



UPSTATE INFORMATION RESOURCE CENTER RENOVATIONS

STATE PROJECT NO.: H34-9517

150 GRAMLING DRIVE
SPARTANBURG, SC 29303

DRAWING INDEX

DRAWING NO.	TITLE
T101	TITLE SHEET
D101	FIRST FLOOR DEMOLITION PLAN
D102	SECOND FLOOR DEMOLITION PLAN
A300	BASEMENT FLOOR PLAN / REFLECTED CEILING PLAN
A301	FIRST FLOOR PLAN
A302	SECOND FLOOR PLAN
A501	FINISH SCHEDULE / DOOR SCHEDULE / DOOR & FRAME TYPES & DETAILS
A601	ALTERNATE NO. 1: STAIR DETAILS
A602	ALTERNATE NO. 2: CASEWORK ELEVATIONS & DETAILS
A901	FIRST FLOOR REFLECTED CEILING PLAN
A902	SECOND FLOOR REFLECTED CEILING PLAN
MD101	FIRST FLOOR DEMOLITION PLAN
MD102	SECOND FLOOR DEMOLITION PLAN
M100	BASEMENT FLOOR PLAN
M101	FIRST FLOOR PLAN
M102	SECOND FLOOR PLAN
M201	DETAILS, NOTES, SCHEDULE & LEGEND
E001	ELECTRICAL SYMBOLS AND NOTES
E101	FIRST FLOOR LIGHTING PLAN
E102	SECOND FLOOR LIGHTING PLAN
E201	BASEMENT POWER PLAN
E202	FIRST FLOOR POWER PLAN
E203	SECOND FLOOR POWER PLAN
E601	PARTIAL POWER RISER DIAGRAM & SCHEDULES

ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE	MAS	MASONRY
ALUM	ALUMINUM	MB	MARKER BOARD
BD	BOARD	MECH	MECHANICAL
BLKG	BLOCKING	MFR	MANUFACTURER
CB	CHALK BOARD	MIR	MIRROR
CJ	CONTROL JOINT	MO	MASONRY OPENING
CT	CERAMIC TILE	MTL	METAL
CMU	CONCRETE MASONRY UNIT	NSG	NOSING
CONC	CONCRETE	NIC	NOT IN CONTRACT
CONST	CONSTRUCTION	OC	ON CENTER
CONT	CONTINUOUS	OD	OUTSIDE DIAMETER
CPT	CARPET	OPNG	OPENING
CR	CLASSROOM	PL LAM	PLASTIC LAMINATE
DBL	DOUBLE	PL	PLATE
DS	DEEP SHELVES	PLUMB	PLUMBING
DTL	DETAIL	PR	PAIR
DIM	DIMENSION	PT	PAINT
ELEV	ELEVATION	RD	ROOF DRAIN
EA	EACH	REINF	REINFORCE (D) (ING)
EJ	EXPANSION JOINT	REQ'D	REQUIRED
ELEC	ELECTRICAL	SCHED	SCHEDULE
EQ	EQUAL	SEC	SECTION
EXIST	EXISTING	SHT	SHEET
EXP	EXPANSION	SIM	SIMILAR
EXT	EXTERIOR	SS	STAINLESS STEEL
FD	FLOOR DRAIN	STL	STEEL
FE	FIRE EXTINGUISHER	SWC	SOLID WOOD CORE
FF	FINISH FLOOR	TB	TACK BOARD
FLR	FLOOR	TEMP	TEMPERED
FLOUR	FLUORESCENT FIXTURE	TOIL	TOILET
FTG	FOOTING	TRTD	TREATED
GALV	GALVANIZED	TYP	TYPICAL
GB	GRAB BAR	UL	UNDERWRITER'S LABORATORY
GC	GENERAL CONTRACTOR	U.N.O.	UNLESS NOTED OTHERWISE
GL	GLASS	VCT	VINYL COMPOSITION TILE
GWB	GYP SUM WALL BOARD	VER	VERIFY
HM	HOLLOW METAL	VERT	VERTICAL
HORIZ	HORIZONTAL	V.I.F.	VERIFY IN FIELD
ID	INSIDE DIAMETER	VW	VIEW WINDOW
INSUL	INSULATION	W	WITH
INT	INTERIOR	W/O	WITH OUT
LAV	LAVATORY	WO	WOOD

PROJECT CONTACTS

OWNER	ARCHITECT	INTERIOR DESIGNER	MECHANICAL	ELECTRICAL / FIRE ALARM
USC UPSTATE 155 AMERICAN WAY SPARTANBURG, SC 29303 CONTACT: FRED SCOTT T: 864.503.5538	JUMPER CARTER SEASE ARCHITECTS, PA 412 MEETING STREET WEST COLUMBIA, SC 29169 CONTACT: L. TODD SEASE, AIA T: 803.791.1020	JUMPER CARTER SEASE ARCHITECTS, PA 412 MEETING STREET WEST COLUMBIA, SC 29169 CONTACT: LAUREN FABIN, IIDA T: 803.791.1020	SWYGERT ASSOCIATES 1315 STATE STREET CAYCE, SC 29033 CONTACT: TODD SWYGERT, PE T: 803.791.9300	SIMS GROUP 800 COLUMBIANA DRIVE, SUITE 208 IRMO, SC 29063 CONTACT: CHRIS PARTRICH, PE T: 803.765.1007
FSCOTT@USCUPSTATE.EDU	TODD@JCSARCHITECTS.COM	LFABIN@JCSARCHITECTS.COM	TODD@SWYGERT-ASSOCIATES.COM	CHRIS@SIMSGROUPUSA.COM

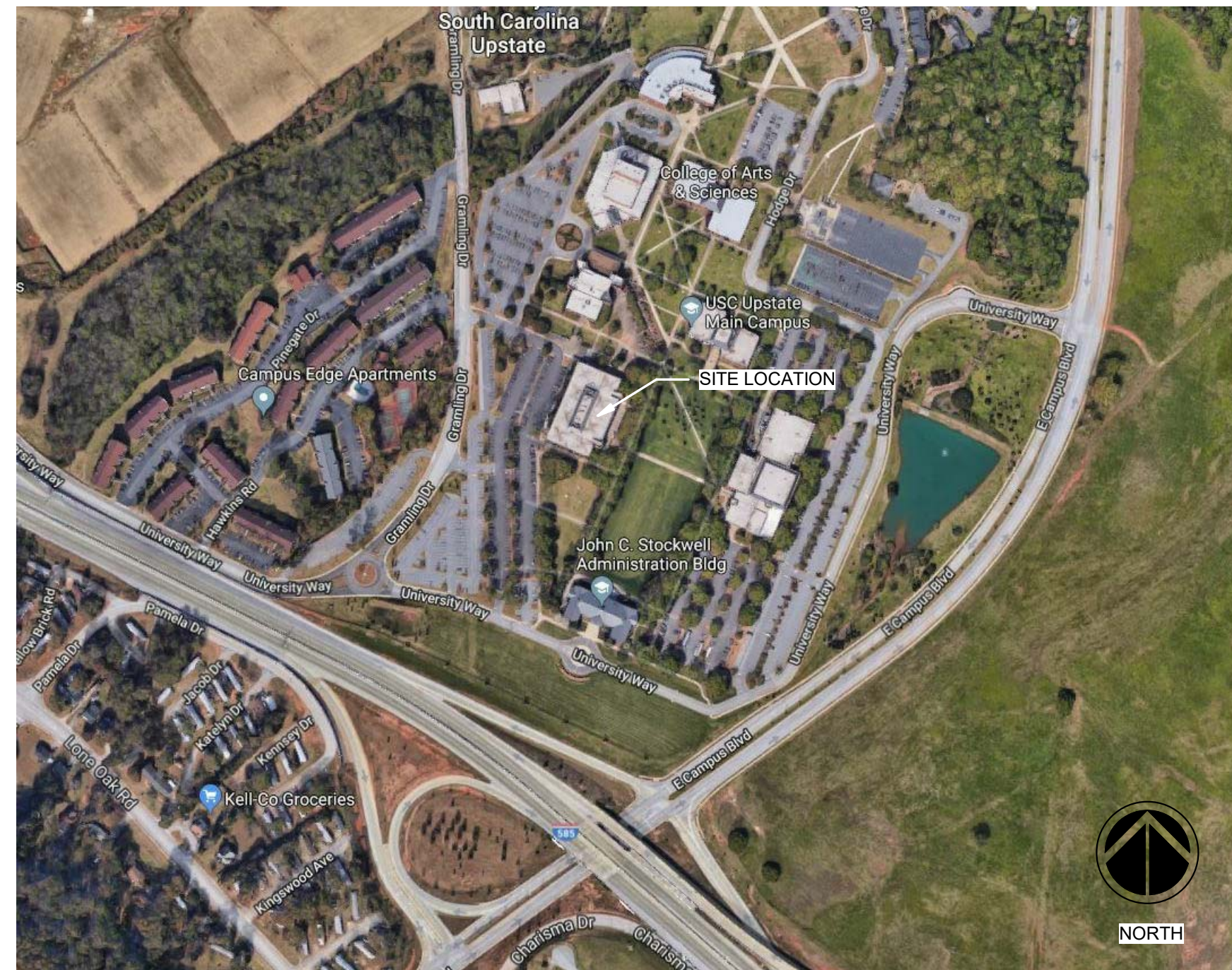
GENERAL NOTES

- THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.
- THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUB-CONTRACTORS. THE OWNER MAY ELECT TO CONTRACT DIRECTLY WITH A SUB-CONTRACTOR FOR ANY PART OF THE WORK.
- SCOPE OF WORK: THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT.
- BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT, IN WRITING, OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK AND SHALL BE RESPONSIBLE FOR SAME.
- IF THE CONTRACT DOCUMENTS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- IF A CONDITION EXISTS THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT, OR OTHER DESIGN PROFESSIONAL, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN. BEFORE COMMENCING WORK NOT SHOWN IN DOCUMENTS, BUT REQUIRED TO ACHIEVE FULL COMPLIANCE WITH CODES, CONTRACTOR SHALL NOTIFY ARCHITECT.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR SHALL PAY ALL TAXES, SECURE ALL PERMITS AND PAY ALL FEES INCURRED IN THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL UNCONDITIONALLY WARRANTY ALL MATERIALS, AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN A REASONABLE, AGREED UPON TIME FRAME, AFTER IT IS BROUGHT TO HIS ATTENTION.
- THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH AND AT THE COMPLETION OF THE WORK THE CONTRACTOR SHALL REMOVE ALL RUBBISH, IMPLEMENTS, AND SURPLUS MATERIALS AND LEAVE THE BUILDING IN NEW AND CLEAN CONDITION.
- CONTRACTOR IS TO PROVIDE TO THE OWNER A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES AND OPERATIONS AND MAINTENANCE MANUALS.
- CONTRACTOR SHALL PROTECT ALL EXISTING FINISHES AND OWNER FURNISHINGS DURING CONSTRUCTION AND DEMOLITION ACTIVITIES. OWNER WILL MOVE FURNITURE, FURNISHINGS, ETC. AS NEEDED FROM IMMEDIATE CONSTRUCTION ZONES, BUT NOT ALL OF THESE ITEMS WILL BE REMOVED FROM THE PREMISES. ANY ITEMS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED BY THE CONTRACTOR. TOUCH UP DAMAGED PAINT AS REQUIRED.
- ALL WORK SHOWN SHALL BE INCLUDED IN BASE BID, UNLESS SPECIFICALLY DESIGNATED AS AN ALTERNATE. FOR WORK DESIGNATED AS AN ALTERNATE, BASE BID SHALL BE EXISTING CONDITION TO REMAIN.
- A NEW SPRINKLER SYSTEM INSTALLATION FOR THE ENTIRE BUILDING (UNDER SEPARATE CONTRACT) WILL OCCUR IN CONJUNCTION WITH THE SCOPE OF THIS PROJECT. COORDINATE WORK WITH SEPARATE CONTRACT TO FACILITATE INSTALLATION OF NEW WORK AND AVOID SCHEDULING CONFLICTS.**

DRAWING SYMBOL LEGEND

(101)	DOOR TAG	1 A1.1 1	ELEVATION TAG	?	NOTE TAG	11	EQUIPMENT/ ACCESSORY
(A)	WINDOW TAG	1 A1.1 SIM	DETAIL TAG	0 ---	COLUMN LINE	?	FINISH TAG
1 A1.1 SIM	SECTION TAG	11	WALL TAG	M1	FURNITURE/ MILLWORK TAG		

VICINITY MAP



BUILDING CODE ANALYSIS SUMMARY

Project:	USC Upstate Library Modifications
Code & Edition:	2018 IBC, 2017 ICC A117.1
Construction Classification:	TYPE IIB
Occupancy Classification(s):	B (Business) A-2 (Cafeterias) A-3 (Libraries)
Non-separated Mixed Use	
Most Restrictive Occupancy Classification:	A-2
Allowable Area per Story by Table (Sprinklered):	
Basement:	28,500 SF
First Floor:	28,500 SF
Second Floor:	28,500 SF
Total:	85,500 SF
Frontage increase required:	
If = [F/P - 0.25] W/30	
If = [720/720 - 0.25] 30/30	
If = 75%	
Allowable Area per Story (Aa) = [A1 + (NS x If)]	
Aa = [28,500 + (9,500 x 0.75)] = 35,625	
Area as Designed per Story:	
Basement:	6,882 SF
First Floor:	29,310 SF
Second Floor:	29,780 SF
Total:	65,772 SF
Allowable Height in Feet:	75
Allowable Height in Stories:	3
Height as Designed in Feet:	48
Height as Designed in Stories:	3
Fire Resistance Ratings (TYPE IIB)	
Primary Structural Frame:	0 hour
Bearing Walls (Exterior):	0 hour
Bearing Walls (Interior):	0 hour
Nonbearing Walls (Exterior):	0 hour
Nonbearing Walls (Interior):	0 hour
Floor Construction:	0 hour
Roof Construction:	0 hour
Fire Walls:	NA
Fire Barriers (Stairs):	1 hour
Shaft Enclosures:	1 hour
Fire Partitions:	NA
Exit Access Travel Distance:	250' maximum

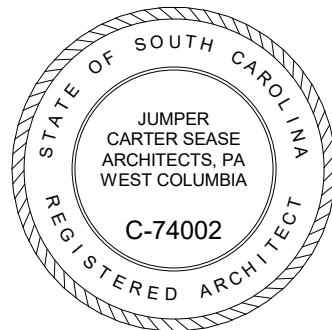
Jumper

Carter

Sease

ARCHITECTS

412 Meeting Street
West Columbia
South Carolina



UPSTATE INFORMATION RESOURCE CENTER
RENOVATIONS
150 GRAMLING DRIVE, SPARTANBURG, SC 29303
STATE PROJECT NO.: H34-9517

No	Description	Date

DRAWN BY:

DB

CHECKED BY:

TS

COMM NO:

18104

DATE:

12/4/2020

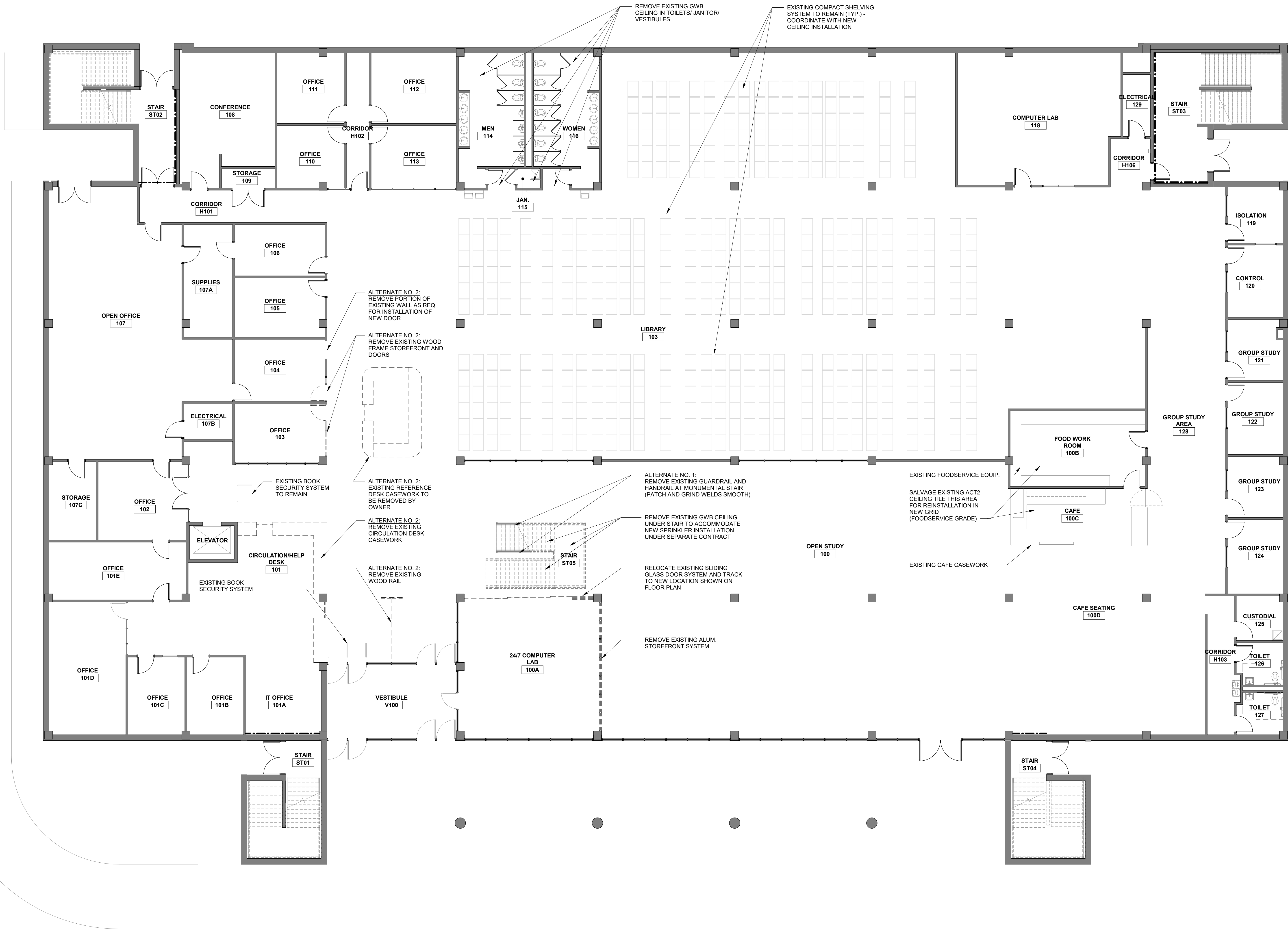
SHEET TITLE:

TITLE SHEET

SHEET NO:

T101

12/4/2020 11:31:35 AM C:\Users\lbouknight\Documents\USCU_Library_Renovation (IRC)_DBouknight@jcsarchitects.com.rvt



1 FIRST FLOOR DEMOLITION PLAN
D101 1/8" = 1'-0"



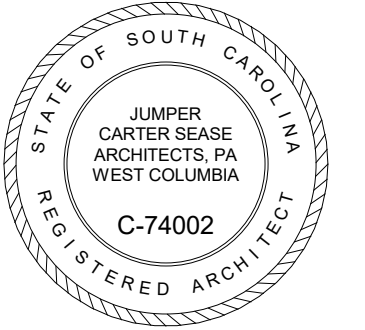
DEMOLITION PLAN LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING ITEM TO BE DEMOLISHED

DEMOLITION GENERAL NOTES	
1.	ALL HAZARDOUS MATERIALS SHALL BE REMOVED PRIOR TO START OF CONSTRUCTION UNDER SEPARATE CONTRACT.
2.	ALL MATERIALS THAT HAVE BEEN DEMOLISHED SHALL BE REMOVED IMMEDIATELY AND DISPOSED OF PROPERLY. NO DEMOLISHED MATERIALS SHALL BE STOCKPILED ON SITE.
3.	PROTECT OWNER'S PROPERTY AND PERSONS AT ALL TIMES.
4.	ANY ITEMS NOT SHOWN TO BE DEMOLISHED THAT ARE DAMAGED SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR.
5.	COORDINATE ANY SYSTEMS SHUTDOWNS WHICH MAY BE REQUIRED WITH THE OWNER.
6.	PRIOR TO COMMENCING WITH THE DEMOLITION, THE CONTRACTOR SHALL ASCERTAIN FROM THE OWNER WHETHER OR NOT THE OWNER WISHES TO RETAIN ANY ITEMS. ANY SUCH ITEMS SHALL BE REMOVED WITH CARE SO AS TO PREVENT UNNECESSARY DAMAGE AND TURNED OVER TO THE OWNER.
7.	THE CONTRACTOR SHALL CONTROL AND LIMIT DUST RESULTING FROM DEMOLITION AND PREVENT THE SPREAD OF DUST TO THE REMAINING BUILDING.
8.	BURNING ON THE SITE WILL NOT BE PERMITTED.
9.	EXPLOSIVES WILL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED.
10.	CONTRACTOR SHALL MAKE FUNCTIONAL ALL CIRCUITS DISRUPTED BY ANY DEMOLITION.
11.	REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
12.	PROVIDE NEW PANELBOARD DIRECTORY CARD IN EXISTING PANEL BOARDS AS REQUIRED AFTER DEMOLITION/REWORKING OF EXISTING CIRCUITS.
13.	DEMOLITION INCLUDES REMOVAL OF ALL ITEMS NECESSARY TO FACILITATE THE NEW CONSTRUCTION, WHETHER SPECIFICALLY INDICATED OR NOT, UNLESS NOTED OTHERWISE.
14.	ALL FINISHES TO REMAIN THAT ARE DISTURBED SHALL BE REPAIRED TO MATCH EXISTING. TOUCH UP DAMAGED PAINT AS REQUIRED.
15.	CONTRACTOR SHALL MARK WALLS ABOVE CEILINGS AS REQUIRED THE LOCATIONS OF EXISTING GRID PRIOR TO REMOVAL TO FACILITATE NEW CEILING GRID ALIGNMENT AND REINSTALLATION OF EXISTING LIGHT FIXTURES IN SAME LOCATIONS.
16.	REMOVE ALL EXISTING LAY-IN CEILINGS THROUGHOUT (LAY-IN CEILINGS ARE PRESENT IN ALL SPACES UNLESS NOTED OTHERWISE). REMOVE EXISTING GWS CEILINGS WHERE INDICATED ON CEILING AND DEMOLITION PLANS. ALL CEILING FIXTURES (LIGHTING, MECHANICAL, ETC.) SHALL BE TEMPORARILY HUNG AND REINSTALLED IN NEW CEILINGS UNLESS NOTED OTHERWISE.

Jumper
Carter
Sease

ARCHITECTS

412 Meeting Street
West Columbia
South Carolina



UPSTATE INFORMATION RESOURCE CENTER
RENOVATIONS
150 GRAMLING DRIVE, SPARTANBURG, SC 29303
STATE PROJECT NO.: H34-9517

No	Description	Date

DRAWN BY: DB
CHECKED BY: TS
COMM NO: 18104
DATE: 12/4/2020

SHEET TITLE:
FIRST FLOOR
DEMOLITION
PLAN

SHEET NO:

D101

12/4/2020 11:31:42 AM C:\Users\dbouknight\Documents\USCU_Library_Renovation (IRC)_DBouknight@csarchitects.com.rvt



1 SECOND FLOOR DEMOLITION PLAN
D102 1/8" = 1'-0"

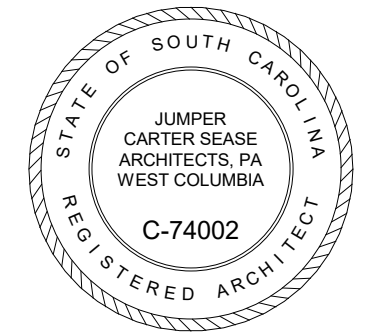
Jumper

Carter

Sease

ARCHITECTS

412 Meeting Street
West Columbia
South Carolina



These drawings are the property of Jumper Carter Sease Architects, P.A., and may not be reproduced, copied or used in whole or in part without written consent of the architect. Any infringement will be subject to legal action.

UPSTATE INFORMATION RESOURCE CENTER
RENOVATIONS
150 GRAMLING DRIVE, SPARTANBURG, SC 29303
STATE PROJECT NO.: H34-9517

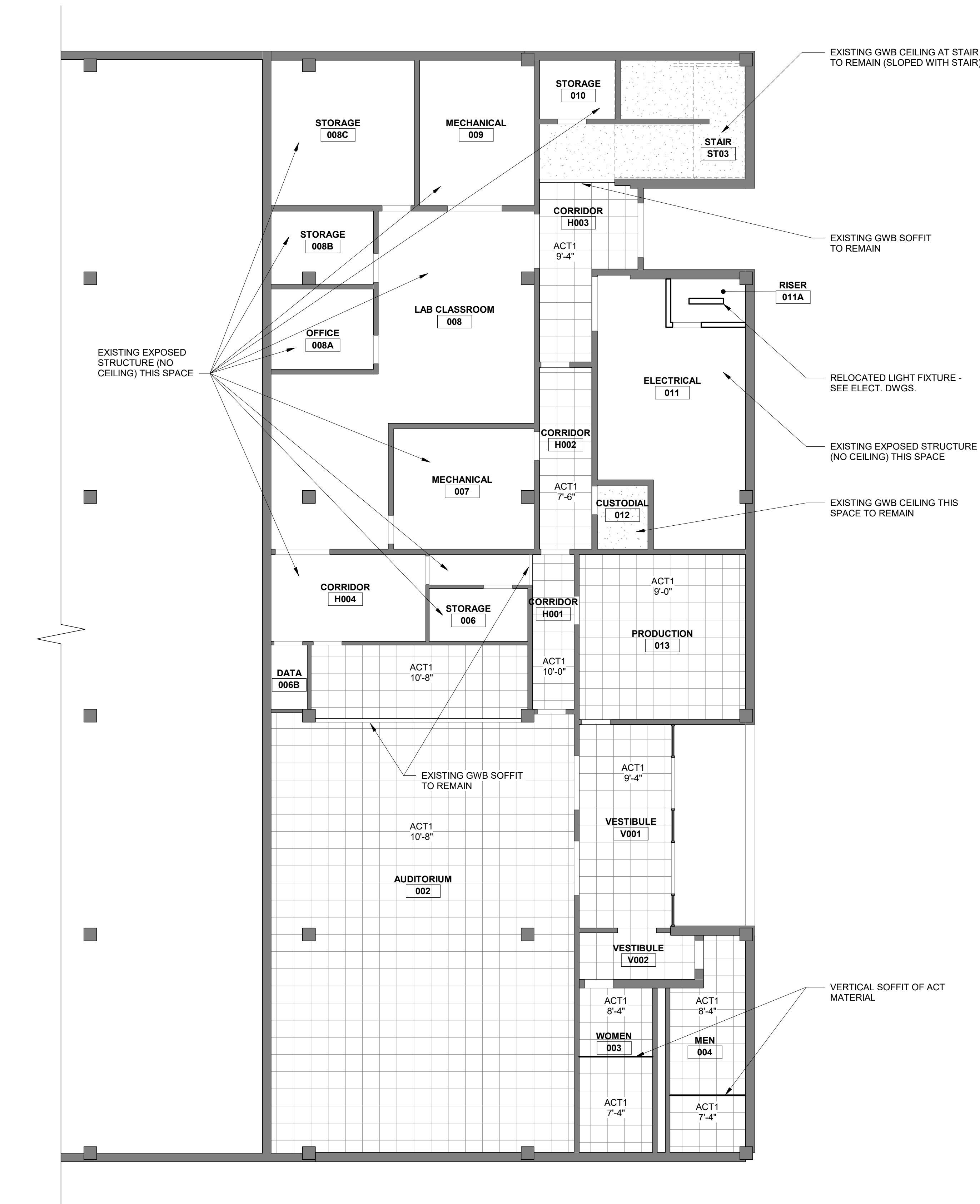
No	Description	Date

DRAWN BY: DB
CHECKED BY: TS
COMM NO: 18104
DATE: 12/4/2020
SHEET TITLE:

SECOND
FLOOR
DEMOLITION
PLAN

SHEET NO:

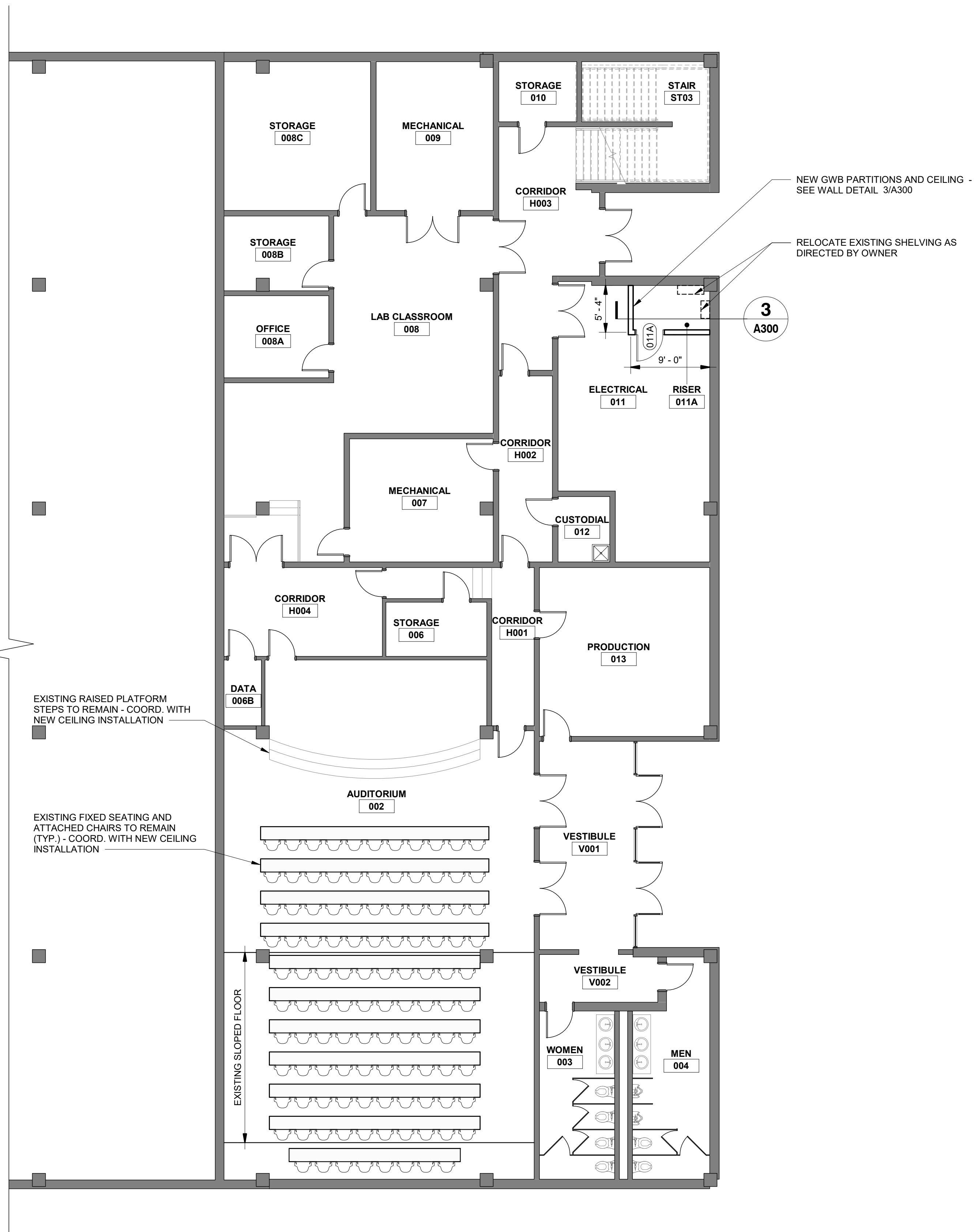
D102



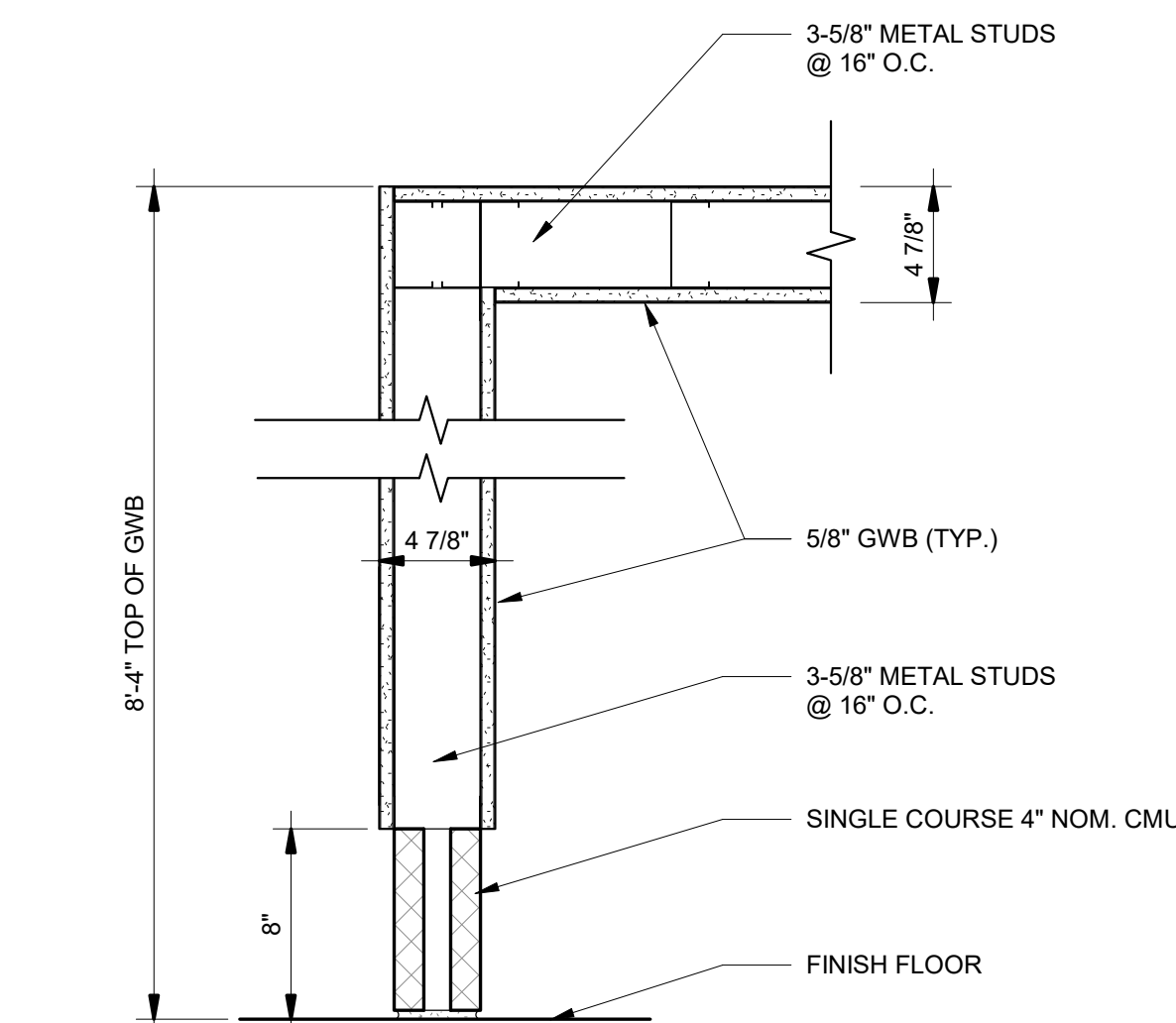
2 BASEMENT REFLECTED CEILING PLAN
A300 1/8" = 1'-0"

CEILING PLAN LEGEND	
	NEW 2'X2' ACOUSTICAL TILE CEILING SYSTEM (TILE AND GRID) TO MATCH EXISTING SYSTEM INSTALLED IN 1ST FLOOR LIBRARY SPACE (9'-4" A.F.F. U.N.O.)
	NEW GWB SOFFIT / BULKHEAD PER DETAIL

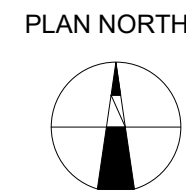
- CEILING PLAN GENERAL NOTES**
- CONTRACTOR SHALL MARK WALLS ABOVE CEILINGS AS REQUIRED THE LOCATIONS OF EXISTING GRID, INCLUDING CEILING HEIGHT, PRIOR TO REMOVAL TO FACILITATE NEW CEILING GRID ALIGNMENT AND REINSTALLATION OF EXISTING LIGHT FIXTURES IN SAME LOCATIONS.
 - REMOVE ALL EXISTING LAY-IN CEILINGS THROUGHOUT, INCLUDING GRID, TILE, AND WALL MOLD (LAY-IN CEILINGS ARE PRESENT IN ALL SPACES U.N.O.). REMOVE EXISTING GWB CEILINGS WHERE INDICATED ON CEILING AND DEMOLITION PLANS. ALL CEILING FIXTURES (LIGHTING, MECHANICAL, ETC.) SHALL BE TEMPORARILY HUNG AND REINSTALLED IN NEW CEILINGS IN SAME LOCATIONS UNLESS NOTED OTHERWISE.
 - ALL NEW CEILING HEIGHTS SHALL MATCH EXISTING HEIGHTS U.N.O.
 - REFER TO ELECTRICAL DRAWINGS FOR ALL CEILING MOUNTED EXIT LIGHTS, SMOKE DETECTORS, FIRE ALARM DEVICES, ETC. FOR ITEMS NOT INDICATED ON THE REFLECTED CEILING PLAN COORDINATE LOCATIONS WITH THE ARCHITECT PRIOR TO INSTALLATION.
 - COORDINATE ALL HVAC MECHANICAL DEVICES WITH MECHANICAL DRAWINGS.
 - IF AS-BUILT CONDITIONS DEMAND THAT A CEILING BOARD LARGER THAN 2'-0" IN ANY DIMENSION BE USED IN THE PERIMETER BOARDS OF A TYPICAL 2'X2' GRID, THEN THAT BOARD SHALL BE CUT FROM A 2'X4' BOARD. A DOUBLE WALL ANGLE SHALL NOT BE USED IN THE CEILING GRID SYSTEM.
 - CEILING SUSPENSION SYSTEM TO MEET SEISMIC REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE CURRENT EDITION, AS WELL AS MANUFACTURER'S ESR REPORT, FOR SEISMIC DESIGN CATEGORY "C".
 - LOCATE ALL RECESSED FIXTURES AT THE CENTERLINE OF TILE UNLESS NOTED OTHERWISE. INSTALL ALL ELECTRICAL SYSTEM COMPONENTS WITHOUT INTERFERING WITH DUCTS, PIPES, BEAMS, ETC. LOCATE LIGHT FIXTURES SYMMETRICALLY, AS DIMENSIONED, OR AS INDICATED ON THE REFLECTED CEILING PLANS. SEE ELECTRICAL DWGS. FOR FIXTURE TYPES.



1 BASEMENT FLOOR PLAN
A300 1/8" = 1'-0"



3 BASEMENT WALL TYPE
A300 1 1/2" = 1'-0"



WALL LEGEND	
	EXISTING 1-HOUR RATED WALL TO REMAIN
	EXISTING WALL TO REMAIN
	NEW WALL (5/8" GWB EA. SIDE OF 3 5/8" METAL STUDS @ 16" O.C. - EXTEND TO 6" ABOVE CEILING AND BRACE TO STRUCTURE AT 4'-0" O.C. CUT BACK EXISTING CEILING GRID AS REQUIRED AND REINSTALL UP TO NEW WALL)
	NEW WALL (SAME AS W1, ADD SOUND BATT INSULATION IN STUD CAVITY AND 3" EA. SIDE OF WALL ABOVE CEILING)
	NEW WALL (5/8" GWB ONE SIDE OF 3 5/8" METAL STUDS @ 16" O.C. - EXTEND TO UNDERSIDE OF CEILING)

- FLOOR PLAN NOTES**
- SEE FINISH SCHEDULE FOR LOCATIONS OF NEW PAINT ON NEW AND EXISTING WALLS. SEE DOOR SCHEDULE FOR NEW PAINT ON NEW DOOR FRAMES.
 - ALL FLOOR FINISHES AND BASE ARE BY OWNER (N.I.C.).
 - DIMENSIONS SHOWN FOR NEW GWB PARTITIONS ARE TAKEN TO THE CENTERLINE OF STUD, CENTERLINE OF COLUMNS, OR FACE OF EXISTING WALLS, UNLESS NOTED OTHERWISE.
 - GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
 - DOOR JAMBS ARE 6" NEAREST PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
 - CONTRACTOR TO PROTECT ALL EXISTING FINISHES, FIXTURES, AND EQUIPMENT DURING CONSTRUCTION.
 - INDICATES NEW SEMI-RECESSED FIRE EXTINGUISHER CABINET AT 48" A.F.F. TO TOP OF CABINET

These drawings are the property of Jumper Carter Sease Architects/PA, and may not be reproduced, copied or used in whole or in part without written consent of the architect. Any infringement will be subject to legal action.

**Jumper
Carter
Sease**

ARCHITECTS

412 Meeting Street
West Columbia
South Carolina

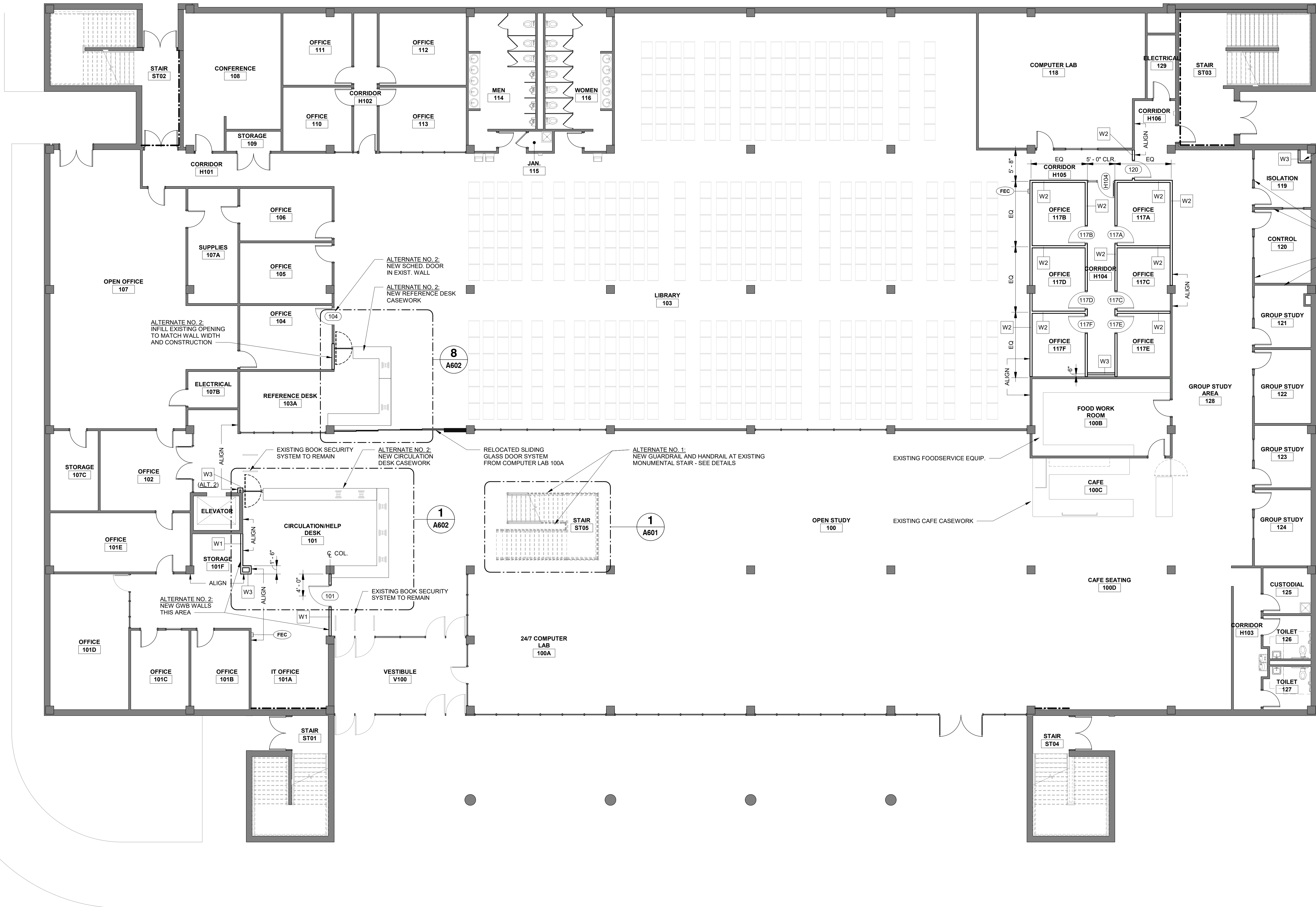


**UPSTATE INFORMATION RESOURCE CENTER
RENOVATIONS**
150 GRAMLING DRIVE, SPARTANBURG, SC 29303
STATE PROJECT NO.: H34-9517

Description	Date
No	

DRAWN BY: DB
CHECKED BY: TS
COMM NO: 18104
DATE: 12/4/2020
SHEET TITLE: BASEMENT FLOOR PLAN / REFLECTED CEILING PLAN
SHEET NO:

