 - 3. For drawers more than 3 inches high but not more than 6 inches high and not more than 24 inches wide, provide Grade 1.
 - 4. For drawers more than 6 inches high or more than 24 inches wide, provide Grade 1HD-100
- H. Door and Drawer Silencers: BHMA A156.16, L03011.
- I. Exposed Hardware Finishes: For exposed hardware, provide finish that complies with BHMA A156.18 for BHMA finish number indicated.
 - 1. Satin Stainless Steel: BHMA 630.
- J. For concealed hardware, provide manufacturer's standard finish that complies with product class requirements in BHMA A156.9.

2.5 MISCELLANEOUS MATERIALS

- A. Furring, Blocking, Shims, and Hanging Strips: Softwood or hardwood lumber, kiln dried to less than 15 percent moisture content.
- B. Anchors: Select material, type, size, and finish required for each substrate for secure anchorage. Provide metal expansion sleeves or expansion bolts for post-installed anchors. Use nonferrous-metal or hot-dip galvanized anchors and inserts at inside face of exterior walls and at floors.
- C. Adhesives: Do not use adhesives that contain urea formaldehyde.
- D. Adhesive for Bonding Plastic Laminate: Unpigmented contact cement.
 - 1. Adhesive for Bonding Edges: Hot-melt adhesive or adhesive specified above for faces.

2.6 FABRICATION

- A. Sand fire-retardant-treated wood lightly to remove raised grain on exposed surfaces before fabrication.
- B. Fabricate cabinets to dimensions, profiles, and details indicated.

- C. Complete fabrication, including assembly and hardware application, to maximum extent possible before shipment to Project site. Disassemble components only as necessary for shipment and installation. Where necessary for fitting at site, provide ample allowance for scribing, trimming, and fitting.
 - 1. Notify Architect seven days in advance of the dates and times woodwork fabrication will be complete.
- D. Shop-cut openings to maximum extent possible to receive hardware, appliances, electrical work, and similar items. Locate openings accurately and use templates or roughing-in diagrams to produce accurately sized and shaped openings. Sand edges of cutouts to remove splinters and burrs.

PART 3 - EXECUTION

3.1 PREPARATION

- A. Before installation, condition cabinets to average prevailing humidity conditions in installation areas.
- B. Before installing cabinets, examine shop-fabricated work for completion and complete work as required.

3.2 INSTALLATION

- A. Grade: Install cabinets to comply with same grade as item to be installed.
- B. Assemble cabinets and complete fabrication at Project site to the extent that it was not completed in the shop.
- C. Install cabinets level, plumb, true, and straight. Shim as required with concealed shims. Install level and plumb to a tolerance of 1/8 inch in 96 inches
- D. Scribe and cut cabinets to fit adjoining work, refinish cut surfaces, and repair damaged finish at cuts.
- E. Anchor cabinets to anchors or blocking built in or directly attached to substrates. Secure with countersunk, concealed fasteners and blind nailing. Use fine finishing nails or finishing screws for exposed fastening, countersunk and filled flush with woodwork.
 - 1. Use filler matching finish of items being installed.
- F. Cabinets: Install without distortion so doors and drawers fit openings properly and are accurately aligned. Adjust hardware to center doors and drawers in openings and to provide unencumbered operation. Complete installation of hardware and accessory items as indicated.

1. Install cabinets with no more than 1/8 inch in 96-inch sag, bow, or other variation from a straight line.
2. Fasten wall cabinets through back, near top and bottom, and at ends not more than 16 inches (400 mm) o.c. with No. 10 wafer-head sheet metal screws through metal backing or metal framing behind wall finish.

3.3 ADJUSTING AND CLEANING

- A. Repair damaged and defective cabinets, where possible, to eliminate functional and visual defects; where not possible to repair, replace woodwork. Adjust joinery for uniform appearance.
- B. Clean, lubricate, and adjust hardware.
- C. Clean cabinets on exposed and semiexposed surfaces.

END OF SECTION 064116

Description HAZMAT SURVEY - BLDG 029

Site	COLUMBIA	Assigned To	JPROVENCE
Building	029 1600 HAMPTON STREET	Crew	HAZMAT
Floor	Room:	Start Date	13-MAY-13
Equipment		Due date	05-JUN-13
		Request Date	06-MAY-13
		Priority	5
		by	CAMOORE

Request #	FM00425566	Description	HAZMAT SURVEY - BLDG 029
Parent WO #			

CP Number	CP00377004	1600 HAMPTON-6TH FLR RENOVATION-CONTROLLER'S OFFICE
------------------	------------	---

State/Internal Project Number

Requestor		Project Manager	CIACCIA, LINDA A.
Telephone		Telephone	777-0424
Alternate		Estimated Cost	\$ 0.00
Telephone		Billing	FIXED PRICE
Non-Available Time		63100-A200-52043	(FAMIS PROJECT HOLDING)

Task List
CHECK ALL THAT APPLY AND PROVIDE ADDITIONAL INFORMATION AS NEEDED)
HAZMAT SURVEY(S) REQUESTED FOR THE FOLLOWING
 FLOOR TILE
 JOINT COMPOUND
 WALLS
 MASTIC
 CEILING TILE
 PIPE INSULATION
 VINYL SHEET FLOORING
 FIREPROOFING
 FUME HOODS/TABLE TOPS
 ROOFING MATERIALS
 FIRE DOORS
 GASKETS/VALVES
 BOILER INSULATION
 ACOUSTICAL POPCORN CEILING
 DUCT WORK
 OTHER (PLEASE DESCRIBE BELOW)
WILL BE RELOCATING SOME LIGHT/HVAC VENT FIXTURES SO NEED TO CHECK MASTIC. REMOVING WALL BASE AND CARPET-NEED TO CHECK.

DATE WORK STARTED	CAUSE
DATE WORK COMPLETED	CONDITION
EQUIPMENT	
CLOSING REMARKS	
BENCHSTOCK MATERIALS	
Qty	Description
	Price Per Unit

Supervisor's Approval _____

Note Date Title**03-JUL-13 HAZMAT SURVEY RESULTS**

SURVEY DATE:6/28/13

INSPECTOR #: DARRYL WASHINGTON II BI-00568

STATUS: THE FOLLOWING MATERIALS HAVE BEEN TESTED FOR ASBESTOS CONTAINING MATERIALS RESULTS FOLLOWS

JOINT COMPOUND- POSITIVE FOR ASBESTOS CONTAINING MATERIALS

BLACK HVAC DUCT MASTIC- POSITIVE FOR ASBESTOS CONTAINING MATERIALS

SHEET ROCK- NEGATIVE FOR ASBESTOS CONTAINING MATERIALS

VINYL BASE / GLUE- NEGATIVE FOR ASBESTOS CONTAINING MATERIALS

2X4 WHITE CEILING TILE- NEGATIVE FOR ASBESTOS CONTAINING MATERIALS

OLIVE/GRAY HVAC DUCT MASTIC- NEGATIVE FOR ASBESTOS CONTAINING MATERIALS

WHITE WALL PAINT- NEGATIVE FOR LEAD BASE PAINT

INSPECTORS NOTES:

- UNDER FLOORING IN MOST AREAS IT APPEARS THAT THE CARPET HAS ASBESTOS BLACK MASTIC STICKING TO THE BACKING OF THE CARPET.

- NO SUSPECT MATERIALS IN PLACE ABOVE CEILING, BUT AROUND COLUMNS PREVIOUS INFORMATION SHOWS THERE WAS ASBESTOS FIREPROOFING ENCASED ON THE COLUMNS IN THIS BUILDING.

IF YOU ENCOUNTER ANY SUSPECT MATERIALS IN PLACE AND DEEM IT SUSPECT FOR ASBESTOS AND OR LEAD AND IT IS NOT LISTED ABOVE PLEASE STOP WORK AND CALL THE ASBESTOS PROGRAM MANAGER FOR FURTHER TESTING OR ABATEMENT REFER TO THE SURVEY RESULTS DOCUMENT ATTACHED TO THE WO FOR DETAILED INFORMATION.

25-AUG-04 NOTIFY BUILDING MANAGER

PLEASE NOTIFY SKIP LONG (576-5505) BEFORE SCHEDULING ANY WORK FOR THIS BUILDING

06-AUG-10 2009-09-22 BLDG COMPONENT ASBESTOS/LEAD EXPOSURE UPDATE

BELOW ARE THE ASBESTOS AND LEAD TESTING RESULTS FOR 1600 HAMPTON STREET:

SHEET ROCK: NEGATIVE FOR ASBESTOS CONTAINING MATERIALS

JOINT COMPOUND: POSITIVE FOR ASBESTOS CONTAINING MATERIALS

2X2 WHITE CEILING TILE: NEGATIVE FOR ASBESTOS CONTAINING MATERIALS

WHITE WALL PAINT (HOMOGENEOUS): NEGATIVE FOR ASBESTOS CONTAINING MATERIALS

BUILDING HAS ASBESTOS FLOOR TILE AND BLACK MASTIC IN NUMEROUS AREAS

THERE IS BLACK MASTIC ON HVAC DUCTS, AND ON FIBERGLASS ONE INCH LINES ABOVE CEILING SPACES

THERE IS CEILING SPRAY LEFT FROM PRIOR REMOVALS THAT IS IN PLACE AND IS POSITIVE FOR

ASBESTOS CONTAINING MATERIALS. THIS MATERIAL IS FRIABLE TO THE TOUCH

IF YOU AND/ OR CONTRACTORS NEED TO DISTURB ANY MATERIALS YOU DEEM SUSPECT THAT ARE NOT LISTED ABOVE, STOP WORK AND CONTACT THE ASBESTOS PROGRAM MANAGER, 777-1208. IF YOU NEED TO DISTURB ANY MATERIAL LISTED AS POSITIVE, YOU MUST CONTACT THE ASBESTOS PROGRAM MANAGER TO ARRANGE FOR REMOVAL. THIS INFORMATION MUST BE PASSED ALONG TO ALL CONTRACTORS, SUB-CONTRACTORS, AND INDIVIDUALS WORKING IN THIS BUILDING

3983

EMSL Analytical, Inc.
706 Gralin Street



**Asbestos Bulk Building Material
Chain of Custody**

EMSL Order Number (Lab Use Only):

Kernersville, NC 27284
PHONE: (336) 992-1025
FAX: (336) 992-4175

EMSL ANALYTICAL, INC.
LABORATORY • PRODUCTS • TRAINING

Company : University of South Carolina		EMSL-Bill to: <input checked="" type="checkbox"/> Same <input type="checkbox"/> Different <small>If Bill to is Different note instructions in Comments**</small>	
Street: 743 Greene Street		<i>Third Party Billing requires written authorization from third party</i>	
City: Columbia	State/Province: SC	Zip/Postal Code: 29208	Country: United States
Report To (Name): Darryl Washington II		Telephone #: 803-917-0291	Purchase Order:
Email Address: washindh@fmc.sc.edu		Fax #:	Please Provide Results: <input type="checkbox"/> Fax <input checked="" type="checkbox"/> Email <input type="checkbox"/> Mail
Project Name/Number: # 291600 Hampton/6th Flr		CT Samples: <input type="checkbox"/> Commercial/Taxable <input type="checkbox"/> Residential/Tax Exempt	
U.S. State Samples Taken: SC			

Turnaround Time (TAT) Options* - Please Check

3 Hour
 6 Hour
 24 Hour
 48 Hour
 72 Hour
 96 Hour
 1 Week
 2 Week

*For TEM Air 3 hr through 6 hr, please call ahead to schedule. There is a premium charge for 3 Hour TEM AHERA or EPA Level II TAT. You will be asked to sign an authorization form for this service. Analysis completed in accordance with EMSL's Terms and Conditions located in the Analytical Price Guide.

PLM - Bulk (reporting limit)

PLM EPA 600/R-93/116 (<1%)
 PLM EPA NOB (<1%)
 Point Count 400 (<0.25%) 1000 (<0.1%)
 Point Count w/Gravimetric 400 (<0.25%) 1000 (<0.1%)
 NIOSH 9002 (<1%)
 NY ELAP Method 198.1 (friable in NY)
 NY ELAP Method 198.6 NOB (non-friable-NY)
 OSHA ID-191 Modified
 Standard Addition Method

TEM - Bulk

TEM EPA NOB - EPA 600/R-93/116 Section 2.5.5.1
 NY ELAP Method 198.4 (TEM)
 Chatfield Protocol (semi-quantitative)
 TEM % by Mass - EPA 600/R-93/116 Section 2.5.5.2
 TEM Qualitative via Filtration Prep Technique
 TEM Qualitative via Drop Mount Prep Technique

Other

Check For Positive Stop - Clearly Identify Homogenous Group **Date Sampled:**

Samplers Name: _____ **Samplers Signature:** _____

Sample #	HA #	Sample Location	Material Description

Client Sample # (s): _____ **Total # of Samples:** 32

Relinquished (Client): _____ **Date:** _____ **Time:** _____

Received (Lab): mv **Date:** 6/28/13 **Time:** 10:30

Comments/Special Instructions: _____

3983



1 of 4

Building # 29 1600 HAMPTON ST Sample Analysis 06-27-2013 Turn Around Time 24hr

Table with 7 columns: Area, Sample ID, Material Sampled, Material Location, F/NF, Cond, Quantity, Pot to Disturb. Contains 10 rows of data for various rooms and materials.