A300



1 FIRST FLOOR PLAN
1/8" = 1'-0"



WALL LEGEND		
	EXISTING 1-HOUR RATED WALL TO REMAIN	
	EXISTING WALL TO REMAIN	
	NEW WALL (5/8" GWB EA. SIDE OF 3 5/8" METAL STUDS @ 16" O.C. - EXTEND TO 6" ABOVE CEILING AND BRACE TO STRUCTURE AT 4'-0" O.C. CUT BACK EXISTING CEILING GRID AS REQUIRED AND REINSTALL UP TO NEW WALL.)	
	NEW WALL (SAME AS W1, ADD SOUND BATT INSULATION IN STUD CAVITY AND 3" EA. SIDE OF WALL ABOVE CEILING)	
	NEW WALL (5/8" GWB ONE SIDE OF 3 5/8" METAL STUDS @ 16" O.C. - EXTEND TO UNDERSIDE OF CEILING)	

FLOOR PLAN NOTES	
1.	SEE FINISH SCHEDULE FOR LOCATIONS OF NEW PAINT ON NEW AND EXISTING WALLS. SEE DOOR SCHEDULE FOR NEW PAINT ON NEW DOOR FRAMES.
2.	ALL FLOOR FINISHES AND BASE ARE BY OWNER (N.I.C.).
3.	DIMENSIONS SHOWN FOR NEW GWB PARTITIONS ARE TAKEN TO THE CENTERLINE OF STUD, CENTERLINE OF COLUMNS, OR FACE OF EXISTING WALLS, UNLESS NOTED OTHERWISE.
4.	GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
5.	DOOR JAMBS ARE 6" NEAREST PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
6.	CONTRACTOR TO PROTECT ALL EXISTING FINISHES, FIXTURES, AND EQUIPMENT DURING CONSTRUCTION.
7.	INDICATES NEW SEMI-RECESSED FIRE EXTINGUISHER CABINET AT 48" A.F.F. TO TOP OF CABINET

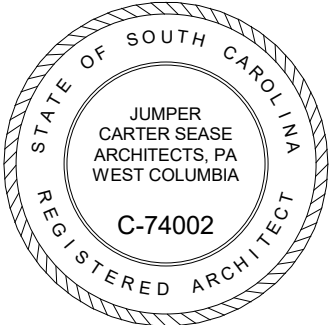
Jumper

Carter

Sease

ARCHITECTS

412 Meeting Street
West Columbia
South Carolina



UPSTATE INFORMATION RESOURCE CENTER
RENOVATIONS
150 GRAMLING DRIVE, SPARTANBURG, SC 29303
STATE PROJECT NO.: H34-9517

No	Description	Date

DRAWN BY: DB

CHECKED BY: TS

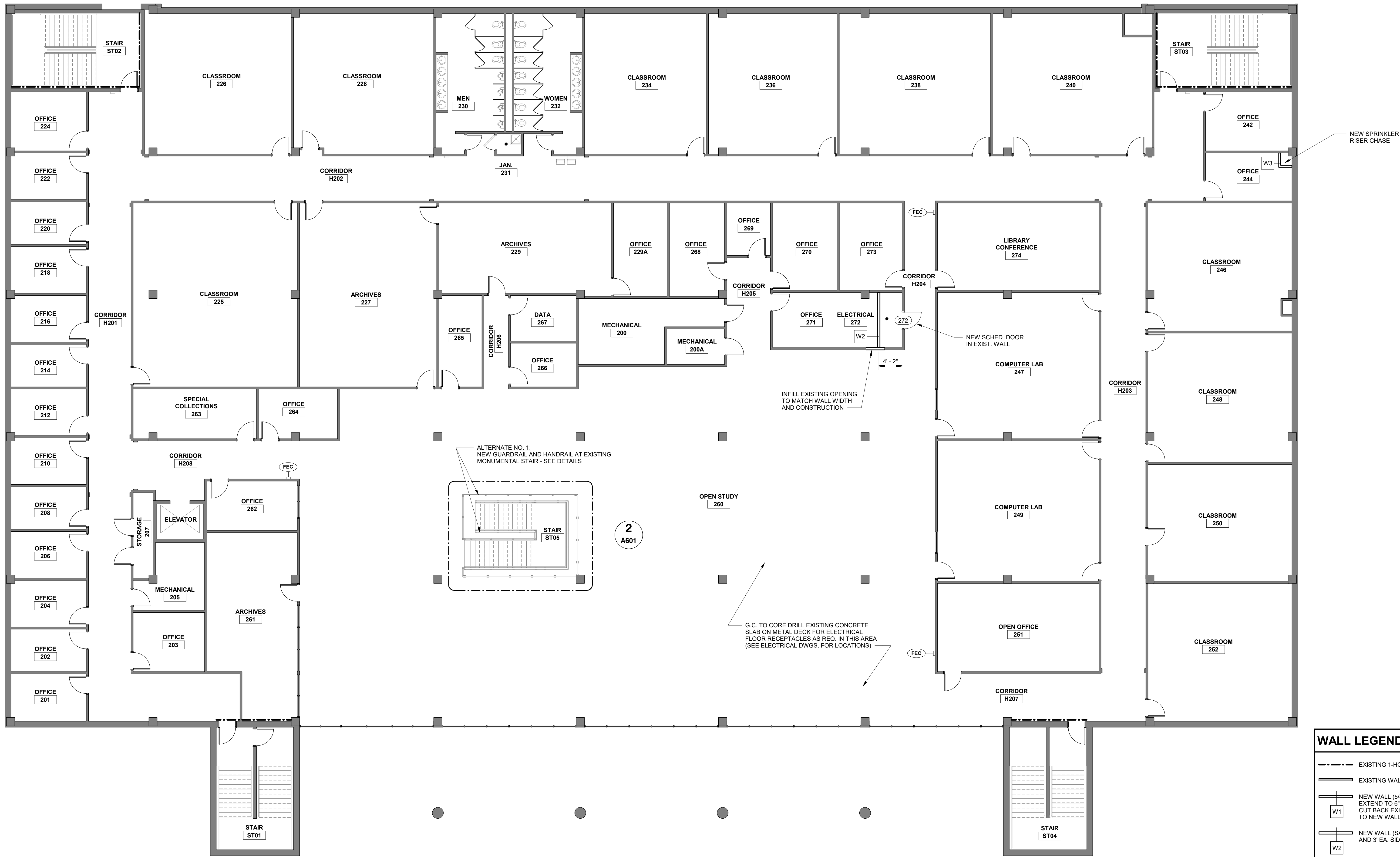
COMM NO: 18104

DATE: 12/4/2020

SHEET TITLE:
FIRST FLOOR
PLAN

SHEET NO:

A301



1 SECOND FLOOR PLAN
A302 1/8" = 1'-0"

WALL LEGEND		
---	EXISTING 1-HOUR RATED WALL TO REMAIN	
---	EXISTING WALL TO REMAIN	
W1	NEW WALL (5/8" GWB EA. SIDE OF 3 5/8" METAL STUDS @ 16" O.C. - EXTEND TO 6" ABOVE CEILING AND BRACE TO STRUCTURE AT 4'-0" O.C. CUT BACK EXISTING CEILING GRID AS REQUIRED AND REINSTALL UP TO NEW WALL.)	
W2	NEW WALL (SAME AS W1, ADD SOUND BATT INSULATION IN STUD CAVITY AND 3" EA. SIDE OF WALL ABOVE CEILING)	
W3	NEW WALL (5/8" GWB ONE SIDE OF 3 5/8" METAL STUDS @ 16" O.C. - EXTEND TO UNDERSIDE OF CEILING)	

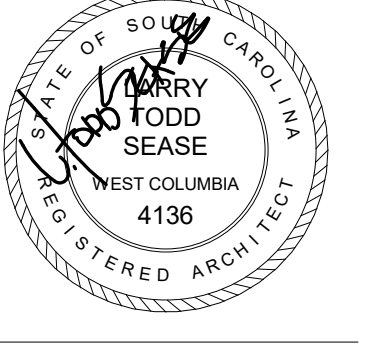
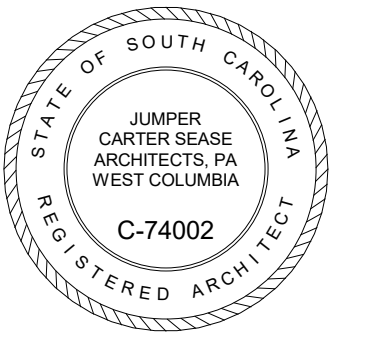
FLOOR PLAN NOTES	
1.	SEE FINISH SCHEDULE FOR LOCATIONS OF NEW PAINT ON NEW AND EXISTING WALLS. SEE DOOR SCHEDULE FOR NEW PAINT ON NEW DOOR FRAMES.
2.	ALL FLOOR FINISHES AND BASE ARE BY OWNER (N.I.C.).
3.	DIMENSIONS SHOWN FOR NEW GWB PARTITIONS ARE TAKEN TO THE CENTERLINE OF STUD, CENTERLINE OF COLUMNS, OR FACE OF EXISTING WALLS, UNLESS NOTED OTHERWISE.
4.	GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
5.	DOOR JAMBS ARE 6" NEAREST PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
6.	CONTRACTOR TO PROTECT ALL EXISTING FINISHES, FIXTURES, AND EQUIPMENT DURING CONSTRUCTION.
7.	FEC INDICATES NEW SEMI-RECESSED FIRE EXTINGUISHER CABINET AT 48" A.F.F. TO TOP OF CABINET

These drawings are the property of Jumper Carter Sease Architects/P.A. and may not be reproduced, copied or used in whole or in part without written consent of the architect. Any infringement will be subject to legal action.

Jumper
Carter
Sease

ARCHITECTS

412 Meeting Street
West Columbia
South Carolina



UPSTATE INFORMATION RESOURCE CENTER
RENOVATIONS
150 GRAMLING DRIVE, SPARTANBURG, SC 29303
STATE PROJECT NO.: H34-9517

No	Description	Date

DRAWN BY: DB
CHECKED BY: TS
COMM NO: 18104
DATE: 12/4/2020

SHEET TITLE:
SECOND
FLOOR PLAN

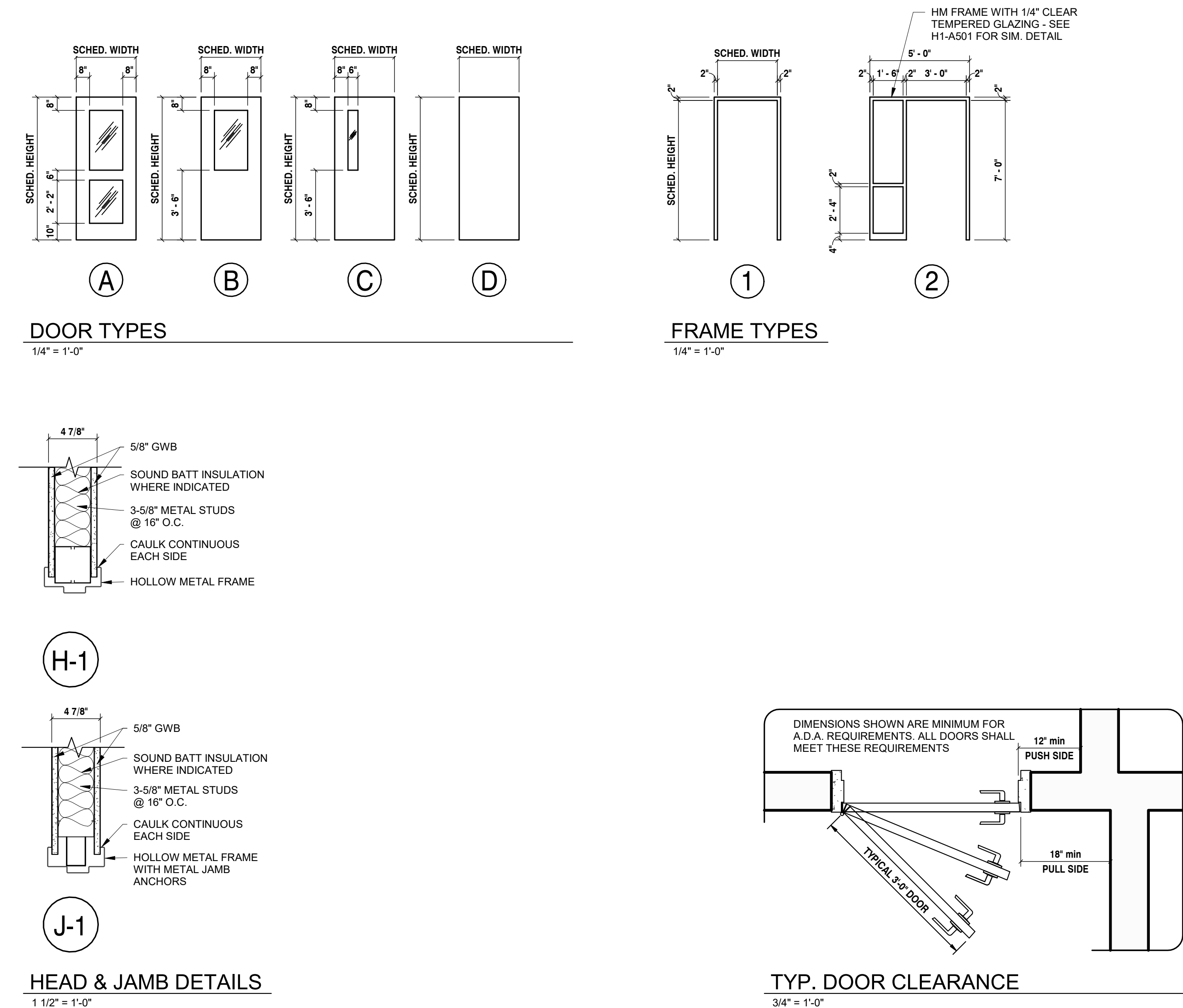
SHEET NO:

A302

[illegible]

ROOM #	ROOM NAME	Level	FLOOR FINISH	BASE TYPE	WALL NORTH	WALL SOUTH	WALL EAST	WALL WEST	COMMENTS
267	DATA	2ND FLOOR	--	--	--	--	--	--	
268	OFFICE	2ND FLOOR	--	--	--	--	--	--	
269	OFFICE	2ND FLOOR	--	--	--	--	--	--	
270	OFFICE	2ND FLOOR	--	--	--	--	--	--	
271	OFFICE	2ND FLOOR	--	--	PT	PT	PT	PT	
272	ELECTRICAL	2ND FLOOR	--	--	PT	PT	PT	PT	
273	OFFICE	2ND FLOOR	--	--	--	--	--	--	
274	LIBRARY CONFERENCE	2ND FLOOR	--	--	--	--	--	--	
H001	CORRIDOR	BASEMENT	--	--	--	--	--	--	
H002	CORRIDOR	BASEMENT	--	--	--	--	--	--	
H003	CORRIDOR	BASEMENT	--	--	--	--	--	--	
H004	CORRIDOR	BASEMENT	--	--	--	--	--	--	
H101	CORRIDOR	1ST FLOOR	--	--	--	--	--	--	
H102	CORRIDOR	1ST FLOOR	--	--	--	--	--	--	
H103	CORRIDOR	1ST FLOOR	--	--	--	--	--	--	
H104	CORRIDOR	1ST FLOOR	--	--	PT	PT	PT	PT	
H105	CORRIDOR	1ST FLOOR	--	--	PT	PT	PT	--	
H106	CORRIDOR	1ST FLOOR	--	--	PT	PT	--	PT	
H201	CORRIDOR	2ND FLOOR	--	--	--	--	--	--	
H202	CORRIDOR	2ND FLOOR	--	--	--	--	--	--	
H203	CORRIDOR	2ND FLOOR	--	--	--	--	--	--	
H204	CORRIDOR	2ND FLOOR	--	--	--	--	PT	PT	
H205	CORRIDOR	2ND FLOOR	--	--	--	--	--	--	
H206	CORRIDOR	2ND FLOOR	--	--	--	--	--	--	
H207	CORRIDOR	2ND FLOOR	--	--	PT	--	--	--	
H208	CORRIDOR	2ND FLOOR	--	--	PT	PT	--	--	
ST01	STAIR	2ND FLOOR	--	--	--	--	--	--	
ST01	STAIR	1ST FLOOR	--	--	--	--	--	--	
ST02	STAIR	1ST FLOOR	--	--	--	--	--	--	
ST02	STAIR	2ND FLOOR	--	--	--	--	--	--	
ST03	STAIR	1ST FLOOR	--	--	--	--	--	--	
ST03	STAIR	2ND FLOOR	--	--	--	--	--	--	
ST03	STAIR	BASEMENT	--	--	--	--	--	--	
ST04	STAIR	1ST FLOOR	--	--	--	--	--	--	
ST04	STAIR	2ND FLOOR	--	--	--	--	--	--	
ST05	STAIR	1ST FLOOR	--	--	PT	PT	PT	PT	ALTERNATE NO. 1
ST05	STAIR	2ND FLOOR	--	--	PT	PT	PT	PT	ALTERNATE NO. 1
V001	VESTIBULE	BASEMENT	--	--	--	--	--	--	
V002	VESTIBULE	BASEMENT	--	--	--	--	--	--	
V100	VESTIBULE	1ST FLOOR	--	--	--	--	--	--	