License # 21534 FM# 00429592 Signature [Handwritten] Requestor LINDA CIACCIA

Send lab results in PDF format as soon as possible to: Ed Pitts 803-777-3296 Darryl Washington 803-777-2399 720 College St. Columbia, SC 29208

3983



Building # 29 1600 HAMPTON Sample Analysis Type of Analysis: Lead / Asbestos Date: 06-27-2013 Turn Around Time 24hr

Area	Sample ID	Material Sampled	Material Location	F/NF	Cond	Quantity	Pot to Disturb
B	#11	JOINT COMPOUND	RM 614, EXTERIOR WALL	F	G	>5000	Low
B	#12	JOINT COMPOUND	RM 631, N. WALL	F	G	>5000	Low
C	#13	SHEETROCK	SITTING AREA @ 612A	F	G	>5000	Low
C	#14	SHEETROCK	RM 603I, N. WALL	F	G	>5000	Low
C	#15	SHEETROCK	RM 613, EXTERIOR WALL	F	G	>5000	Low
C	#16	SHEETROCK	RM 613G, N. WALL	F	G	>5000	Low
C	#17	SHEETROCK	HALLWAY @ 603M	F	G	>5000	Low
C	#18	SHEETROCK	RM 603F, N. WALL	F	G	>5000	Low
C	#19	SHEETROCK	RM 604, W. WALL	F	G	>5000	Low
C	#20	SHEETROCK	RM 612G, N. WALL	F	G	>5000	Low

License # 21534 FM# 00429592 Signature Ed P Requestor LINDA CIACCIA

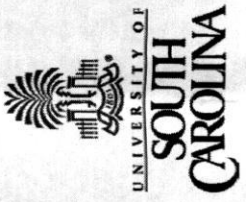
Send lab results in PDF format as soon as possible to: Ed Pitts 803-777-3296 Darryl Washington 803-777-2399 720 College St. 720 College St. asbestos@matheson.com 803-777-2088 NTRusse@fmc.sc.edu

Fax # 803-777-3990

Reset Form

Print Form

3983



Building # 29 HAMPTON

Sample Analysis

Type of Analysis: Lead / Asbestos Date: 06-27-2013

Turn Around Time 24hr

Area	Sample ID	Material Sampled	Material Location	F/NF	Cond	Quantity	Pot to Disturb
C	#21	SHEETROCK	RM 613B, W. WALL	F	G	>5000	Low
D	#22	2X4 CEILING TILE	RM 612G	F	G	2500 SQ FT	Low
D	#23	2X4 CEILING TILE	RM 604	F	G	2500 SQ FT	Low
D	#24	2X4 CEILING TILE	SITTING AREA CEILING @ 612A	F	G	2500 SQ FT	Low
D	#25	2X4 CEILING TILE	RM 603I	F	G	2500 SQ FT	Low
D	#26	2X4 CEILING TILE	HALLWAY @ 614	F	G	2500 SQ FT	Low
E	#27	BLACK HVAC MASTIC	RM 603N	NF	G	<1000	Low
E	#28	BLACK HVAC MASTIC	HALLWAY @ RM 614	NF	G	<1000	Low
E	#29	BLACK HVAC MASTIC	RM 606N	NF	G	<1000	Low
F	#30	OLIVE HVAC MASTIC	RM 612A	NF	G	<1000	Low

License # 21534 FM# 00429592 Signature *EA PAX* Requestor LINDA CIACCIA

Send lab results in PDF format as soon as possible to:

Ed Pitts 803-777-3296 Darryl Washington 803-777-2399 Ty Russell 803-777-1208
 720 College St. 720 College St. 720 College St.
 EHP@fmc.sc.edu asbestos@matlab.sc.edu NTRusse@fmc.sc.edu

Fax # 803-777-3990

Reset Form Print Form

3983



4 of 4

Building # 29 1600 HAMPTON ST Sample Analysis Type of Analysis: Lead / Asbestos Date: 06-27-2013 Turn Around Time 24hr

Area	Sample ID	Material Sampled	Material Location	F/NF	Cond	Quantity	Pot to Disturb
F	#31	OLIVE HVAC MASTIC	RM 612J	NF	G	<1000	Low
F	#32	OLIVE HVAC MASTIC	RM 606N	NF	G	<1000	Low

License # 21534 FM# 00429592 Signature Requestor LINDA CIACCIA

Send lab results in PDF format as soon as possible to: Ed Pitts 803-777-3296 Darryl Washington 803-777-2399 720 College St. 720 College St. Send lab results in PDF format as soon as possible to: asbestos@matheson.com, asbes@sc.edu, NTRusse@fmc.sc.edu

Fax # 803-777-3990

**EMSL Analytical, Inc.**

706 Gralin Street, Kernersville, NC 27284

Phone/Fax: (336) 992-1025 / (336) 992-4175

greensborolab@emsl.com

EMSL Order: 021303984

CustomerID: UNSC62

CustomerPO:

ProjectID:

Attn: **Darryl Washington**
University of South Carolina
743 Greene Street
Columbia, SC 29208

Phone: (803) 777-7000
 Fax: (803) 777-3990
 Received: 06/28/13 10:30 AM
 Analysis Date: 7/1/2013
 Collected:

Project: 29 1600 Hampton St

Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 and/or EPA 600/M4-82-020 Method(s) using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
1-Cove Base 021303984-0001	Cove Base/Mastic	Beige Non-Fibrous Homogeneous		100% Non-fibrous (other)	None Detected
1-Mastic 021303984-0001A	Cove Base/Mastic	Tan Non-Fibrous Homogeneous	<1% Cellulose	100% Non-fibrous (other)	None Detected
2-Cove Base 021303984-0002	Cove Base/Mastic	Beige Non-Fibrous Homogeneous		100% Non-fibrous (other)	None Detected
2-Mastic 021303984-0002A	Cove Base/Mastic	Brown/Beige Non-Fibrous Homogeneous	<1% Cellulose <1% Fibrous (other)	100% Non-fibrous (other)	None Detected
3-Cove Base 021303984-0003	Cove Base/Mastic	Beige Non-Fibrous Homogeneous		100% Non-fibrous (other)	None Detected
3-Mastic 021303984-0003A	Cove Base/Mastic	Brown/Beige Non-Fibrous Homogeneous	<1% Cellulose <1% Fibrous (other)	100% Non-fibrous (other)	None Detected
4 021303984-0004	Joint Compound	Tan Non-Fibrous Homogeneous		97% Non-fibrous (other)	3% Chrysotile
5 021303984-0005	Joint Compound				Stop Positive (Not Analyzed)

Analyst(s)

Kristie Elliott (21)

Nicole Shutts (4)

Stephen Bennett, Laboratory Manager
or other approved signatory

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Samples analyzed by EMSL Analytical, Inc. Kernersville, NC NVLAP Lab Code 102104-0, Virginia 3333-000228, West Virginia LT000321

Report Amended: 07/01/2013 14:47:03 Replaces the Initial Report 06/29/2013 12:07:02. Reason Code: Data Entry-Change to Appearance

**EMSL Analytical, Inc.**

706 Gralin Street, Kernersville, NC 27284

Phone/Fax: (336) 992-1025 / (336) 992-4175

greensborolab@emsl.com

EMSL Order: 021303984

CustomerID: UNSC62

CustomerPO:

ProjectID:

Attn: **Darryl Washington**
University of South Carolina
743 Greene Street
Columbia, SC 29208

Phone: (803) 777-7000
 Fax: (803) 777-3990
 Received: 06/28/13 10:30 AM
 Analysis Date: 7/1/2013
 Collected:

Project: 29 1600 Hampton St

Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 and/or EPA 600/M4-82-020 Method(s) using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
6 021303984-0006	Joint Compound				Stop Positive (Not Analyzed)
7 021303984-0007	Joint Compound				Stop Positive (Not Analyzed)
8 021303984-0008	Joint Compound				Stop Positive (Not Analyzed)
9 021303984-0009	Joint Compound				Stop Positive (Not Analyzed)
10 021303984-0010	Joint Compound				Stop Positive (Not Analyzed)
11 021303984-0011	Joint Compound				Stop Positive (Not Analyzed)
12 021303984-0012	Joint Compound				Stop Positive (Not Analyzed)
13 021303984-0013	Sheetrock	Brown/Gray Fibrous Heterogeneous	10% Cellulose 1% Glass	89% Non-fibrous (other)	None Detected

Analyst(s)

Kristie Elliott (21)

Nicole Shutts (4)

Stephen Bennett, Laboratory Manager
or other approved signatory

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Samples analyzed by EMSL Analytical, Inc. Kernersville, NC NVLAP Lab Code 102104-0, Virginia 3333-000228, West Virginia LT000321

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Phone: (803) 777-7000
 Fax: (803) 777-3990
 Received: 06/28/13 10:30 AM
 Analysis Date: 7/1/2013
 Collected:

Project: 29 1600 Hampton St

Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 and/or EPA 600/M4-82-020 Method(s) using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
14 021303984-0014	Sheetrock	Brown/Gray Fibrous Heterogeneous	10% Cellulose 1% Glass	89% Non-fibrous (other)	None Detected
15 021303984-0015	Sheetrock	Brown/Gray Fibrous Heterogeneous	10% Cellulose 1% Glass	89% Non-fibrous (other)	None Detected
16 021303984-0016	Sheetrock	Brown/Gray Fibrous Heterogeneous	10% Cellulose 1% Glass	89% Non-fibrous (other)	None Detected
17 021303984-0017	Sheetrock	Brown/Gray Fibrous Heterogeneous	10% Cellulose 1% Glass	89% Non-fibrous (other)	None Detected
18 021303984-0018	Sheetrock	Brown/Gray Fibrous Heterogeneous	8% Cellulose 1% Glass	91% Non-fibrous (other)	None Detected
19 021303984-0019	Sheetrock	Brown/Gray Fibrous Heterogeneous	10% Cellulose 1% Glass	89% Non-fibrous (other)	None Detected
20 021303984-0020	Sheetrock	Brown/Gray Fibrous Heterogeneous	10% Cellulose 1% Glass	89% Non-fibrous (other)	None Detected
21 021303984-0021	Sheetrock	Brown/Gray Fibrous Heterogeneous	8% Cellulose 1% Glass	91% Non-fibrous (other)	None Detected

Analyst(s)

Kristie Elliott (21)

Nicole Shutts (4)

Stephen Bennett, Laboratory Manager
or other approved signatory

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Samples analyzed by EMSL Analytical, Inc. Kernersville, NC NVLAP Lab Code 102104-0, Virginia 3333-000228, West Virginia LT000321

Report Amended: 07/01/2013 14:47:03 Replaces the Initial Report 06/29/2013 12:07:02. Reason Code: Data Entry-Change to Appearance

**EMSL Analytical, Inc.**

706 Gralin Street, Kernersville, NC 27284

Phone/Fax: (336) 992-1025 / (336) 992-4175

greensborolab@emsl.com

EMSL Order: 021303984

CustomerID: UNSC62

CustomerPO:

ProjectID:

Attn: **Darryl Washington**
University of South Carolina
743 Greene Street
Columbia, SC 29208

Phone: (803) 777-7000
 Fax: (803) 777-3990
 Received: 06/28/13 10:30 AM
 Analysis Date: 7/1/2013
 Collected:

Project: 29 1600 Hampton St

Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 and/or EPA 600/M4-82-020 Method(s) using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
22 021303984-0022	Ceiling Tile	Gray/White Fibrous Heterogeneous	45% Cellulose 20% Min. Wool	35% Non-fibrous (other)	None Detected
23 021303984-0023	Ceiling Tile	Gray/White Fibrous Heterogeneous	45% Cellulose 20% Min. Wool	35% Non-fibrous (other)	None Detected
24 021303984-0024	Ceiling Tile	Tan/White Fibrous Heterogeneous	40% Cellulose 25% Min. Wool	35% Non-fibrous (other)	None Detected
25 021303984-0025	Ceiling Tile	Tan/White Fibrous Heterogeneous	40% Cellulose 25% Min. Wool	35% Non-fibrous (other)	None Detected
26 021303984-0026	Ceiling Tile	Tan/White Fibrous Heterogeneous	40% Cellulose 20% Min. Wool	40% Non-fibrous (other)	None Detected
27 021303984-0027	HVAC Mastic	Black Fibrous Heterogeneous		90% Non-fibrous (other)	10% Chrysotile
28 021303984-0028	HVAC Mastic				Stop Positive (Not Analyzed)
29 021303984-0029	HVAC Mastic				Stop Positive (Not Analyzed)

Analyst(s)

Kristie Elliott (21)

Nicole Shutts (4)

Stephen Bennett, Laboratory Manager
or other approved signatory

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Samples analyzed by EMSL Analytical, Inc. Kernersville, NC NVLAP Lab Code 102104-0, Virginia 3333-000228, West Virginia LT000321

Report Amended: 07/01/2013 14:47:03 Replaces the Initial Report 06/29/2013 12:07:02. Reason Code: Data Entry-Change to Appearance



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Phone: (803) 777-7000
Fax: (803) 777-3990
Received: 06/28/13 10:30 AM
Analysis Date: 7/1/2013
Collected:


Project: **29 1600 Hampton St**

Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 and/or EPA 600/M4-82-020 Method(s) using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
30 <i>021303984-0030</i>	HVAC Mastic	Beige Non-Fibrous Homogeneous	3% Cellulose <1% Wollastonite	97% Non-fibrous (other)	None Detected
31 <i>021303984-0031</i>	HVAC Mastic	Gray/Beige Non-Fibrous Homogeneous	3% Cellulose <1% Wollastonite	97% Non-fibrous (other)	None Detected
32 <i>021303984-0032</i>	HVAC Mastic	Beige Non-Fibrous Homogeneous	2% Cellulose <1% Wollastonite	98% Non-fibrous (other)	None Detected

Analyst(s)

Kristie Elliott (21)
Nicole Shutts (4)


Stephen Bennett, Laboratory Manager
or other approved signatory

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Samples analyzed by EMSL Analytical, Inc. Kernersville, NC NVLAP Lab Code 102104-0, Virginia 3333-000228, West Virginia LT000321

Report Amended: 07/01/2013 14:47:03 Replaces the Initial Report 06/29/2013 12:07:02. Reason Code: Data Entry-Change to Appearance



EMSL Analytical, Inc.