DOOR SCHEDULE													
DOOR #	DOOR TYPE	DOOR WIDTH	DOOR HEIGHT	DOOR MATERIAL	DOOR FINISH	FRAME TYPE	FRAME MATERIAL	FRAME FINISH	HEAD	JAMB	SILL	RATING	REMARKS
011A	D	3'-0"	7'-0"	HM	PT	1	HM	PT	H-1	J-1	-	---	
101	C	3'-8"	7'-0"	SWC	ST	1	HM	PT	H-1	J-1	-	---	ALTERNATE NO. 2 ALTERNATE NO. 2
104	C	3'-0"	7'-0"	SWC	ST	1	HM	PT	H-1	J-1	-	---	
117A	B	3'-0"	7'-0"	SWC	ST	1	HM	PT	H-1	J-1	-	---	
117B	B	3'-0"	7'-0"	SWC	ST	1	HM	PT	H-1	J-1	-	---	
117C	B	3'-0"	7'-0"	SWC	ST	1	HM	PT	H-1	J-1	-	---	
117D	B	3'-0"	7'-0"	SWC	ST	1	HM	PT	H-1	J-1	-	---	
117E	B	3'-0"	7'-0"	SWC	ST	1	HM	PT	H-1	J-1	-	---	
117F	B	3'-0"	7'-0"	SWC	ST	1	HM	PT	H-1	J-1	-	---	
120	C	3'-0"	7'-0"	SWC	ST	1	HM	PT	H-1	J-1	-	---	
272	D	3'-0"	7'-0"	SWC	ST	1	HM	PT	H-1	J-1	-	---	
H104	A	3'-0"	7'-0"	SWC	ST	2	HM	PT	H-1	J-1	-	---	



FINISH SCHEDULE NOTES	
1.	ALL FLOOR FINISHES AND BASE ARE PROVIDED BY OWNER (N.I.C.).
2.	PAINT NEW AND EXISTING WALLS AS INDICATED ON SCHEDULE (PT).
3.	SEE REFLECTED CEILING PLANS FOR NEW CEILINGS AND HEIGHTS.
4.	PAINT NEW GWB SOFFITS TO MATCH WALLS (SEE REFLECTED CEILING PLANS).

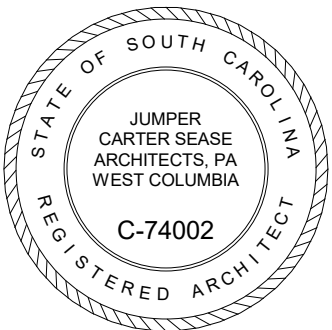
Jumper

Carter

Sease

ARCHITECTS

412 Meeting Street
West Columbia
South Carolina



UPSTATE INFORMATION RESOURCE CENTER
RENOVATIONS
150 GRAMLING DRIVE, SPARTANBURG, SC 29303
STATE PROJECT NO.: H34-9517

[illegible]

DRAWN BY: DB
CHECKED BY: TS
COMM NO: 18104
DATE: 12/4/2020

SHEET TITLE:
FINISH SCHED. /
DOOR SCHED. /
DOOR & FRAME
TYPES &
DETAILS

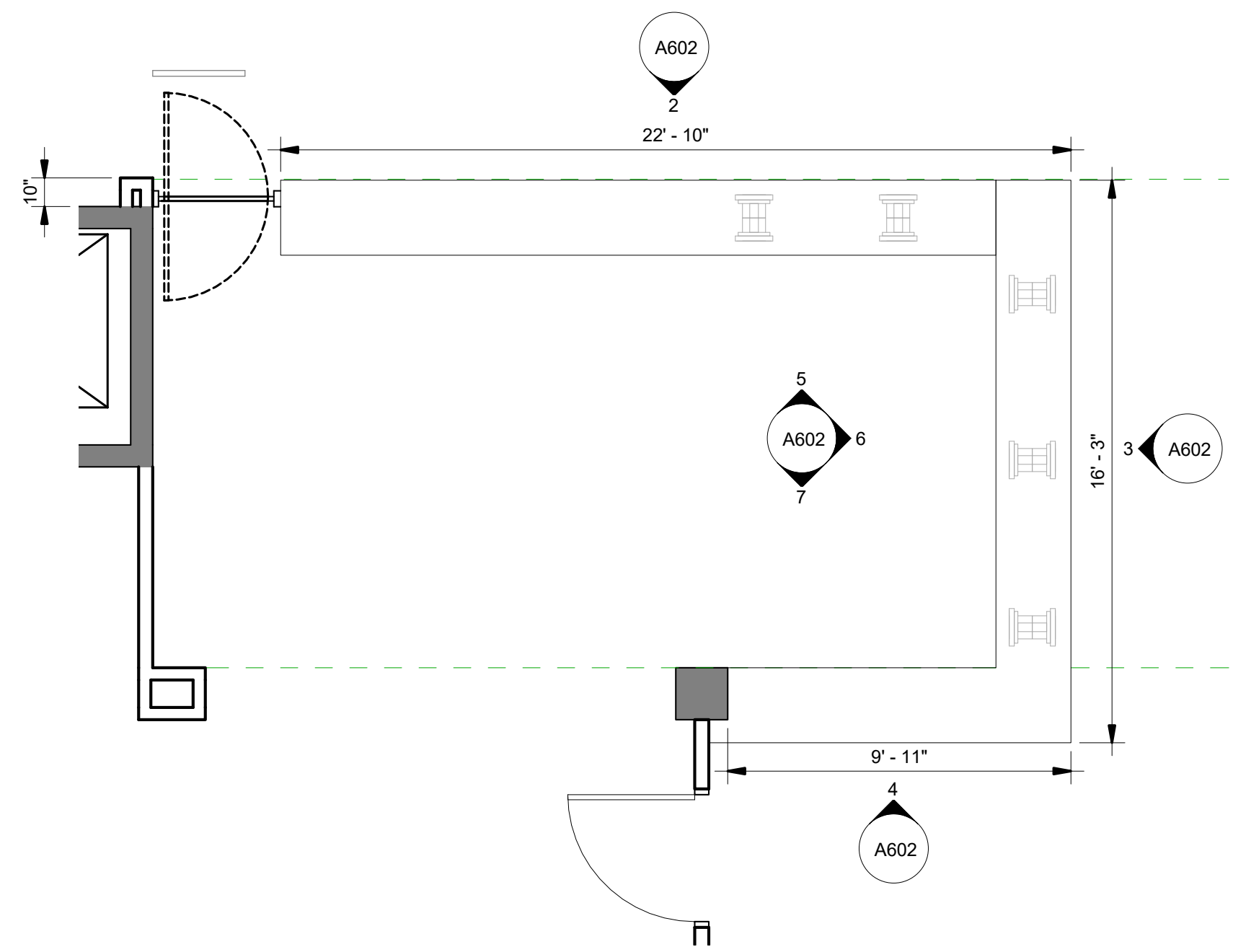
SHEET NO:

A501

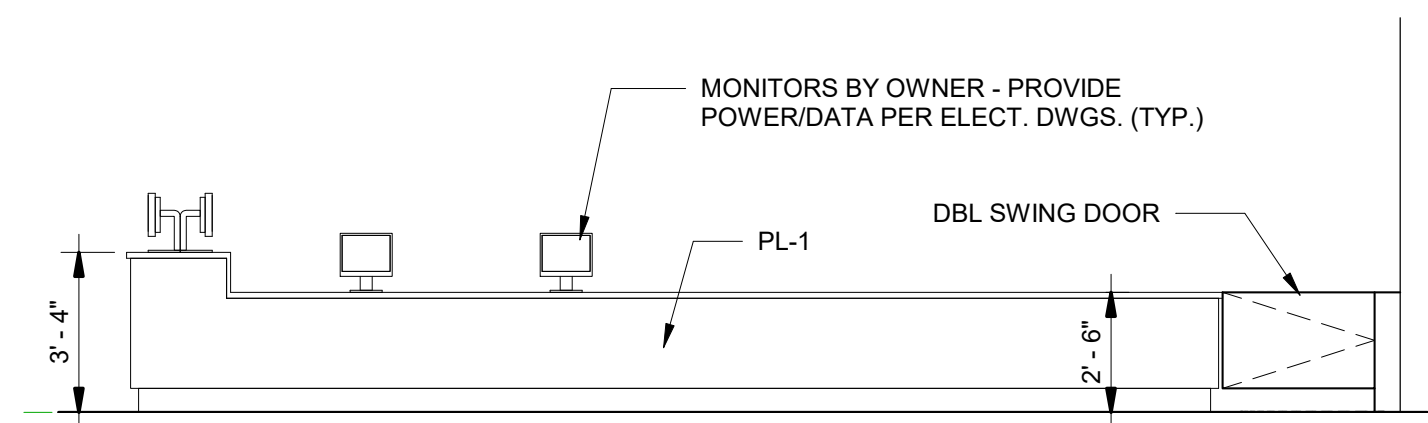
UPSTATE INFORMATION RESOURCE CENTER
RENOVATIONS
150 GRAMLING DRIVE, SPARTANBURG, SC 29303
STATE PROJECT NO : H34-95717

SHEET NO:

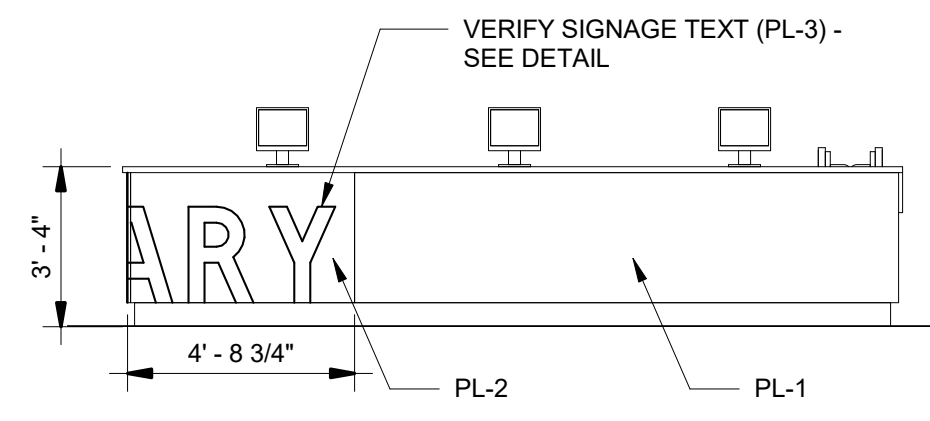
12/4/2020 11:30:47 AM



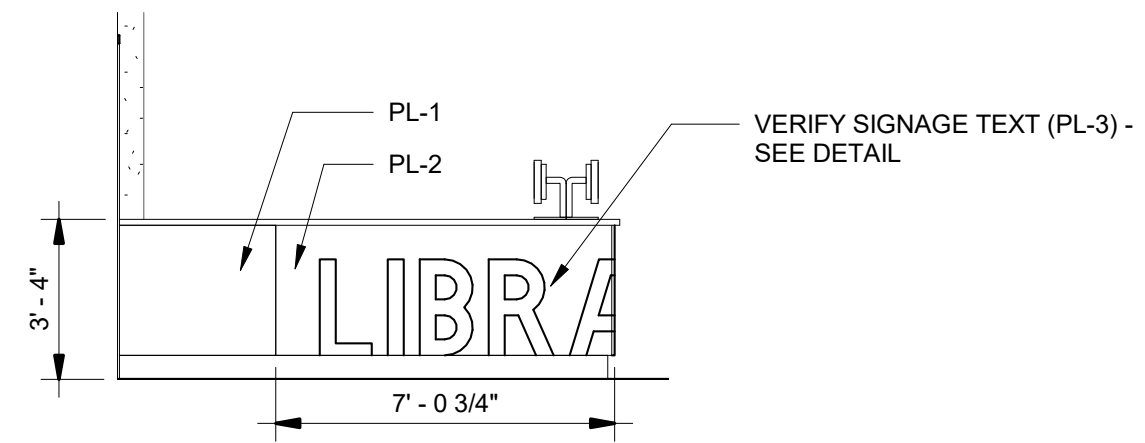
1 ENLARGED CIRCULATION DESK
A602 1/4" = 1'-0"



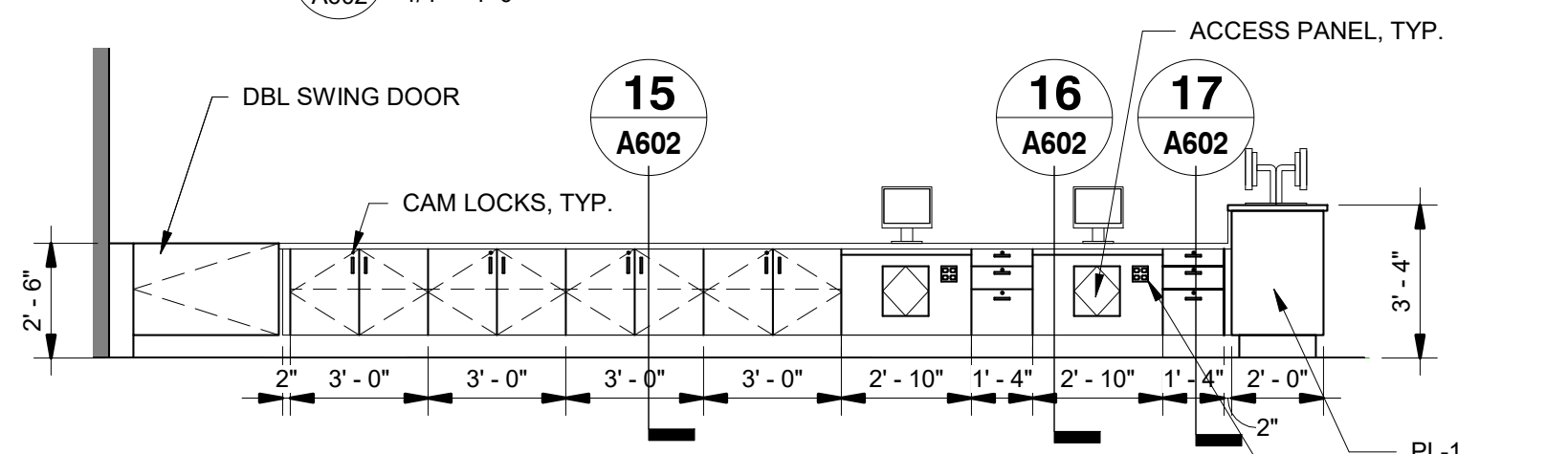
2 CIRCULATION DESK ELEVATION
A602 1/4" = 1'-0"