706 Gralin Street, Kernersville, NC 27284
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EMSL Order: 021303984
CustomerID: UNSC62
CustomerPO:
ProjectID:

Attn: **Darryl Washington**
University of South Carolina
743 Greene Street
Columbia, SC 29208


Phone: (803) 777-7000
Fax: (803) 777-3990
Received: 07/01/13 10:30 AM
Analysis Date: 7/2/2013
Collected:

Project: 29 1600 Hampton St

**Test Report: Asbestos Analysis of Non-Friable Organically Bound Materials by TEM
via EPA/600/R-93/116 Section 2.5.5.1**

SAMPLE ID	DESCRIPTION	APPEARANCE	% MATRIX MATERIAL	% NON-ASBESTOS FIBERS	ASBESTOS TYPES
3- Cove Base 021303984-0033	Cove Base/Mastic	Beige Non-Fibrous Heterogeneous	100	None	No Asbestos Detected
3- Mastic 021303984-0034	Cove Base/Mastic	Brown /Beige Non-Fibrous Heterogeneous	100	None	No Asbestos Detected
30 021303984-0035	HVAC Mastic	Silver /Beige Non-Fibrous Heterogeneous	100	None	No Asbestos Detected

Analyst(s) _____
Stephen Bennett (3)


Stephen Bennett, Laboratory Manager
or other approved signatory

This laboratory is not responsible for % asbestos in total sample when the residue only is submitted for analysis. The above report relates only to the items tested. This report may not be reproduced, except in full, without written approval by EMSL Analytical, Inc. Samples received in good condition unless otherwise noted. Unless requested by the client, building materials manufactured with multiple layers (i.e. linoleum, wallboard, etc.) are reported as a single sample.
Samples analyzed by EMSL Analytical, Inc. Kernersville, NC

Initial report from 07/02/2013 09:27:58

Description HAZMAT SURVEY - BLDG 029 - FLOOR TILE

Site	COLUMBIA	Assigned To	JPROVENCE
Building	029 1600 HAMPTON STREET	Crew	HAZMAT
Floor	Room:	Start Date	19-SEP-13
Equipment		Due date	21-OCT-13
		Request Date	19-SEP-13
		Priority	5
		by	LCIACCIA

Request #	FM00438063	Description	HAZMAT SURVEY - BLDG 029 - FLOOR TILE
Parent WO #			

CP Number	CP00377004	1600 HAMPTON-6TH FLR RENOVATION-CONTROLLER'S OFFICE
------------------	------------	---

State/Internal Project Number

Requestor		Project Manager	CIACCIA, LINDA A.
Telephone		Telephone	777-0424
Alternate		Estimated Cost	\$ 0.00
Telephone		Billing	FIXED PRICE
Non-Available Time		62040-A000-52043	(CONTROLLER'S OFFICE)

Task List

DATE WORK STARTED	CAUSE
DATE WORK COMPLETED	CONDITION
EQUIPMENT	
CLOSING REMARKS	
BENCHSTOCK MATERIALS	
Qty	Description
	Price Per Unit

Supervisor's Approval _____

Note Date	Title
03-OCT-13	HAZMAT SURVEY RESULTS
SURVEY DATE:9/24/13	
INSPECTOR #: DARRYL WASHINGTON II BI-00568	
STATUS: THE FOLLOWING MATERIALS HAVE BEEN TESTED FOR ASBESTOS CONTAINING MATERIALS RESULTS FOLLOWS	
12X12 FLOOR TILE- NEGATIVE FOR ASBESTOS CONTAINING MATERIALS	
BLACK MASTIC- NEGATIVE FOR ASBESTOS CONTAINING MATERIALS (THE MASTIC SAMPLED DID NOT MEET THE SCDHEC OR OSHA DEFINITION OF ASBESTOS CONTAINING MATERIALS. HOWEVER ASBESTOS WAS IDENTIFIED AT LESS THAN ONE PERCENT IN THIS MATERIAL SAMPLED. AS A RESULT ALL OSHA REGULATIONS RELATED TO ASBESTOS EXPOSURE MUST BE STRICTLY ADHERED FOR THE DURATION OF THIS PROJECT	
IF YOU ENCOUNTER ANY SUSPECT MATERIALS IN PLACE AND DEEM IT SUSPECT FOR ASBESTOS AND IT IS NOT LISTED ABOVE PLEASE STOP WORK AND CALL THE ASBESTOS PROGRAM MANAGER FOR FURTHER TESTING OR ABATEMENT	
REFER TO THE SURVEY RESULTS DOCUMENT ATTACHED TO THE WO FOR DETAILED INFORMATION.	
25-AUG-04	NOTIFY BUILDING MANAGER
PLEASE NOTIFY SKIP LONG (576-5505) BEFORE SCHEDULING ANY WORK FOR THIS BUILDING	

06-AUG-10 2009-09-22 BLDG COMPONENT ASBESTOS/LEAD EXPOSURE UPDATE

BELOW ARE THE ASBESTOS AND LEAD TESTING RESULTS FOR 1600 HAMPTON STREET:

SHEET ROCK: NEGATIVE FOR ASBESTOS CONTAINING MATERIALS

JOINT COMPOUND: POSITIVE FOR ASBESTOS CONTAINING MATERIALS

2X2 WHITE CEILING TILE: NEGATIVE FOR ASBESTOS CONTAINING MATERIALS

WHITE WALL PAINT (HOMOGENEOUS): NEGATIVE FOR ASBESTOS CONTAINING MATERIALS

BUILDING HAS ASBESTOS FLOOR TILE AND BLACK MASTIC IN NUMEROUS AREAS

THERE IS BLACK MASTIC ON HVAC DUCTS, AND ON FIBERGLASS ONE INCH LINES ABOVE CEILING SPACES

THERE IS CEILING SPRAY LEFT FROM PRIOR REMOVALS THAT IS IN PLACE AND IS POSITIVE FOR

ASBESTOS CONTAINING MATERIALS. THIS MATERIAL IS FRIABLE TO THE TOUCH

IF YOU AND/ OR CONTRACTORS NEED TO DISTURB ANY MATERIALS YOU DEEM SUSPECT THAT ARE NOT LISTED ABOVE, STOP WORK AND CONTACT THE ASBESTOS PROGRAM MANAGER, 777-1208. IF YOU NEED TO DISTURB ANY MATERIAL LISTED AS POSITIVE, YOU MUST CONTACT THE ASBESTOS PROGRAM MANAGER TO ARRANGE FOR REMOVAL. THIS INFORMATION MUST BE PASSED ALONG TO ALL CONTRACTORS, SUB-CONTRACTORS, AND INDIVIDUALS WORKING IN THIS BUILDING



EMSL ANALYTICAL, INC.
LABORATORY • PRODUCTS • TRAINING

Asbestos Bulk Building Material Chain of Custody

EMSL Analytical, Inc.
706 Gralin Street

EMSL Order Number (Lab Use Only):

5946

Kernersville, NC 27284
PHONE: (336) 992-1025
FAX: (336) 992-4175

Company : University of South Carolina		EMSL-Bill to: <input checked="" type="checkbox"/> Same <input type="checkbox"/> Different <small>If Bill to is Different note instructions in Comments**</small>	
Street: 743 Greene Street		Third Party Billing requires written authorization from third party	
City: Columbia	State/Province: SC	Zip/Postal Code: 29208	Country: United States
Report To (Name): Darryl Washington @jhd		Telephone #: 803-917-0291	
Email Address: washindh@fmc.sc.edu		Fax #: 803-777-3990	Purchase Order:
Project Name/Number: 1400 Hampton St		Please Provide Results: <input type="checkbox"/> Fax <input checked="" type="checkbox"/> Email <input type="checkbox"/> Mail	
U.S. State Samples Taken: SC		CT Samples: <input type="checkbox"/> Commercial/Taxable <input type="checkbox"/> Residential/Tax Exempt	

Turnaround Time (TAT) Options* – Please Check

3 Hour 6 Hour 24 Hour 48 Hour 72 Hour 96 Hour 1 Week 2 Week

*For TEM Air 3 hr through 6 hr, please call ahead to schedule. *There is a premium charge for 3 Hour TEM AHERA or EPA Level II TAT. You will be asked to sign an authorization form for this service. Analysis completed in accordance with EMSL's Terms and Conditions located in the Analytical Price Guide.

PLM - Bulk (reporting limit)

PLM EPA 600/R-93/116 (<1%)

PLM EPA NOB (<1%)

Point Count 400 (<0.25%) 1000 (<0.1%)

Point Count w/Gravimetric 400 (<0.25%) 1000 (<0.1%)

NIOSH 9002 (<1%)

NY ELAP Method 198.1 (friable in NY)

NY ELAP Method 198.6 NOB (non-friable-NY)

OSHA ID-191 Modified

Standard Addition Method

TEM - Bulk

TEM EPA NOB – EPA 600/R-93/116 Section 2.5.5.1

NY ELAP Method 198.4 (TEM)

Chatfield Protocol (semi-quantitative)

TEM % by Mass – EPA 600/R-93/116 Section 2.5.5.2

TEM Qualitative via Filtration Prep Technique

TEM Qualitative via Drop Mount Prep Technique

Other

Check For Positive Stop – Clearly Identify Homogenous Group

Date Sampled:

Samplers Name:

Samplers Signature:

Sample #	HA #	Sample Location	Material Description

Client Sample # (s): _____ Total # of Samples: 4

Relinquished (Client): _____ Date: _____ Time: _____

Received (Lab): NS Date: 9/26/13 Time: 10:00

Comments/Special Instructions: _____

5946



Building # 029 1600 Hampton St Sample Analysis 9/24/13 Turn Around Time 23 hrs
Type of Analysis: Lead / Asbestos Date:

Area	Sample ID	Material Sampled	Material Location	F/NF	Cond	Quantity	Pot to Disturb
A	1	WHITE GRAY 12X12 TILE / GLUE	FLOORING OF RM 602	NF	G	<500 SQ FT	LOW
A	2	WHITE GRAY 12X12 TILE / GLUE	FLOORING OF RM 603A	NF	G	650 SQ FT	LOW
A	3	WHITE GRAY 12X12 TILE / GLUE	FLOORING OF RM 602	NF	G	<500 SQ FT	LOW
A	4	WHITE GRAY 12X12 TILE / GLUE	FLOORING OF RM 602 (Top 78 ply)	NF	G	<500 SQ FT	LOW

License # 00568 FM# FM00438200 Signature Requestor LINDA CIACCIA

**EMSL Analytical, Inc.**

706 Gralin Street, Kernersville, NC 27284

Phone/Fax: (336) 992-1025 / (336) 992-4175

<http://www.EMSL.com>greensborolab@emsl.com

EMSL Order: 021305946

CustomerID: UNSC62

CustomerPO:

ProjectID:

Attn: **Darryl Washington**
University of South Carolina
743 Greene Street
Columbia, SC 29208

Phone: (803) 777-7000
 Fax: (803) 777-3990
 Received: 09/26/13 10:00 AM
 Analysis Date: 9/26/2013
 Collected:

Project: 1600 Hampton St

Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 Method using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
1-Floor Tile 021305946-0001	Floor Tile/ Glue	Gray/Tan/White Non-Fibrous Homogeneous		100% Non-fibrous (other)	None Detected
1-Mastic 021305946-0001A	Floor Tile/ Glue	Yellow Non-Fibrous Homogeneous	<1% Synthetic <1% Cellulose	100% Non-fibrous (other)	None Detected
2-Floor Tile 021305946-0002	Floor Tile/ Glue	Gray/Tan/White Non-Fibrous Homogeneous		100% Non-fibrous (other)	None Detected
2-Mastic 021305946-0002A	Floor Tile/ Glue	Black/Yellow/Orange Non-Fibrous Heterogeneous	<1% Cellulose <1% Synthetic	100% Non-fibrous (other)	None Detected
3-Floor Tile 021305946-0003	Floor Tile/ Glue	Gray/Tan/White Non-Fibrous Homogeneous		100% Non-fibrous (other)	None Detected
3-Mastic 021305946-0003A	Floor Tile/ Glue	Black/Yellow/Orange Non-Fibrous Heterogeneous	<1% Cellulose <1% Synthetic	100% Non-fibrous (other)	<1% Chrysotile
4-Floor Tile 021305946-0004	Floor Tile/ Glue	Gray Non-Fibrous Homogeneous		100% Non-fibrous (other)	None Detected
4-Mastic 021305946-0004A	Floor Tile/ Glue	Tan/Black Non-Fibrous Homogeneous	<1% Cellulose	100% Non-fibrous (other)	<1% Chrysotile

Analyst(s)

Kristie Elliott (2)

Scott Combs (6)

Stephen Bennett, Laboratory Manager
 or other approved signatory

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 Samples analyzed by EMSL Analytical, Inc. Kernersville, NC NVLAP Lab Code 102104-0, CA ELAP 2689, Virginia 3333-000228, West Virginia LT000321

Initial report from 09/26/2013 13:56:24



EMSL Analytical, Inc.