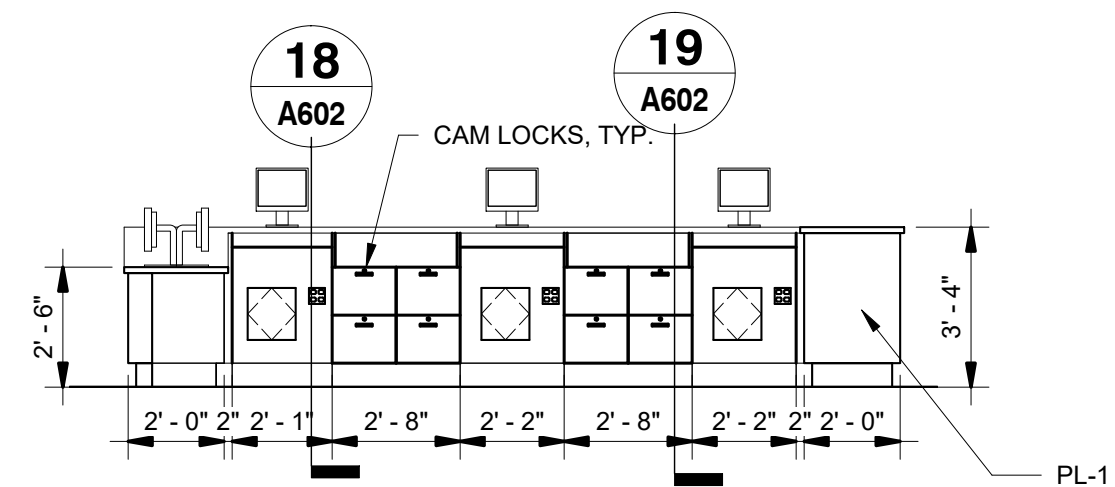
3 CIRCULATION DESK ELEVATION
A602 1/4" = 1'-0"



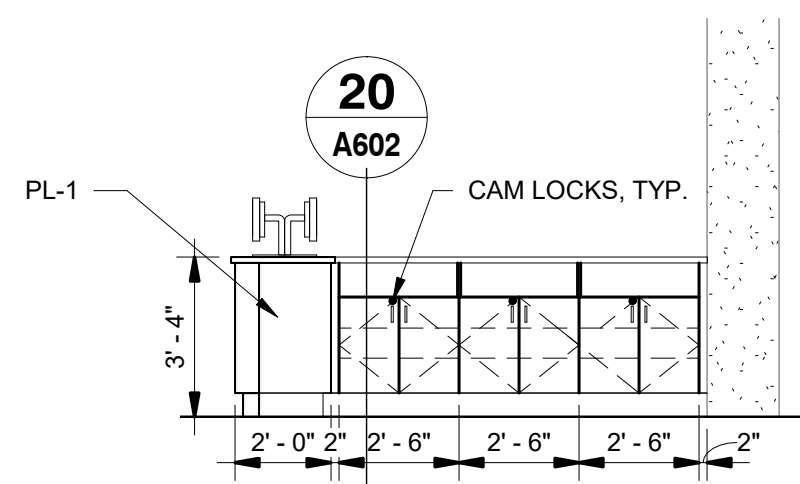
4 CIRCULATION DESK ELEVATION
A602 1/4" = 1'-0"



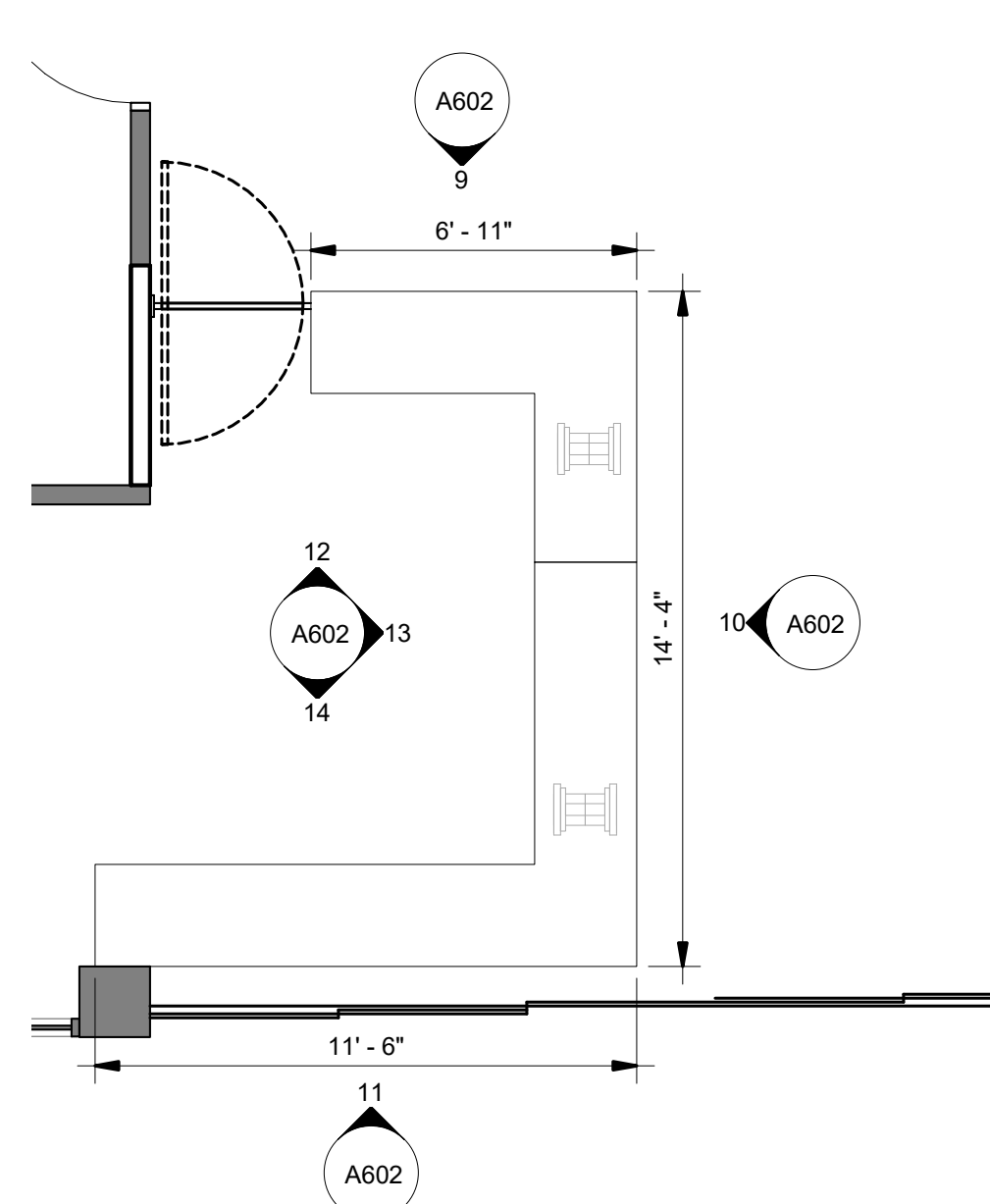
5 CIRCULATION DESK ELEVATION
A602 1/4" = 1'-0"



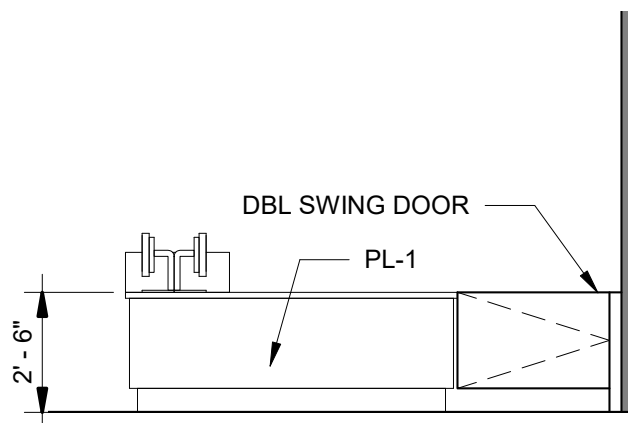
6 CIRCULATION DESK ELEVATION
A602 1/4" = 1'-0"



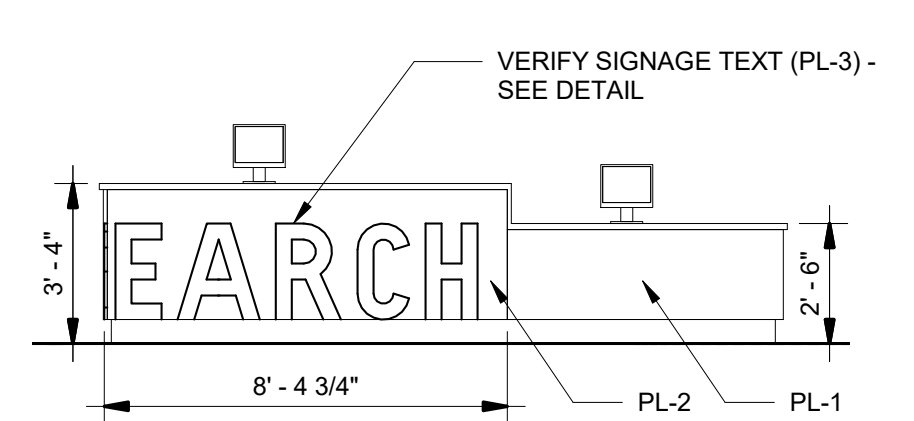
7 CIRCULATION DESK ELEVATION
A602 1/4" = 1'-0"



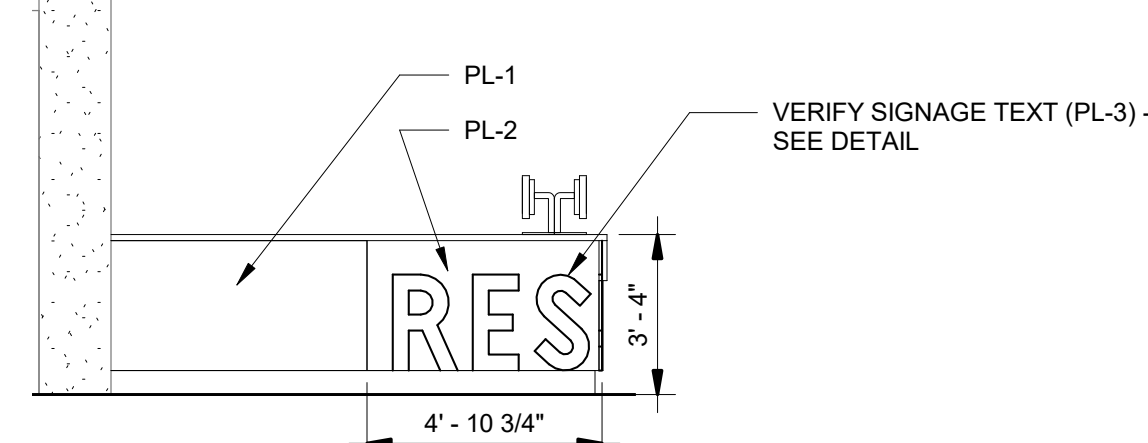
8 ENLARGED REFERENCE DESK
A602 1/4" = 1'-0"



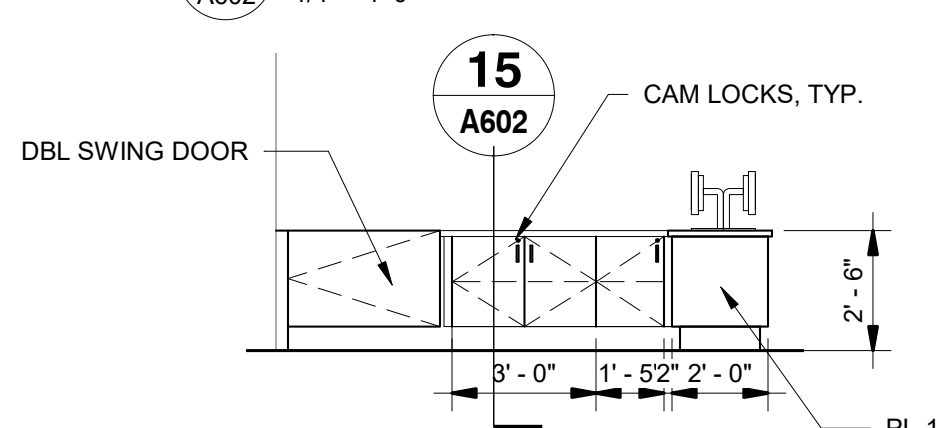
9 REFERENCE DESK ELEVATION
A602 1/4" = 1'-0"



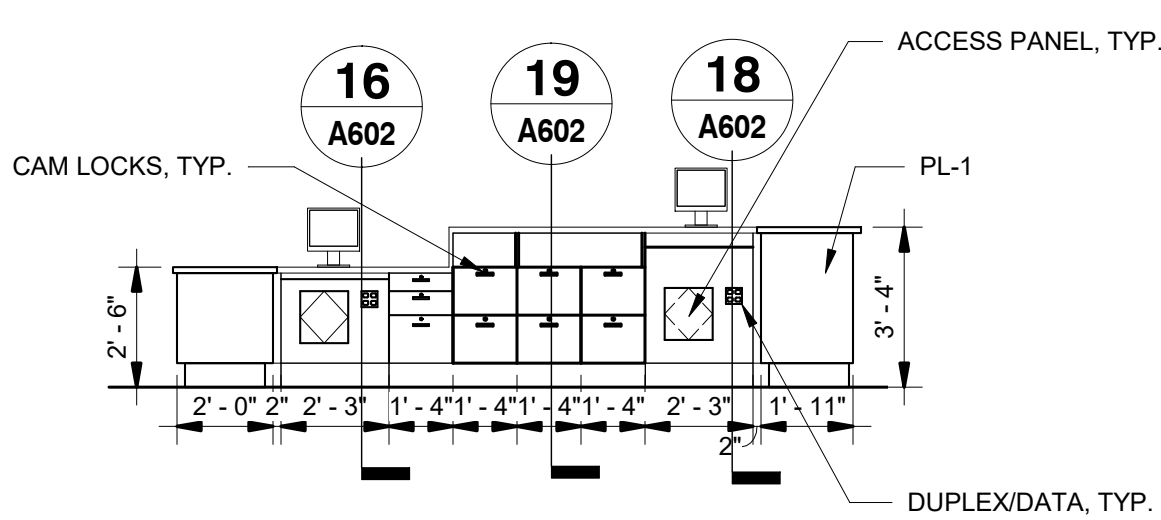
10 REFERENCE DESK ELEVATION
A602 1/4" = 1'-0"



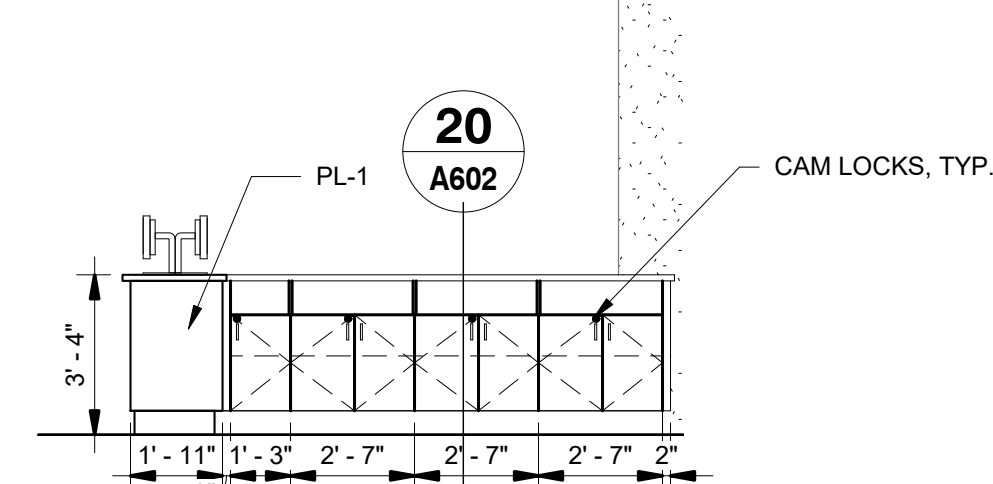
11 REFERENCE DESK ELEVATION
A602 1/4" = 1'-0"



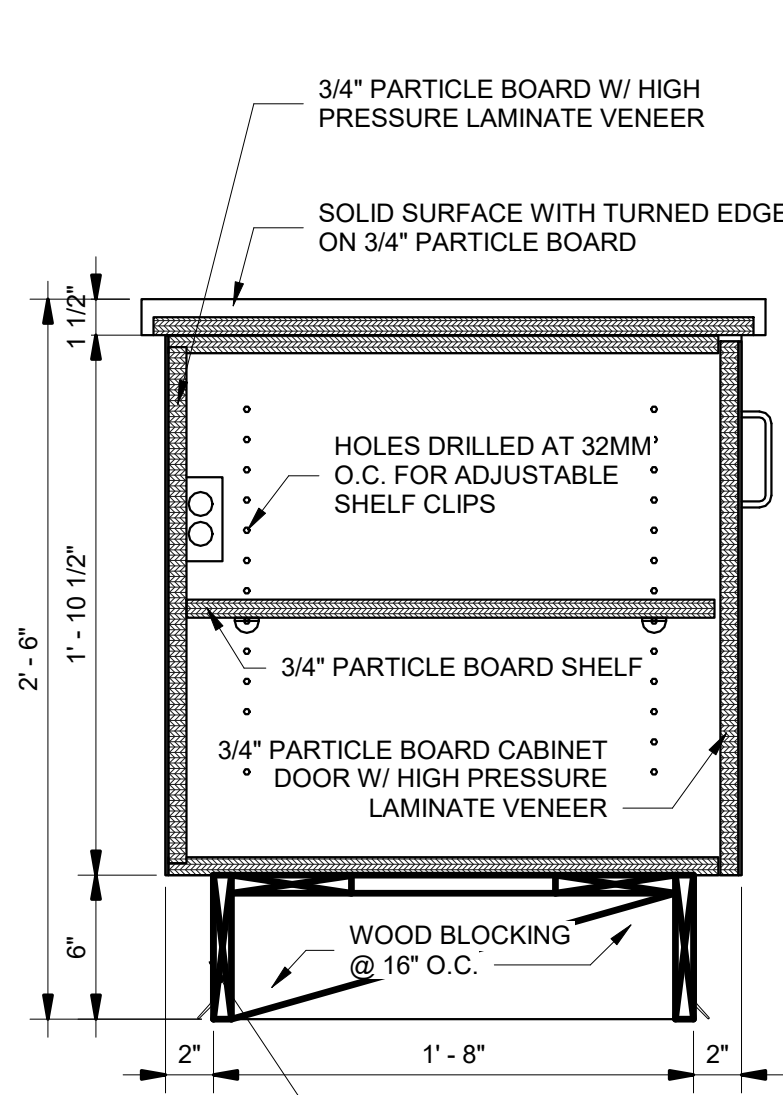
12 REFERENCE DESK ELEVATION
A602 1/4" = 1'-0"



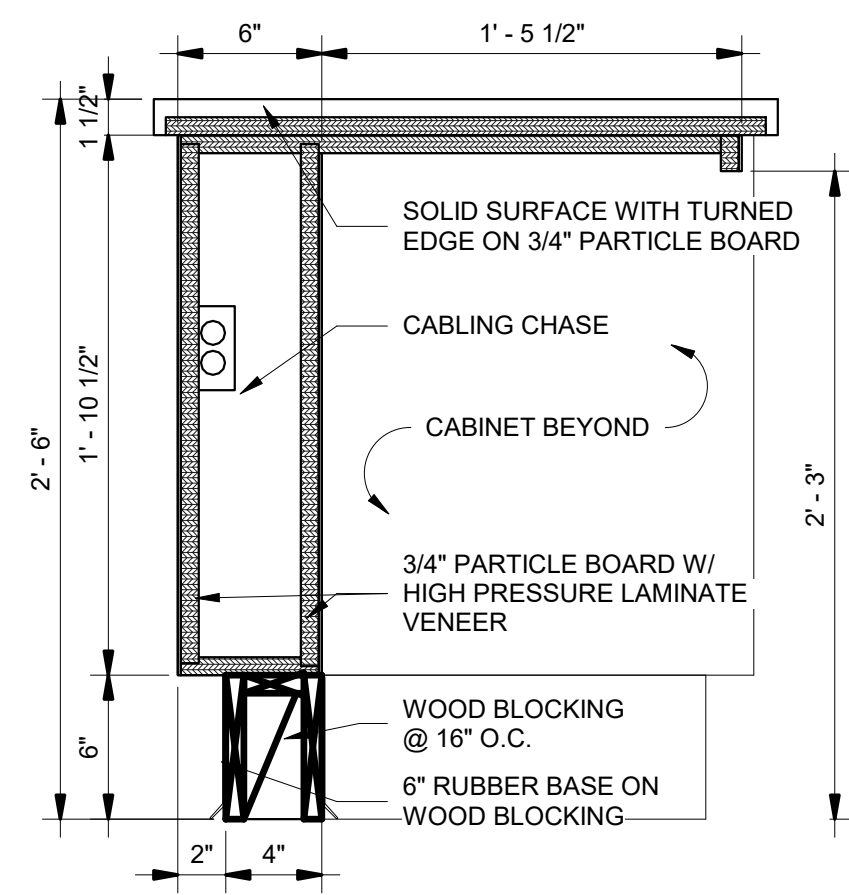
13 REFERENCE DESK ELEVATION
A602 1/4" = 1'-0"



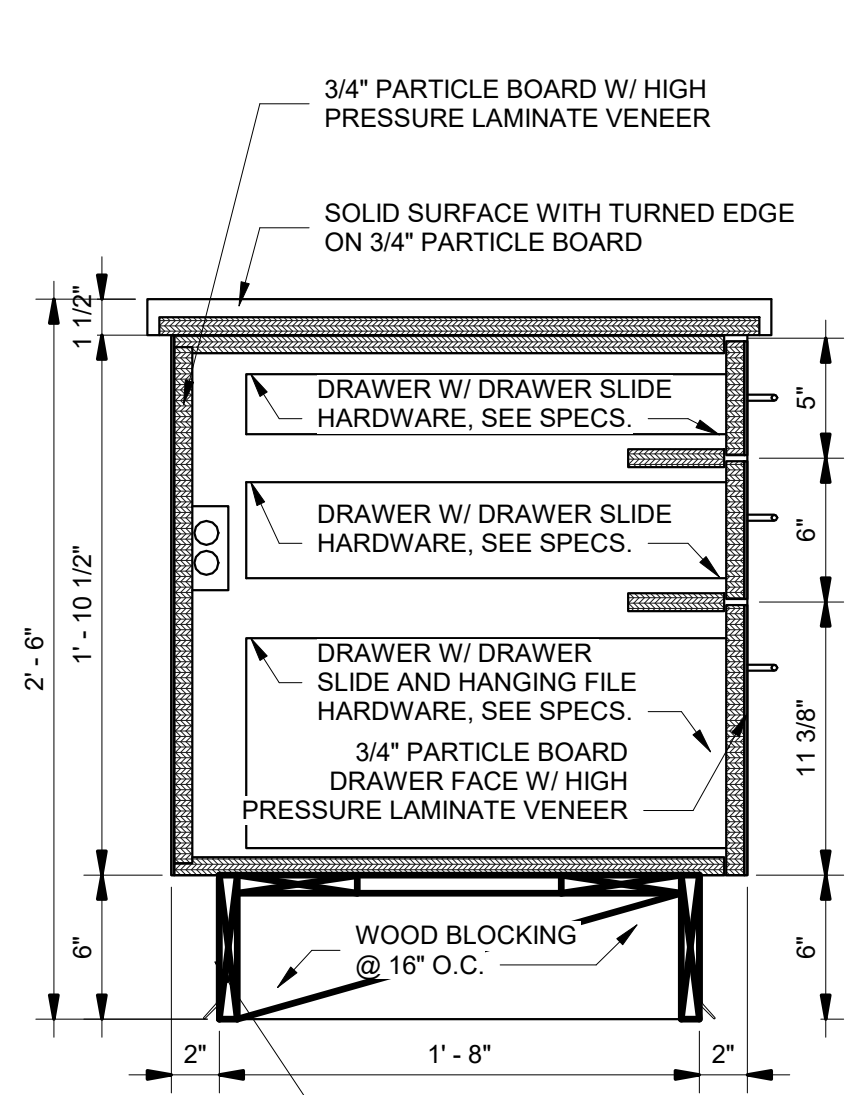
14 REFERENCE DESK ELEVATION
A602 1/4" = 1'-0"



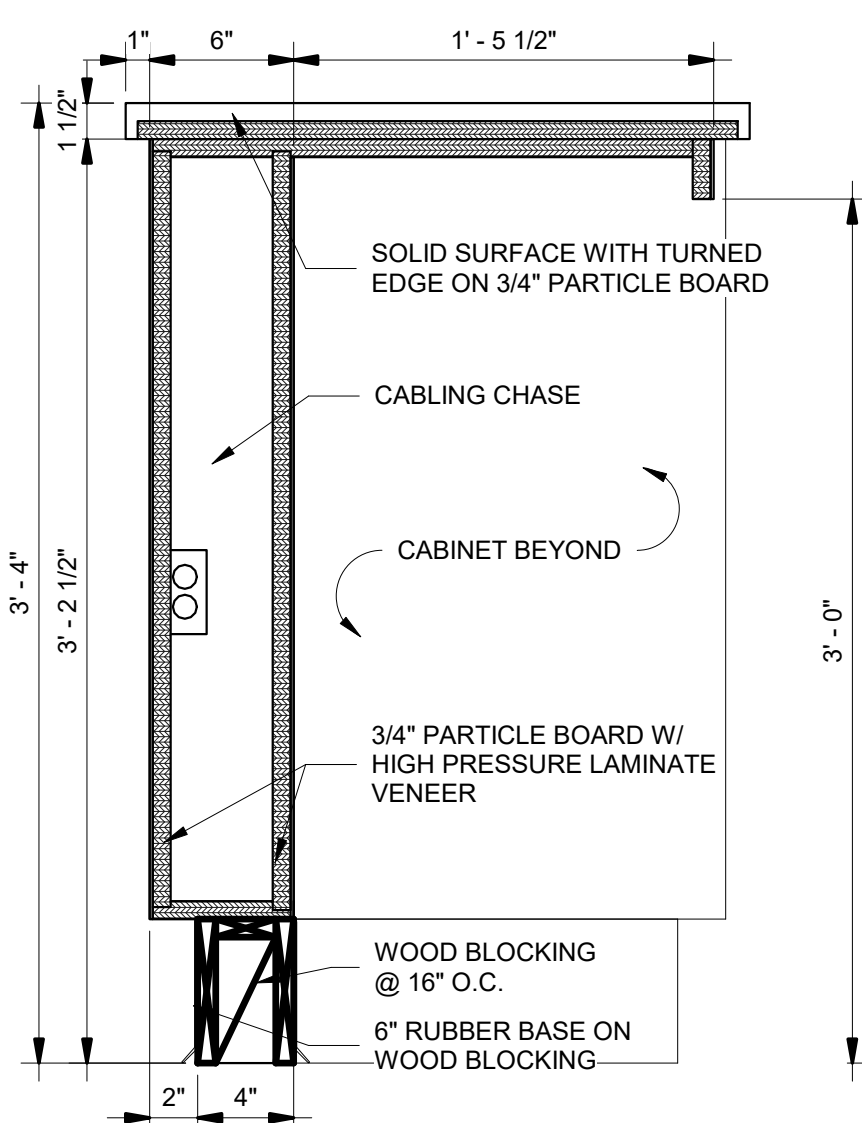
15 CASEWORK SECTION
A602 1 1/2" = 1'-0"



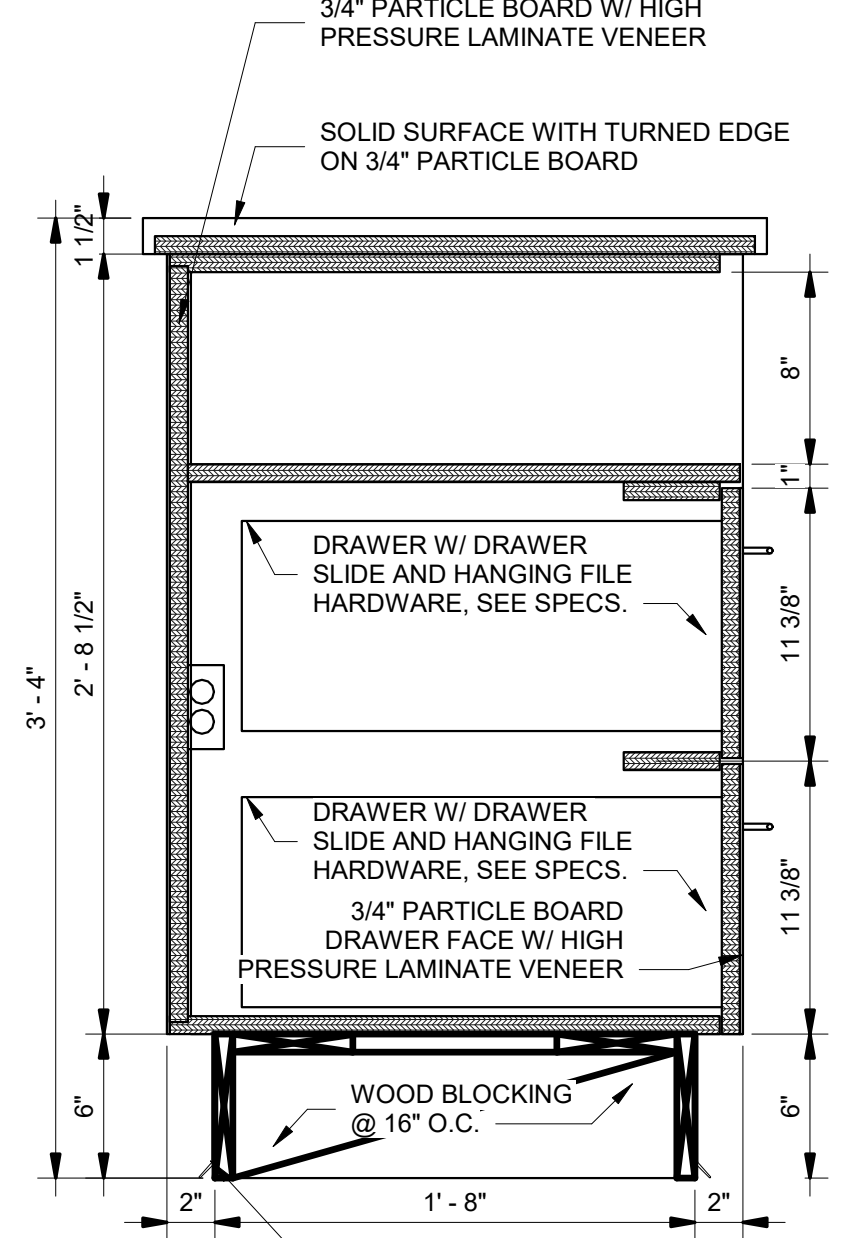
16 CASEWORK SECTION
A602 1 1/2" = 1'-0"