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<http://www.EMSL.com> greensborolab@emsl.com

EMSL Order: 021305946
CustomerID: UNSC62
CustomerPO:
ProjectID:

Attn: **Darryl Washington**
University of South Carolina
743 Greene Street
Columbia, SC 29208


Phone: (803) 777-7000
Fax: (803) 777-3990
Received: 09/26/13 10:00 AM
Analysis Date: 9/27/2013
Collected:

Project: 1600 Hampton St

**Test Report: Asbestos Analysis of Non-Friable Organically Bound Materials by TEM
via EPA/600/R-93/116 Section 2.5.5.1**

SAMPLE ID	DESCRIPTION	APPEARANCE	% MATRIX MATERIAL	% NON-ASBESTOS FIBERS	ASBESTOS TYPES
4-Floor Tile 021305946-0005	Floor Tile/ Glue	Gray /Tan /White Non-Fibrous Homogeneous	100	None	No Asbestos Detected
4-Mastic 021305946-0006	Floor Tile/ Glue	Tan /Black /Yellow Non-Fibrous Heterogeneous	100	None	<0.25% Chrysotile

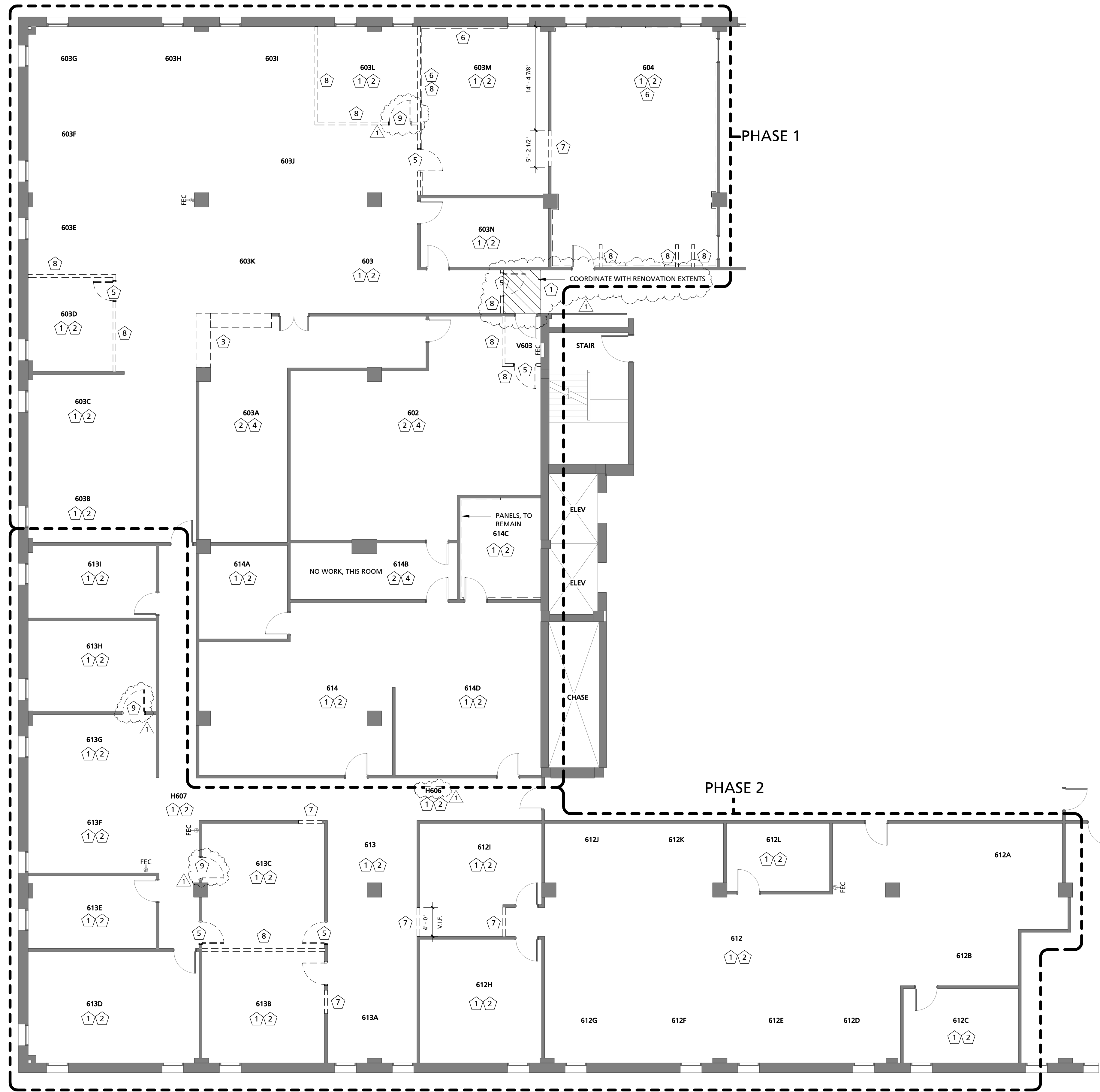
Analyst(s) _____
Stephen Bennett (2)


Stephen Bennett, Laboratory Manager
or other approved signatory

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Samples analyzed by EMSL Analytical, Inc. Kernersville, NC

Initial report from 09/27/2013 13:55:04

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1 SIXTH FLOOR-DEMOLITION PLAN
1/8" = 1'-0"

DEMOLITION TAGS AND NOTES

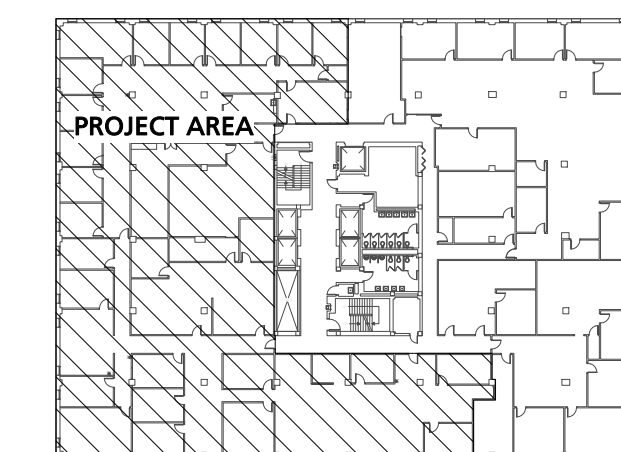
- 1 REMOVE EXISTING FLOORING, BASE, MASTIC, ADHESIVE, ETC. IN ITS ENTIRETY. DISPOSE MATERIALS AS REQUIRED. PATCH ALL FLOOR AREAS AS REQUIRED TO PROVIDE LEVEL SURFACE APPROPRIATE FOR NEW FINISHES, AS SPECIFIED.
- 2 EXISTING CEILING GRID AND TILES TO REMAIN
- 3 EXISTING CABINET TO BE REMOVED AND MODIFIED FOR REUSE WITHIN EXISTING SPACE.
- 4 EXISTING FLOOR TILE TO REMAIN.
- 5 REMOVE EXISTING DOOR AND FRAME; RETAIN FOR REUSE. REMOVE EXISTING FOREIGN DEBRIS, PATCH DOORS TO APPEAR "LIKE NEW". PREP TO RECEIVE NEW FINISH, AS INDICATED.
- 6 REMOVE EXISTING CHAIR RAIL. PREPARE WALL TO RECEIVE NEW FINISH, AS SPECIFIED.
- 7 REMOVE EXISTING WALL TO EXTENT SHOWN. COORDINATE WITH RENOVATION PLANS.
- 8 REMOVE EXISTING WALL IN ITS ENTIRETY. REMOVE ALL POWER, DATA, FIRE, ALARM, SECURITY, TELEPHONE, ETC. LOCATED IN WALL.
- 9 REMOVE EXISTING DOOR AND FRAME AND DISPOSE OF PROPERLY.

DEMOLITION LEGEND-SEE NOTES FOR MORE DETAILS

- — — — — EXISTING WALL TO REMAIN
- - - - - EXISTING WALL TO BE REMOVED
- — — — — EXISTING DOOR TO REMAIN
- - - - - EXISTING DOOR TO BE REMOVED

GENERAL DEMOLITION NOTES

- A. ROOM NUMBERS SHOWN ON DEMOLITION PLANS REFER TO EXISTING ROOMS NUMBERS.
- B. CLEANING OF THE SUBSTRATES, SUBSTRATE SURFACE PREPARATION, AND INSTALLATION FOR ALL NEW FINISH MATERIALS TO BE IN ACCORDANCE WITH MANUFACTURER'S PRINTED RECOMMENDATIONS.
- C. EXISTING FURNITURE REMOVAL TO BE COORDINATED BY END-USER. EXISTING DESKS TO BE COVERED TO PROTECT FROM DUST DURING CONSTRUCTION PHASES.
- E. ROOM SIGN INSTALLATION AND/OR MODIFICATIONS TO BE COORDINATED BY PROJECT MANAGER.
- F. EXISTING CONDITIONS AND DEMOLITION NOTES BASED ON INFORMATION PROVIDED BY OWNER AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT PROJECT MANAGER IMMEDIATELY.
- G. GENERAL CONTRACTOR TO FIELD VERIFY CONDITIONS PRIOR TO START OF CONSTRUCTION.
- H. SECURE ALL INTERIOR BLINDS DURING CONSTRUCTION FOR REUSE. INVENTORY ANY DAMAGED BLINDS, AND REPORT TO PROJECT MANAGER.



1600 HAMPTON STREET-SIXTH FLOOR KEY PLAN
1/64" = 1'-0"



DESIGN

221 PICKENS STREET (29205)
POST OFFICE BOX 5875
COLUMBIA, SOUTH CAROLINA
29250
803.834.4048 p
803.834.4082 f
WWW.1X1DESIGN.COM

UNIVERSITY OF SOUTH CAROLINA

CONTROLLERS SUITE RENOVATION

C700377004

1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201

CLIENT NAME
PROJECT NAME
PROJECT NUMBER
PROJECT ADDRESS

REVISIONS

No.	Description	Date
1	ADDENDUM #1	03.07.14

PROJECT NUMBER U-13-111-3

SHEET NUMBER

AD101

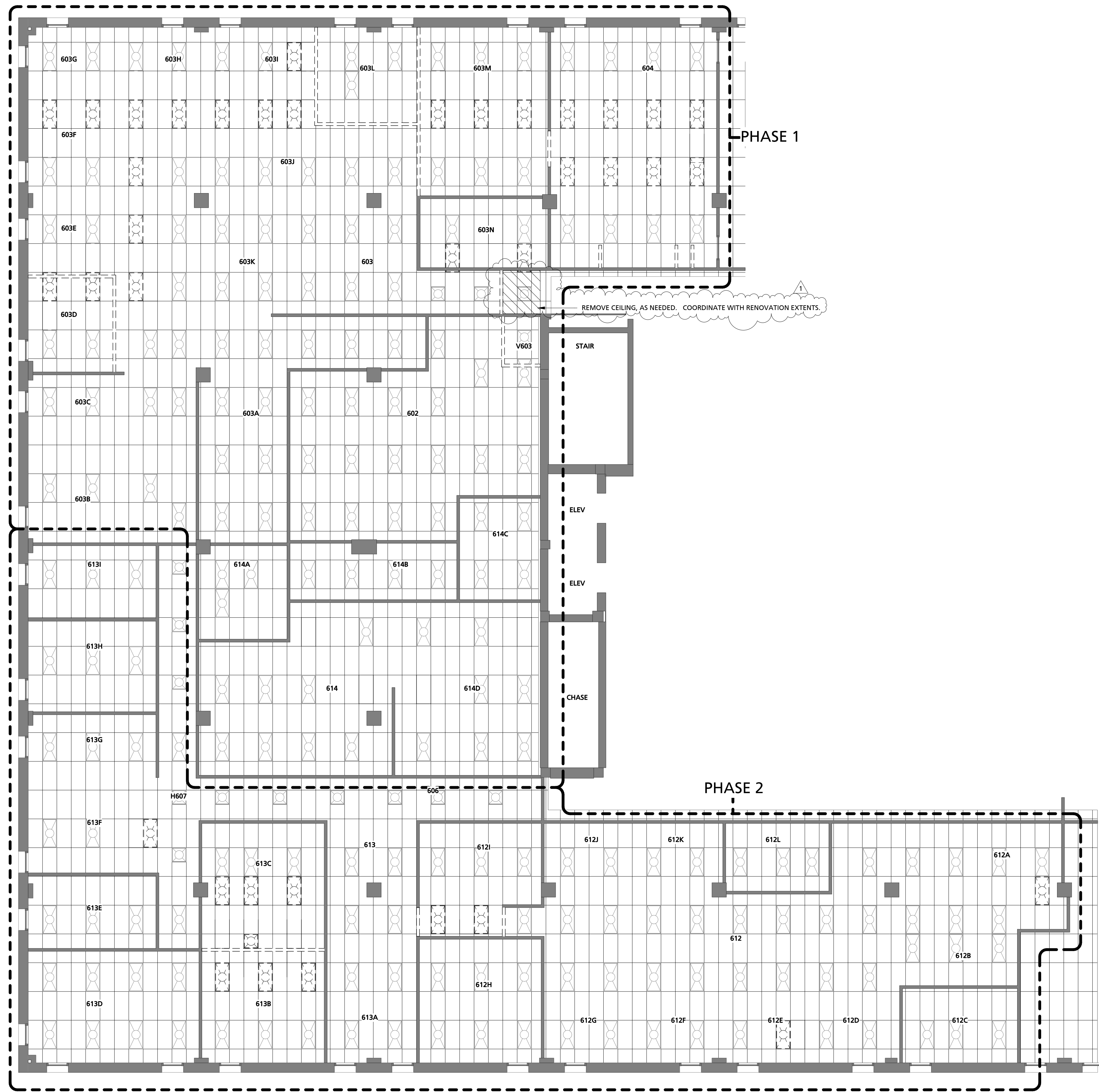
SHEET NAME
DEMOLITION FLOOR PLAN

DATE 02.24.14

3/6/2014 6:26:15 PM

RELEASED FOR BIDDING-FEBRUARY 24, 2014

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1 SIXTH FLOOR-DEMOLITION PLAN
1/8" = 1'-0"

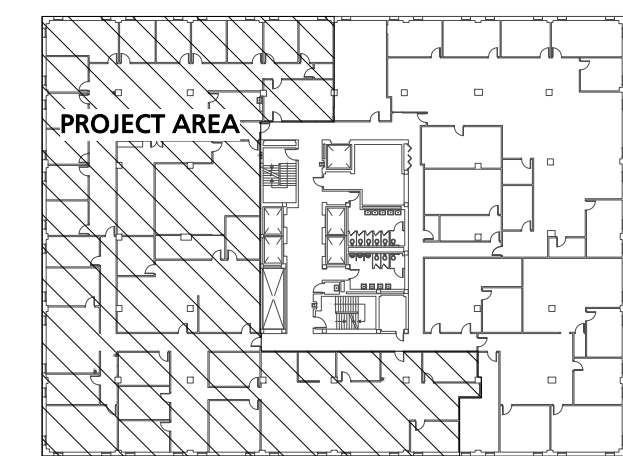
GENERAL REFLECTED CEILING PLAN NOTES

- A. SEE ELECTRICAL DRAWINGS FOR ALL LIGHT FIXTURES AND ELECTRICAL REQUIREMENTS.
- B. SEE MECHANICAL DRAWINGS FOR ALL MECHANICAL ELEMENTS.
- C. CEILING HEIGHT IS EXISTING, 8'-10" AFF UNLESS NOTED OTHERWISE.
- D. EXISTING CONDITIONS AND DEMOLITION NOTES BASED ON INFORMATION PROVIDED BY OWNER AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT PROJECT MANAGER IMMEDIATELY.
- E. REFER TO ELECTRICAL DRAWINGS TO FIXTURES TO BE RELOCATED. ALL FIXTURES TO BE RELOCATED OR SALVAGED AND RETURNED TO OWNER. COORDINATE WITH PROJECT MANAGER FOR STORAGE LOCATION.

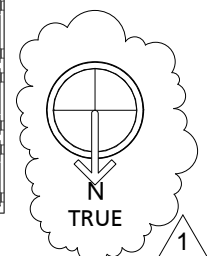
REFLECTED CEILING PLAN LEGEND-SEE NOTES FOR MORE DETAILS

- — — — — EXISTING WALL TO REMAIN
- - - - - EXISTING WALL TO BE REMOVED, SEE RENOVATION AND DEMOLITION PLAN
- — — — — NEW PARTITION, SEE RENOVATION FLOOR PLAN
- 2' X 2' ELECTRICAL FIXTURE TO REMAIN
- 2' X 2' ELECTRICAL FIXTURE TO BE REMOVED AND SALVAGED OR RELOCATED
- 2' X 2' ELECTRICAL FIXTURE, RELOCATED
- 2' X 4' ELECTRICAL FIXTURE TO REMAIN
- 2' X 4' ELECTRICAL FIXTURE TO BE REMOVED AND SALVAGED OR RELOCATED
- 2' X 4' ELECTRICAL FIXTURE, RELOCATED
- 2' X 4' CEILING SYSTEM TO REMAIN

NOTE: SOME ELECTRICAL FIXTURES ARE MECHANICAL TROFFERS. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE DETAILS



1600 HAMPTON STREET-SIXTH FLOOR KEY PLAN
1/64" = 1'-0"



DESIGN

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UNIVERSITY OF SOUTH CAROLINA
CONTROLLERS SUITE RENOVATION
PROJECT NUMBER: C90077004
PROJECT ADDRESS: 1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201

CLIENT NAME	UNIVERSITY OF SOUTH CAROLINA
PROJECT NAME	CONTROLLERS SUITE RENOVATION
PROJECT NUMBER	C90077004
PROJECT ADDRESS	1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201

REVISIONS		
No.	Description	Date
1	ADDENDUM #1	03.07.14

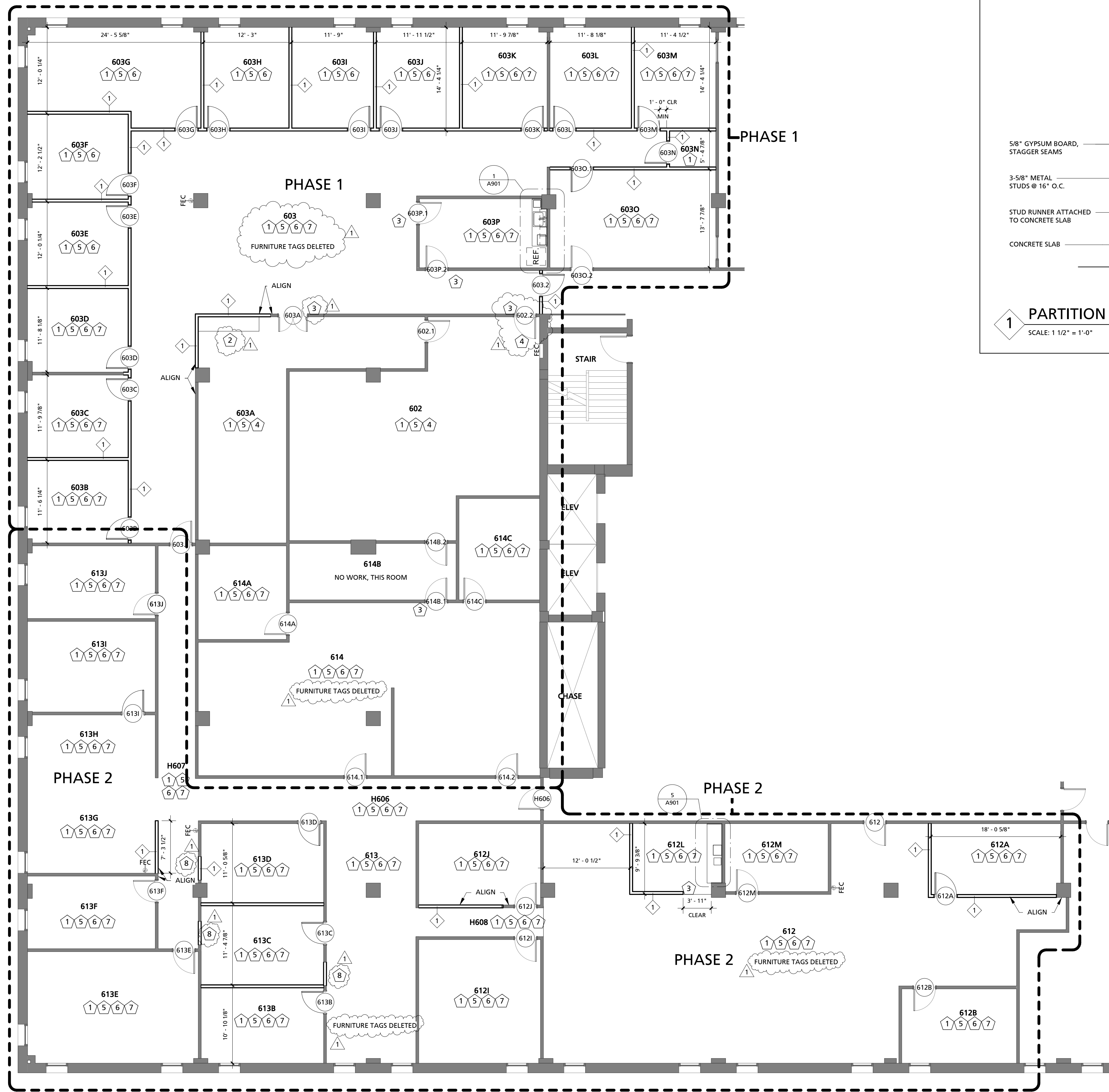
PROJECT NUMBER	U-13-111-3
SHEET NUMBER	AD102

SHEET NAME
DEMOLITION REFLECTED
CEILING PLAN
DATE
02.24.14

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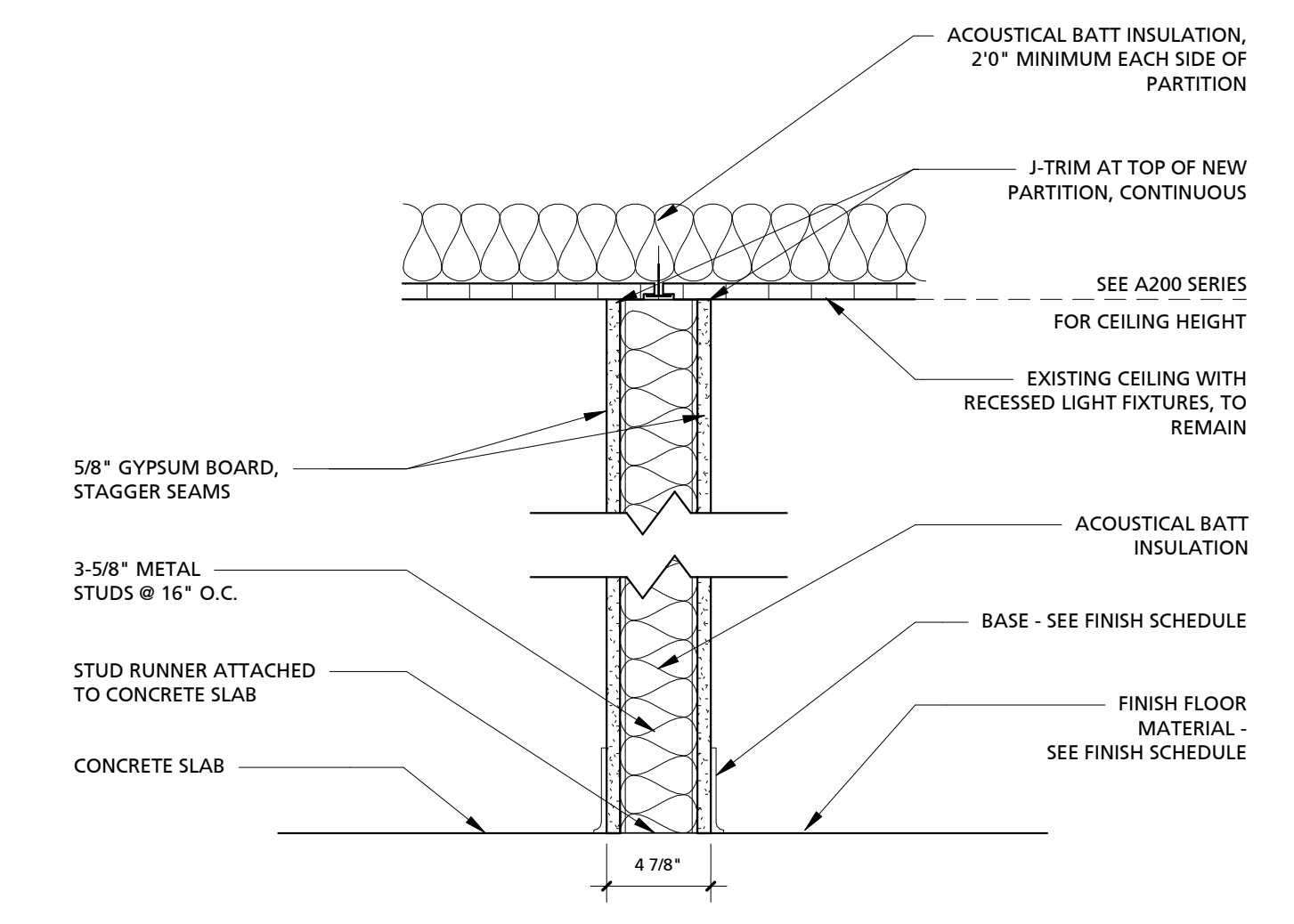
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1 SIXTH FLOOR-RENOVATION PLAN
1/8" = 1'-0"

X EXISTING PARTITION TO REMAIN

SCALE: 1 1/2" = 1'-0"
NOTE: ALL PARTITIONS ARE TYPE "X", UNLESS NOTED OTHERWISE



1 PARTITION

SCALE: 1 1/2" = 1'-0"

GENERAL FLOOR PLAN NOTES

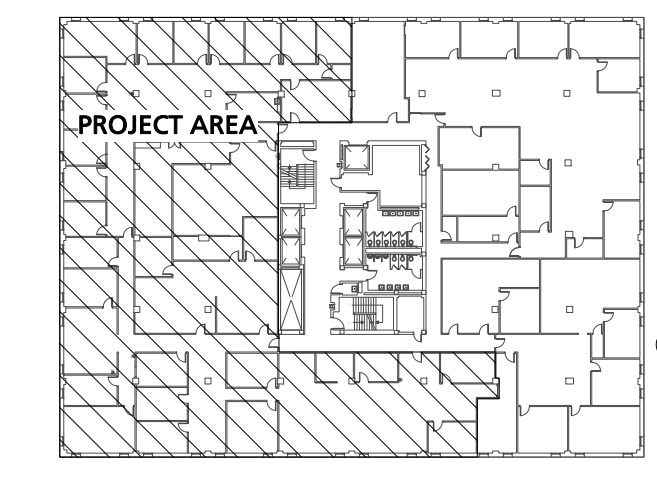
- A. ALL DIMENSIONS ARE TO FACE OF EXISTING ELEMENT OR FACE OF NEW STUD UNLESS NOTED OTHERWISE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. SEE A901 FOR FINISH SELECTION AND DETAILS.
- B. FIRE MARSHALL TO CONFIRM FIRE EXTINGUISHER LOCATIONS ON SITE, EXISTING LOCATIONS TO REMAIN.
- C. EXISTING CONDITIONS AND DEMOLITION NOTES BASED ON INFORMATION PROVIDED BY OWNER AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT PROJECT MANAGER IMMEDIATELY.
- D. SEE A101 FOR PARTITION TYPES AND NOTES.

RENOVATION TAGS AND NOTES

- 1 PATCH WALLS AND PAINT AS REQUIRED, SEE FINISH SCHEDULE
- 2 INSTALL MODIFIED EXISTING CABINET IN NEW LOCATION
- 3 INSTALL TRANSITION STRIP
- 4 PATCH/REPLACE EXISTING VCT AS NEEDED, MATCH EXISTING
- 5 REPLACE DAMAGED CEILING TILES AS NEEDED, MATCH EXISTING
- 6 REPAIR PAINTED WALL COVERING SEAMS, AS NEEDED
- 7 INSTALL AND PAINT J-TRIM AT TOP OF EXISTING WALL, AS NEEDED. MATCH TYPE AT PARTITION TYPE 1.
- 8 INFILL PARTITION, AS INDICATED

FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN
- EXISTING DOOR TO REMAIN
- NEW WALL, SEE PARTITION TYPES
- NEW DOOR, SEE DOOR SCHEDULE
- Room name**
- ROOM TAG, SEE PLAN AND FINISH SCHEDULE
- DOOR TAG, SEE PLAN AND DOOR SCHEDULE
- INTERIOR WALL TAG, SEE PARTITION TYPES



1600 HAMPTON STREET-SIXTH FLOOR KEY PLAN
1/64" = 1'-0"



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UNIVERSITY OF SOUTH CAROLINA
CONTROLLERS SUITE RENOVATION
PROJECT NUMBER: C900377004
PROJECT ADDRESS: 1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201

CLIENT NAME	PROJECT NAME	PROJECT NUMBER	PROJECT ADDRESS
UNIVERSITY OF SOUTH CAROLINA	CONTROLLERS SUITE RENOVATION	C900377004	1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201

REVISIONS	No.	Description	Date
1	ADDENDUM #1		03.07.14

PROJECT NUMBER	U-13-111-3
SHEET NUMBER	A101
SHEET NAME	RENOVATION FLOOR PLAN
DATE	02.24.14

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1 SIXTH FLOOR-RENOVATION PLAN
1/8" = 1'-0"

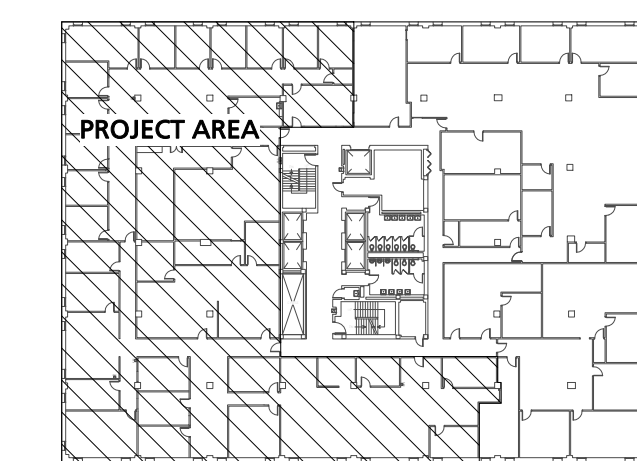
GENERAL REFLECTED CEILING PLAN NOTES

- A. SEE ELECTRICAL DRAWINGS FOR ALL LIGHT FIXTURES AND ELECTRICAL REQUIREMENTS.
- B. SEE MECHANICAL DRAWINGS FOR ALL MECHANICAL ELEMENTS.
- C. CEILING HEIGHT IS EXISTING, 8'-10" AFF UNLESS NOTED OTHERWISE.
- D. EXISTING CONDITIONS AND DEMOLITION NOTES BASED ON INFORMATION PROVIDED BY OWNER AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT PROJECT MANAGER IMMEDIATELY.
- E. REFER TO ELECTRICAL DRAWINGS TO FIXTURES TO BE RELOCATED. ALL FIXTURES TO BE RELOCATED OR SALVAGED AND RETURNED TO OWNER. COORDINATE WITH PROJECT MANAGER FOR STORAGE LOCATION.

REFLECTED CEILING PLAN LEGEND-SEE NOTES FOR MORE DETAILS

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED, SEE RENOVATION AND DEMOLITION PLAN
- NEW PARTITION, SEE RENOVATION FLOOR PLAN
- 2' X 2' ELECTRICAL FIXTURE TO REMAIN
- 2' X 2' ELECTRICAL FIXTURE TO BE REMOVED AND SALVAGED OR RELOCATED
- 2' X 2' ELECTRICAL FIXTURE, RELOCATED
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- 2' X 4' ELECTRICAL FIXTURE TO BE REMOVED AND SALVAGED OR RELOCATED
- 2' X 4' ELECTRICAL FIXTURE, RELOCATED
- 2' X 4' CEILING SYSTEM TO REMAIN

NOTE: SOME ELECTRICAL FIXTURES ARE MECHANICAL TROFFERS. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE DETAILS



1600 HAMPTON STREET-SIXTH FLOOR KEY PLAN
1/64" = 1'-0"



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UNIVERSITY OF SOUTH CAROLINA
CONTROLLERS SUITE RENOVATION

C900377004

1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201

CLIENT NAME	PROJECT NAME	PROJECT NUMBER	PROJECT ADDRESS

REVISIONS	No.	Description	Date
1	ADDENDUM #1		03.07.14

PROJECT NUMBER: U-13-111-3

SHEET NUMBER:

A201

SHEET NAME:
RENOVATION REFLECTED
CEILING PLAN

DATE: 02.24.14

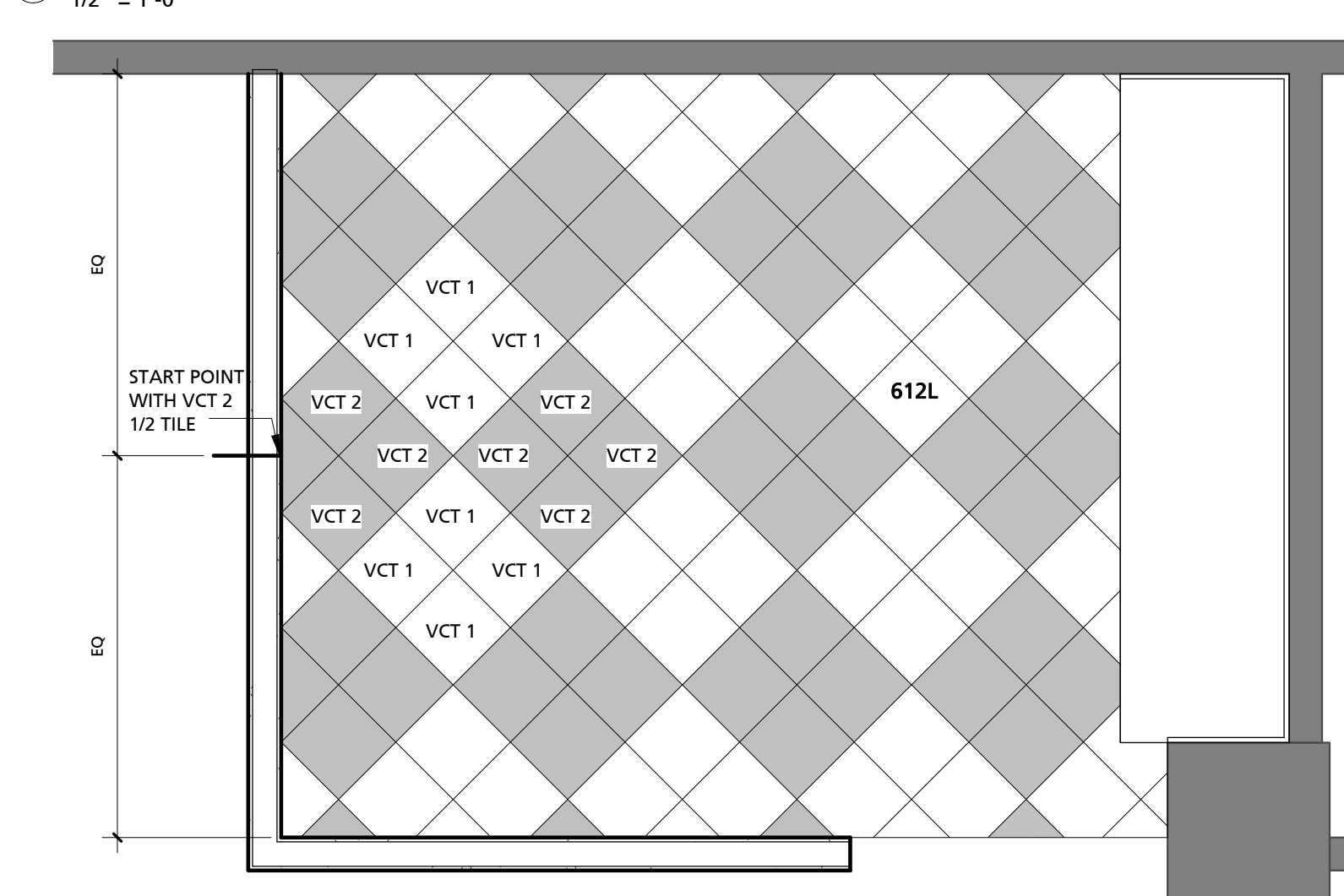
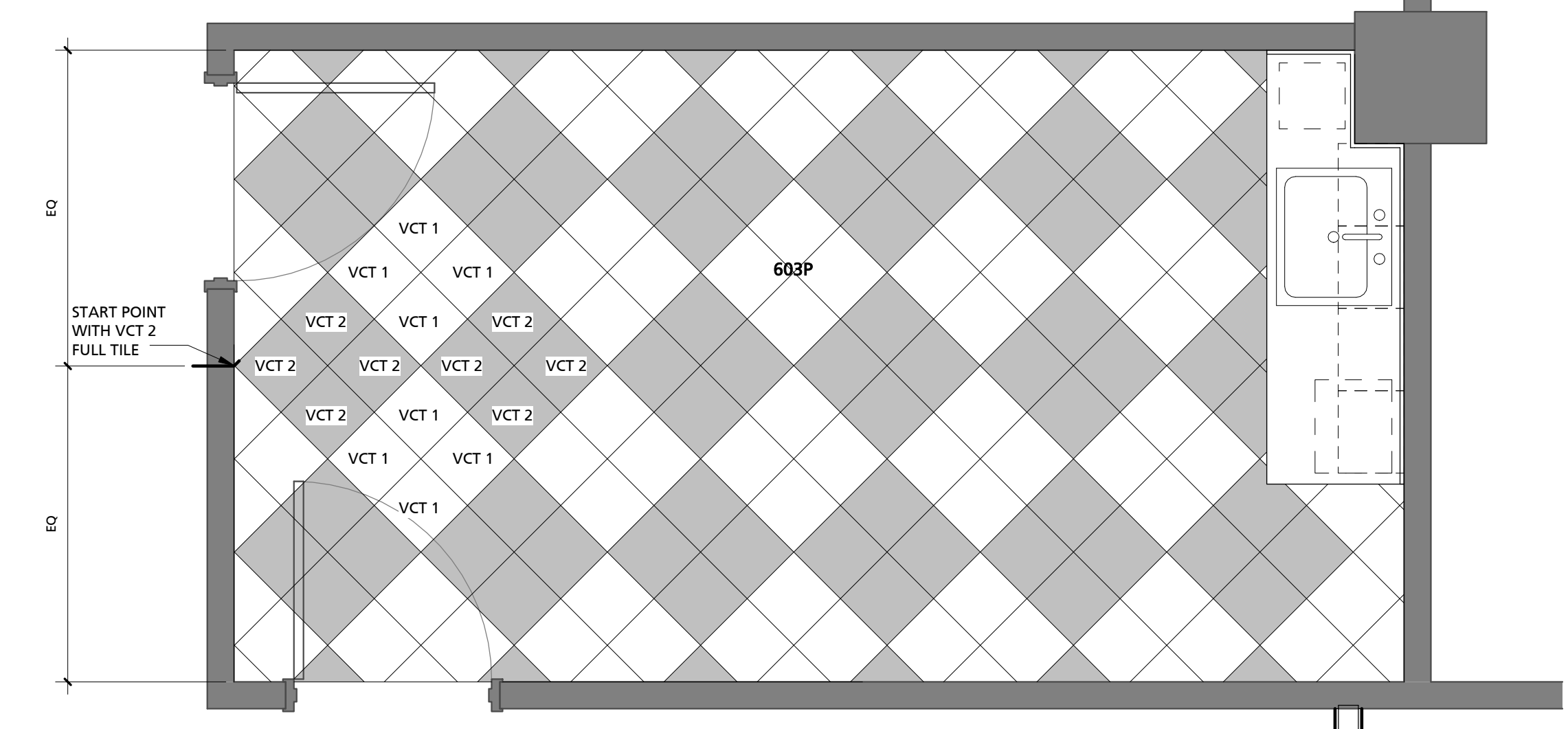
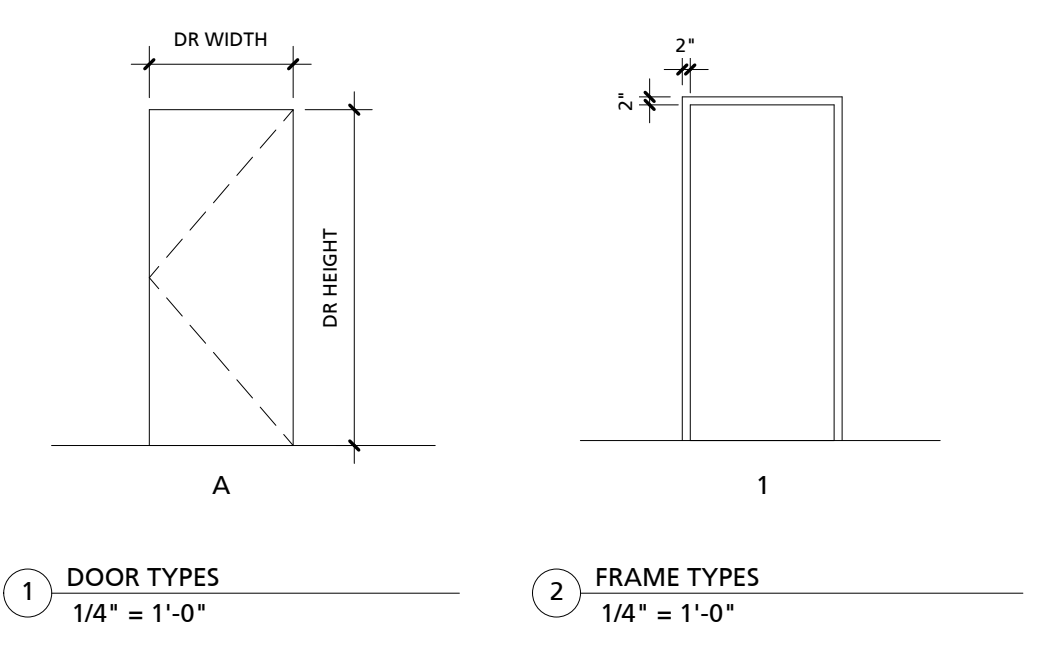
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DOOR SCHEDULE table with columns: NUMBER, SIZE (WIDTH, HEIGHT), DOOR (TYPE, MATERIAL, FINISH), FRAME (TYPE, MATERIAL, FINISH), Hardware, COMMENTS. Rows include door types like 602.1, 602.2, 603.1, etc.

ROOM FINISH SCHEDULE table with columns: NAME, FLOOR (MATERIAL), BASE (MATERIAL), CEILING (MATERIAL), WALL FINISH (NORTH, EAST, SOUTH, WEST), COMMENTS. Rows include room finishes like 602, 603, 603A, etc.



FURNITURE TAGS, AND ASSOCIATED AREAS, DELETED.

GENERAL DOOR NOTES
A. DOOR TYPE INDICATES DOOR TYPE, DOOR WIDTH (IN INCHES), DOOR HEIGHT (IN INCHES) AND RATING (IN MINUTES). FOR EXAMPLE, DOOR TYPE A-36.84 IS A DOOR TYPE "A", 36" IN WIDTH, 84" IN HEIGHT.

DOOR SCHEDULE REMARKS
1. REFURBISH DOOR AND FRAME-MATCH EXISTING STAIN OR PAINT AS INDICATED. PAINT FRAME AS INDICATED.

FLOORING: (BASIS OF DESIGN)
VCT 1 - VINYL COMPOSITION TILE
MFR: MANNINGTON
STYLE: SOLID POINT
COLOR: 317 COOL BEIGE
SIZE: 12" X 12" X 1/8"

VCT 2 - VINYL COMPOSITION TILE
MFR: MANNINGTON
STYLE: SOLID POINT
COLOR: 322 IRON
SIZE: 12" X 12" X 1/8"
INSTALLATION: SEE PLANS

RB 1 - RUBBER COVE BASE
MFR: JOHNSONITE
STYLE: VINYL COVE BASE
COLOR: DC-178 IRON STONE CG
SIZE: 4" HIGH

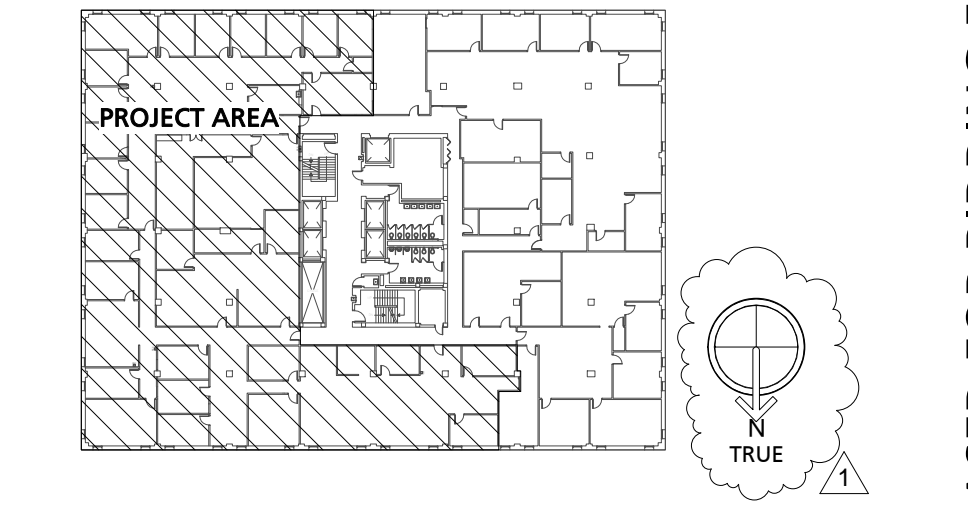
INTERIOR PAINT:
PT 1 - (FIELD COLOR)
MFR: SHERWIN WILLIAMS
TYPE: HARMONY
COLOR: 6147 PANDA WHITE
FINISH: EG-SHELL

PT 2 - (HOLLOW METAL DOOR AND FRAME)
MFR: SHERWIN WILLIAMS
TYPE: HARMONY
COLOR: 7674 PEPPERCORN
FINISH: SEMI-GLOSS

PT 3 - (ACCENT COLOR)
MFR: SHERWIN WILLIAMS
TYPE: HARMONY
COLOR: 6307 FINE WINE
FINISH: EG-SHELL

PLASTIC LAMINATE:
PL 1 - (COUNTERTOP)
MFR: WILSONART
COLOR: 4820-60 CARBON EB
PL 2 - (CABINETS)
MFR: WILSONART
COLOR: 7924K-07 BILTMORE CHERRY

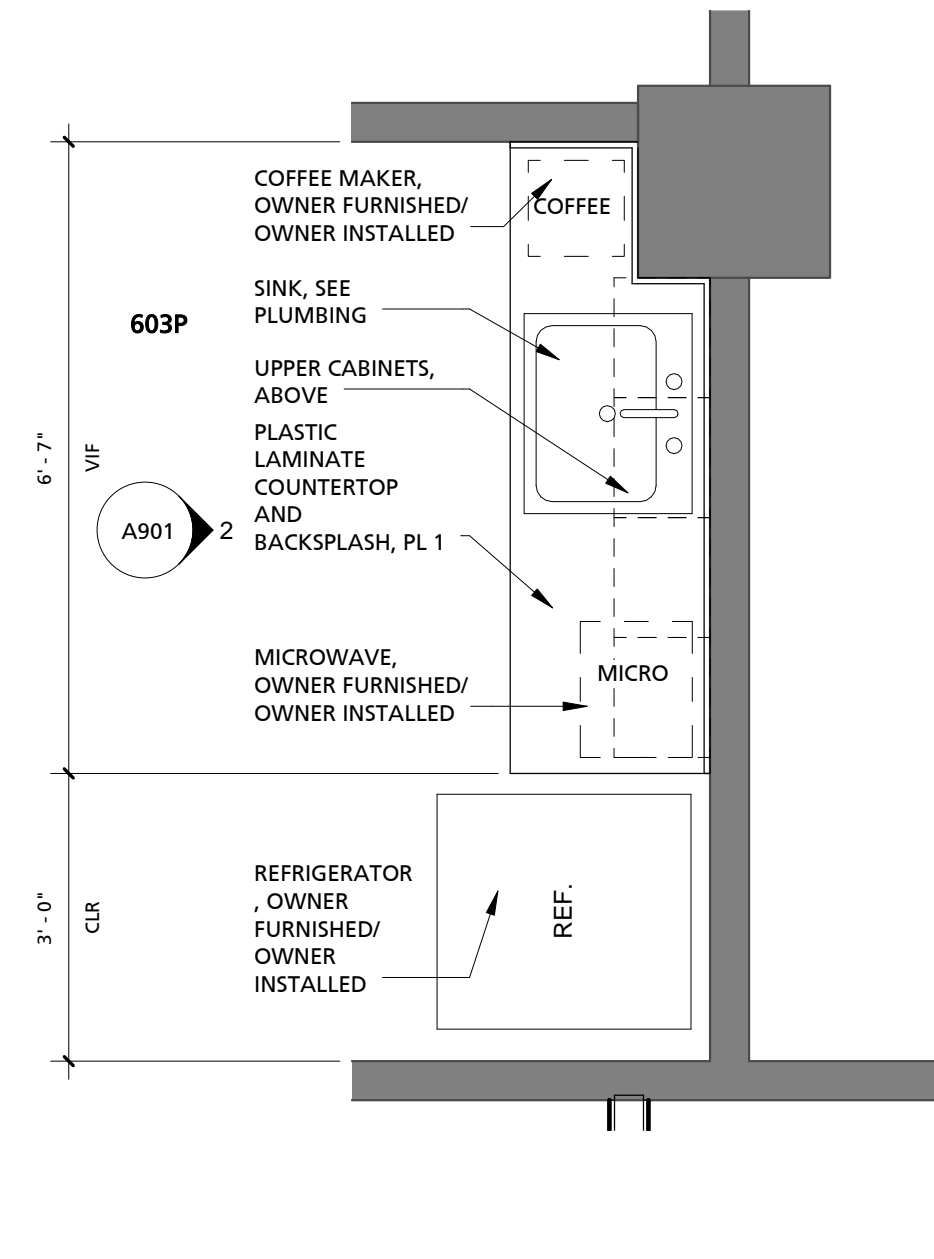
GENERAL INTERIOR FINISH NOTES
A. FOR FINISH LOCATIONS, REFER TO PLAN NORTH, SOUTH, EAST AND WEST FOR FINISH PLACEMENT.



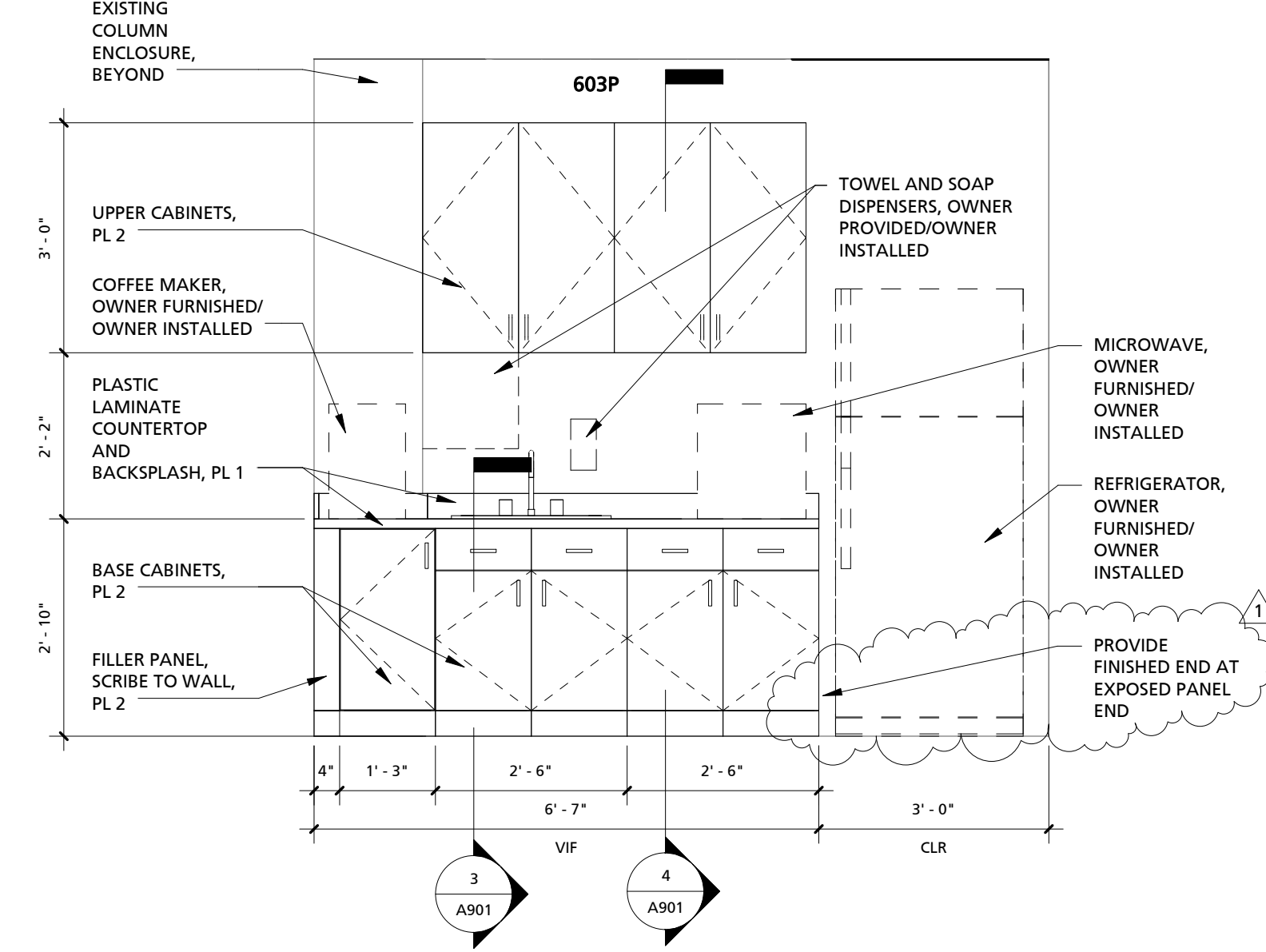
1600 HAMPTON STREET-SIXTH FLOOR KEY PLAN
1/64" = 1'-0"

1x1 DESIGN logo and contact information: 221 PICKENS STREET (29205) POST OFFICE BOX 5875 COLUMBIA, SOUTH CAROLINA 29250. 803.834.4048 p 803.834.4082 f WWW.1X1DESIGN.COM. UNIVERSITY OF SOUTH CAROLINA CONTROLLERS SUITE RENOVATION PROJECT NUMBER: CR00377004 PROJECT ADDRESS: 1600 HAMPTON STREET-SIXTH FLOOR, COLUMBIA, SC 29201. RELEASED FOR BIDDING-FEBRUARY 24, 2014. SHEET NAME: A801 DOOR AND ROOM FINISH SCHEDULES. DATE: 02.24.14

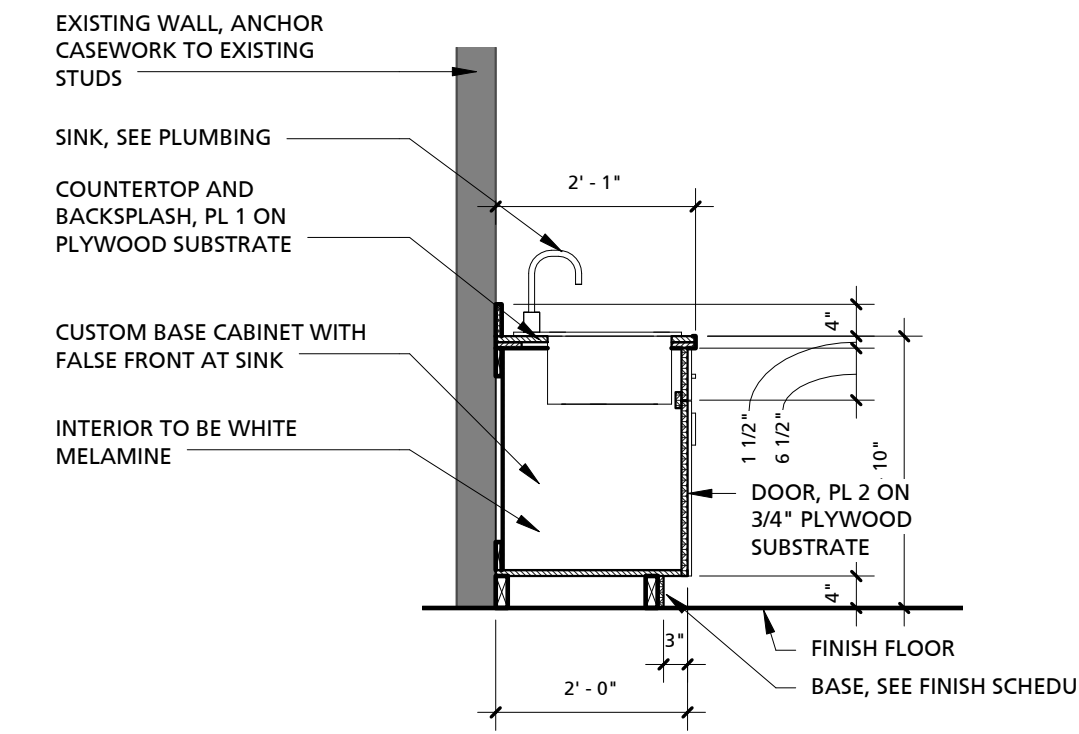
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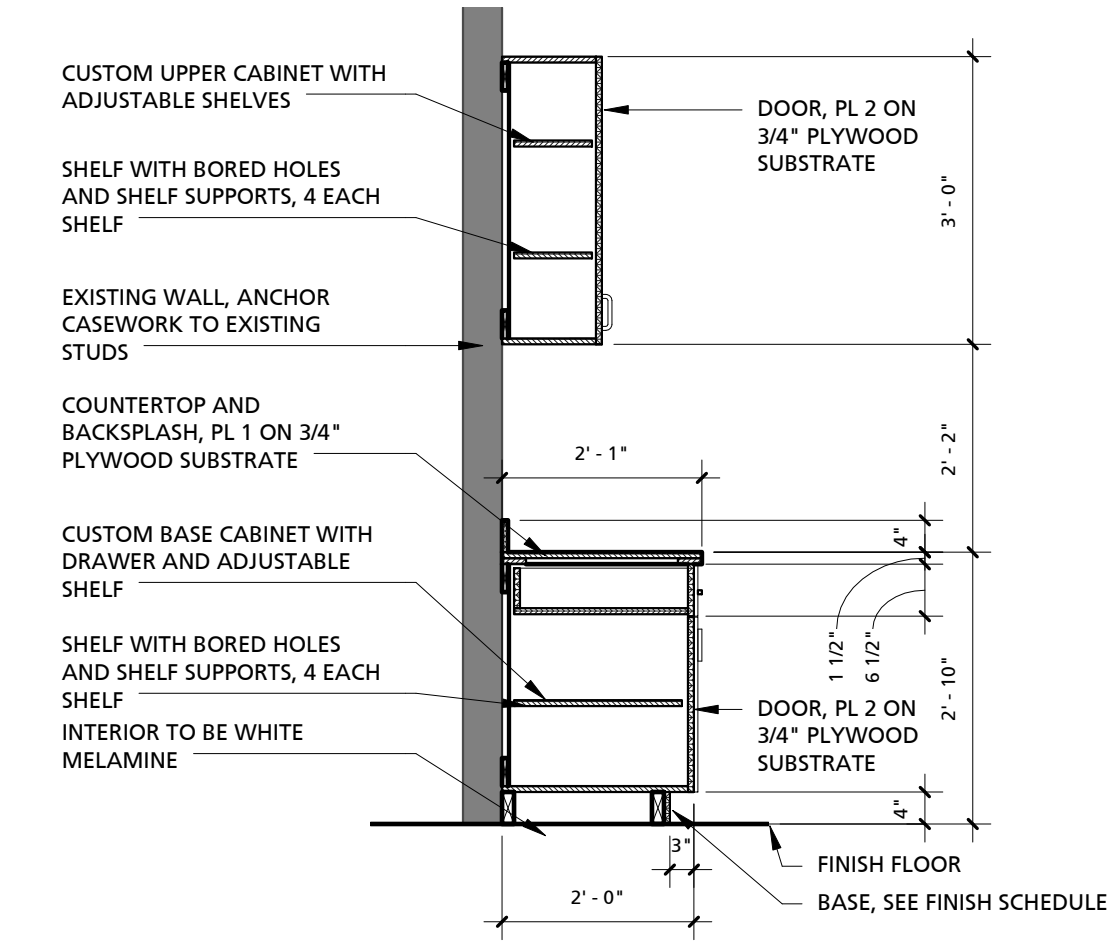
1 SIXTH FLOOR-ENLARGED PLAN AT ROOM 603P
1/2" = 1'-0"



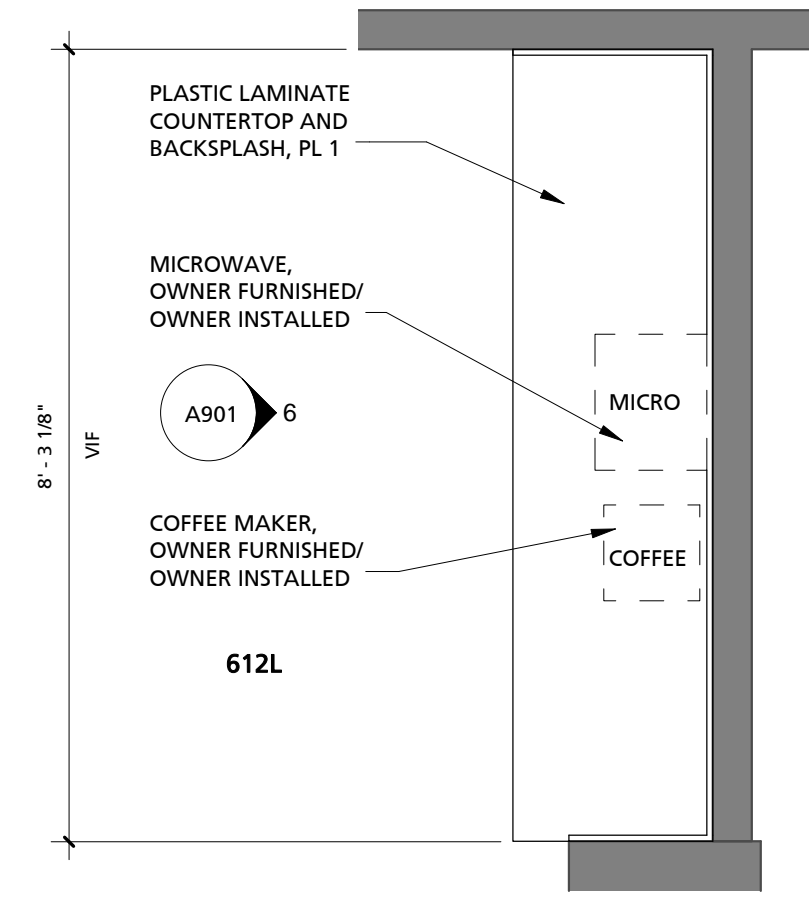
2 CASEWORK ELEVATION-603P
1/2" = 1'-0"



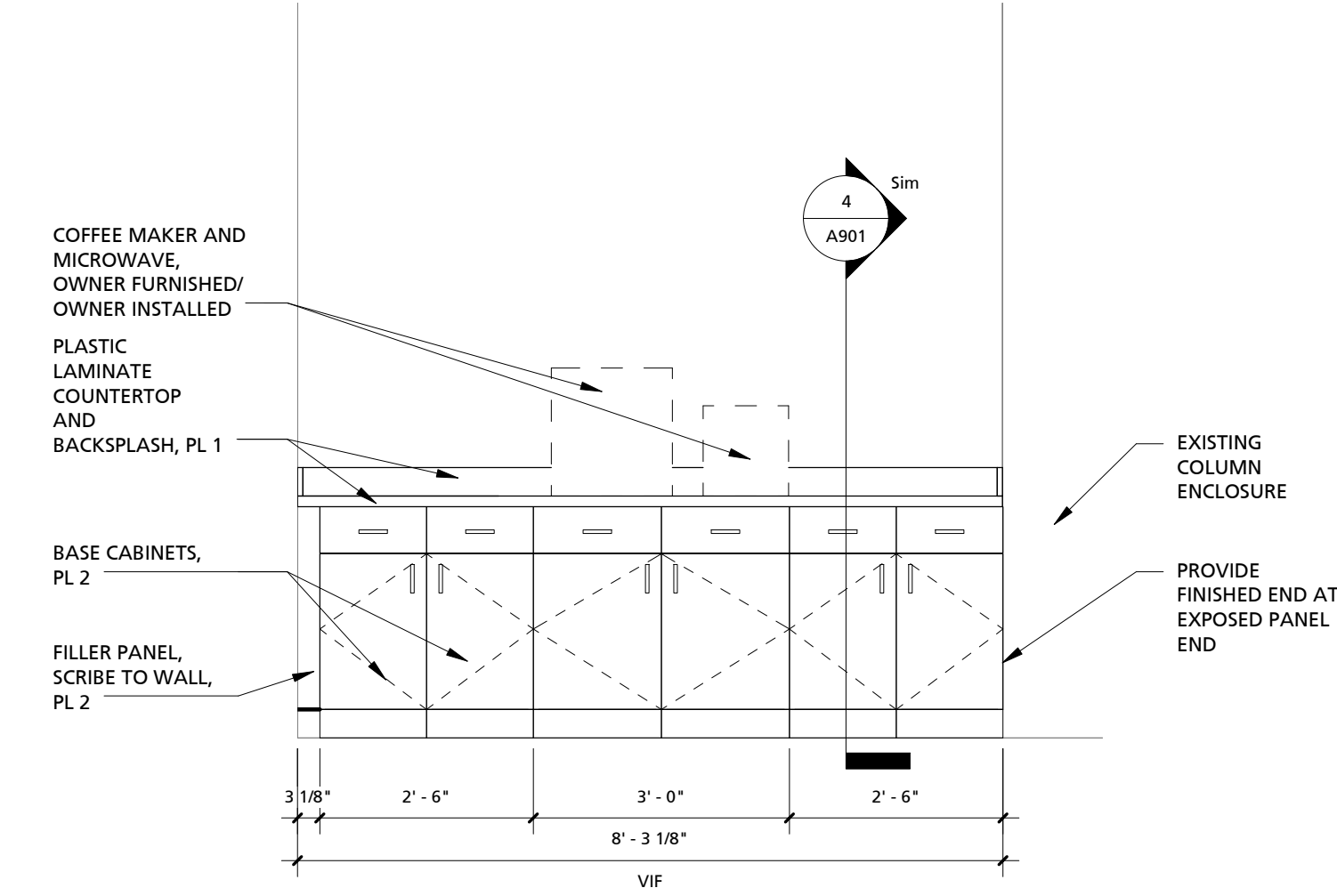
3 TYPICAL CASEWORK SECTION AT SINK
1/2" = 1'-0"



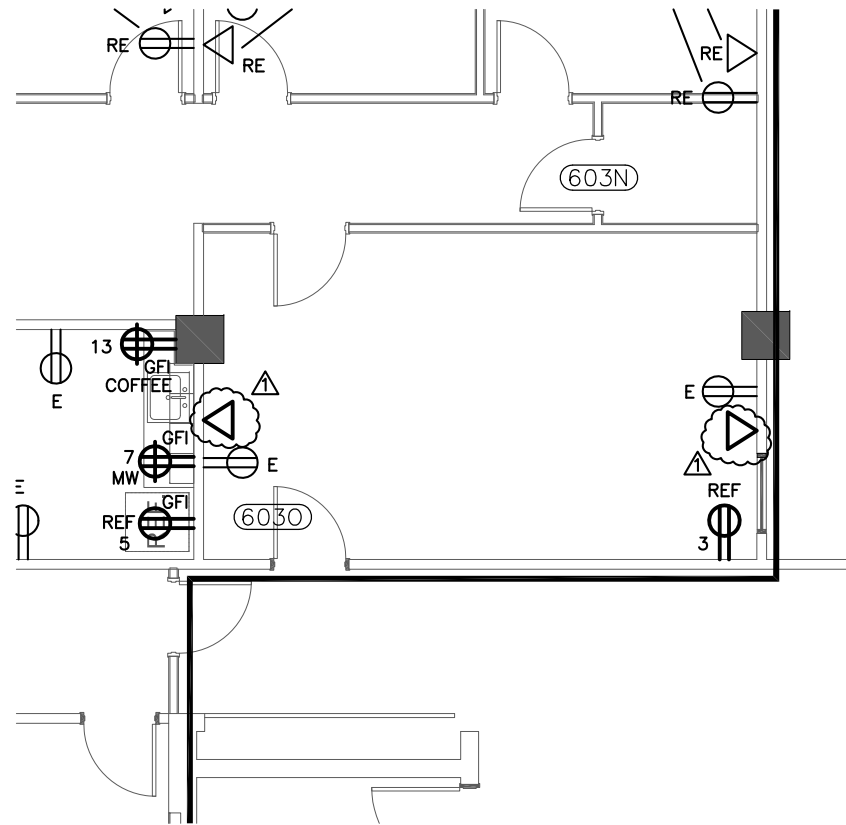
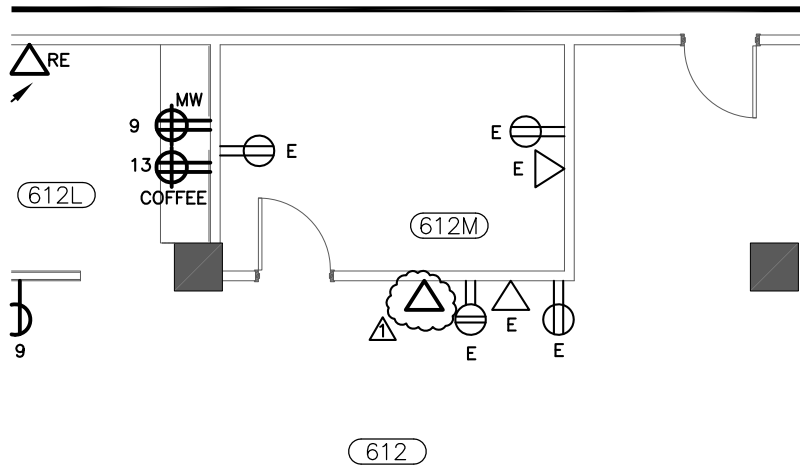
4 TYPICAL CASEWORK SECTION AT BASE AND UPPER CABINET
1/2" = 1'-0"



5 SIXTH FLOOR-ENLARGED PLAN AT 612L
1/2" = 1'-0"



6 CASEWORK ELEVATION-612L
1/2" = 1'-0"



1
SK-E1

PARTIAL SIXTH FLOOR POWER RENOVATION PLANS

SCALE: 1/8" = 1'-0"

OB21402

BEA BELKA
ENGINEERING
ASSOCIATES, INC.

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(803) 731-0650 fax (803) 731-2880
EMAIL: KBelka@bellsouth.net

SK-E1

CONTROLLERS SUITE RENOVATION

PARTIAL 6TH FLOOR POWER/SYSTEMS
PLAN

02.24.14

No.	Description	Date
▲	Addendum 1	03.07.14



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