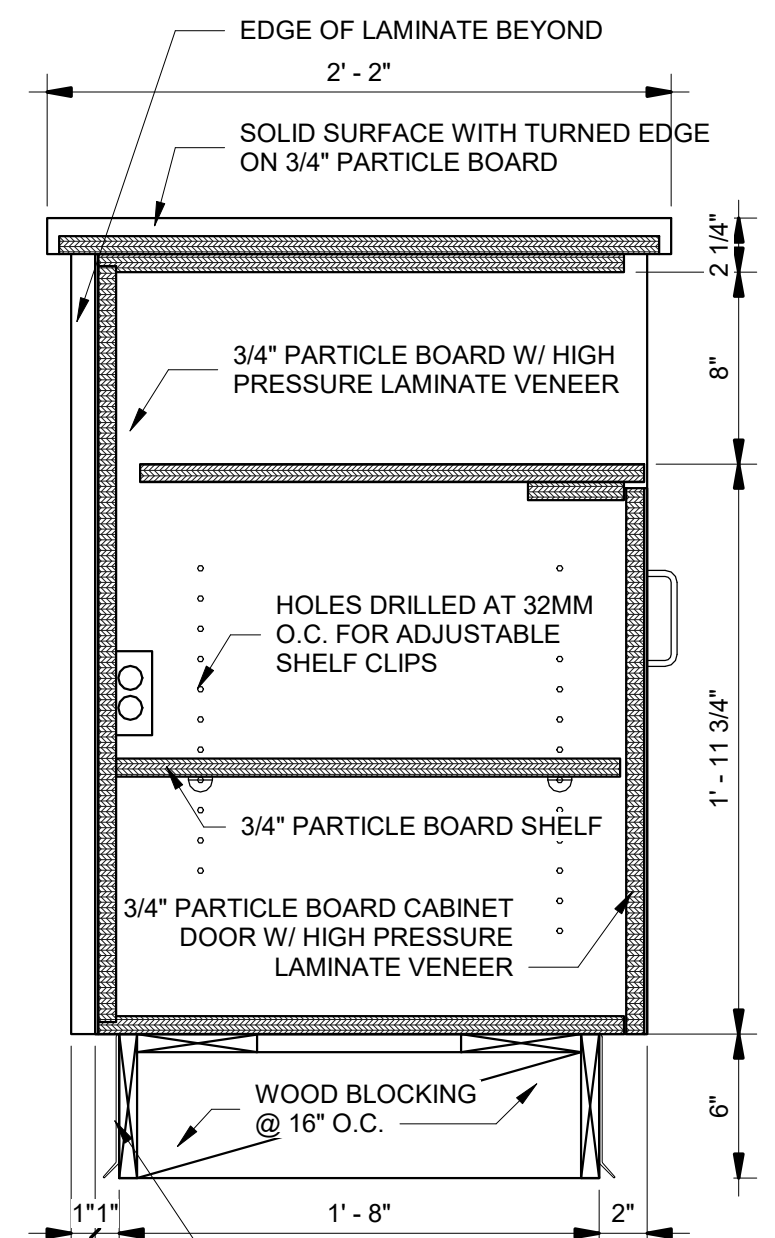
17 CASEWORK SECTION
A602 1 1/2" = 1'-0"



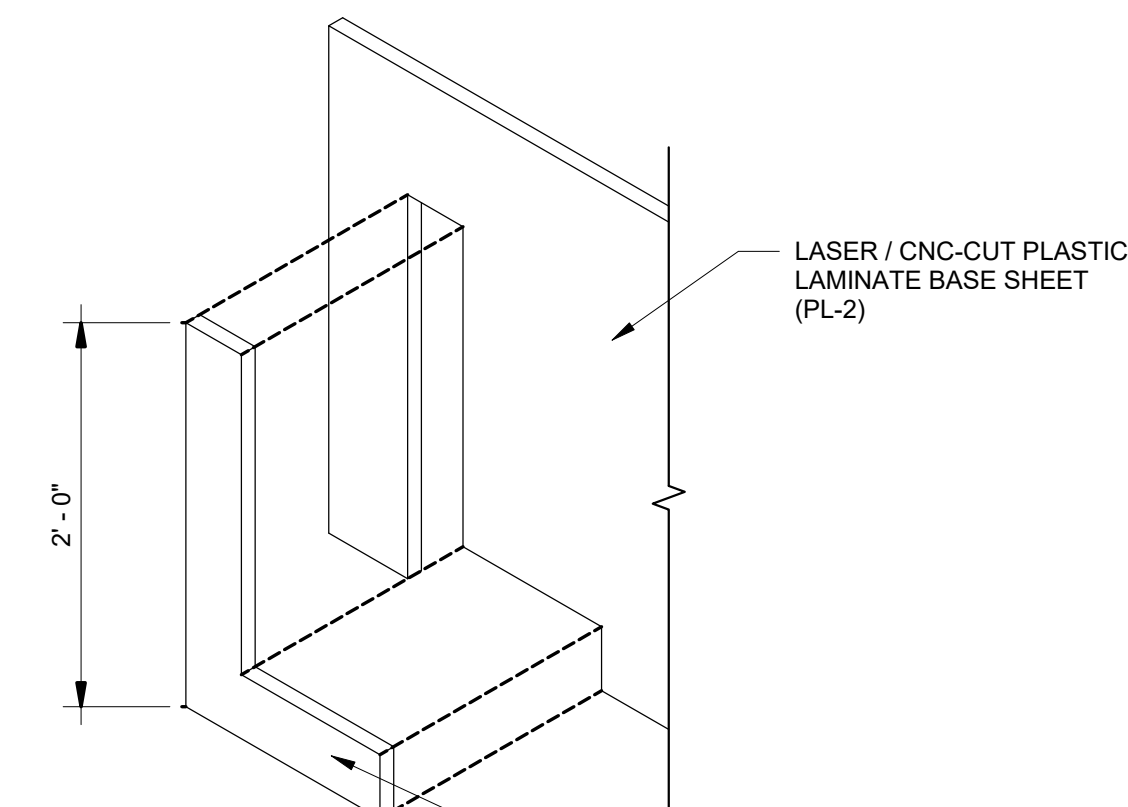
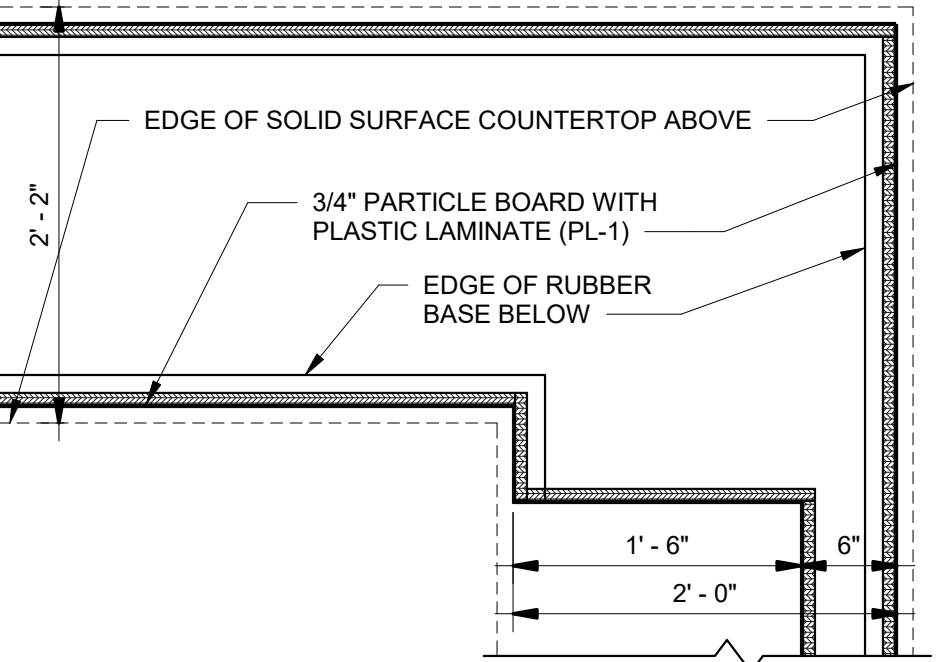
18 CASEWORK SECTION
A602 1 1/2" = 1'-0"



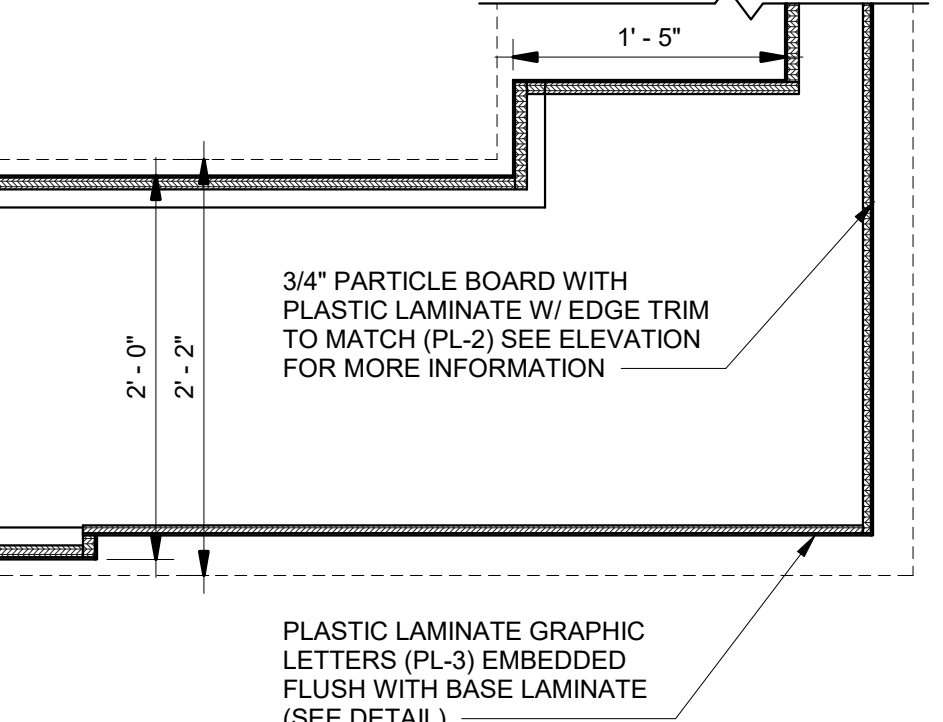
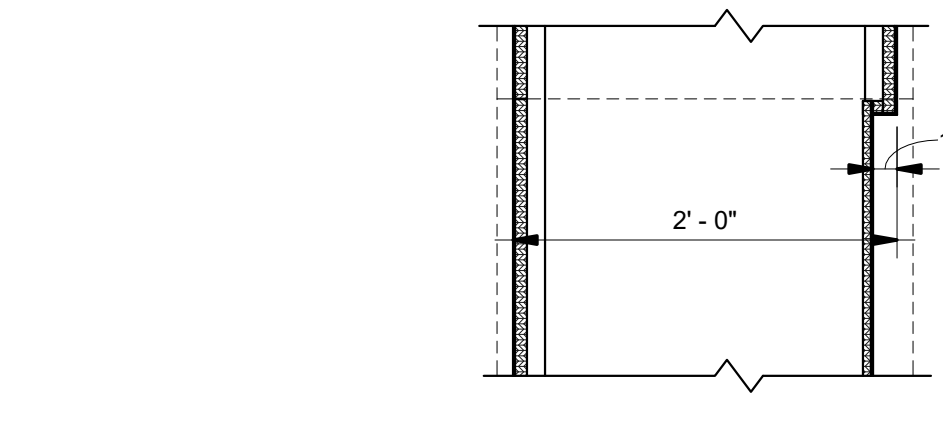
19 CASEWORK SECTION
A602 1 1/2" = 1'-0"



20 CASEWORK SECTION
A602 1 1/2" = 1'-0"



22 GRAPHIC LETTERS DETAIL
A602 1" = 1'-0"



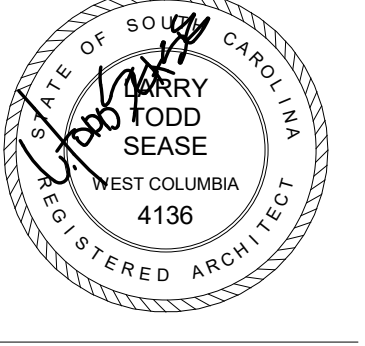
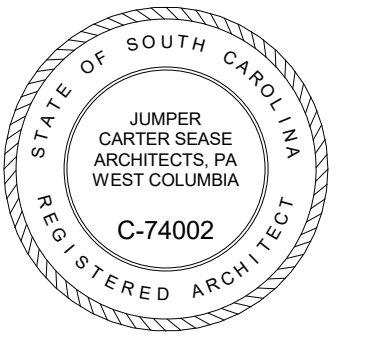
21 PLAN SECTION
A602 1" = 1'-0"

- GENERAL CASEWORK NOTES**
- ALL CASEWORK SHOWN THIS SHEET SHALL BE INCLUDED AS ALTERNATE NO. 2.
 - CASEWORK DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO UNIT FABRICATION AND INSTALLATION.
 - COUNTERTOPS AND BACKSPLASHES SHALL BE CAULKED TO THE WALL.
 - CASEWORK FABRICATOR AND INSTALLER SHALL COORDINATE WITH APPROPRIATE SUBCONTRACTORS FOR INSTALLATION OF ELECTRICAL RECEPTACLES, DATA OUTLETS, ETC. WITHIN THE CASEWORK.
 - PROVIDE WALL MOUNTED ANGLE SUPPORTS (FINISH TO MATCH THE COLOR AND MATERIAL OF ADJACENT CASEWORK) WHERE NECESSARY FOR SUPPORT OF COUNTERTOPS ABOVE KNEE SPACES.
 - ALL OPENINGS IN COUNTERS SHALL BE CUT IN, NOT SEAMED.

Jumper
Carter
Sease

ARCHITECTS

412 Meeting Street
West Columbia
South Carolina

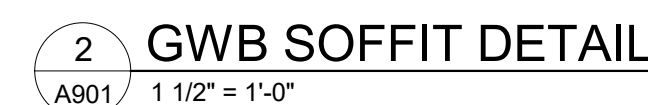


UPSTATE INFORMATION RESOURCE CENTER
RENOVATIONS
150 GRAMLING DRIVE, SPARTANBURG, SC 29303
STATE PROJECT NO.: H34-9517

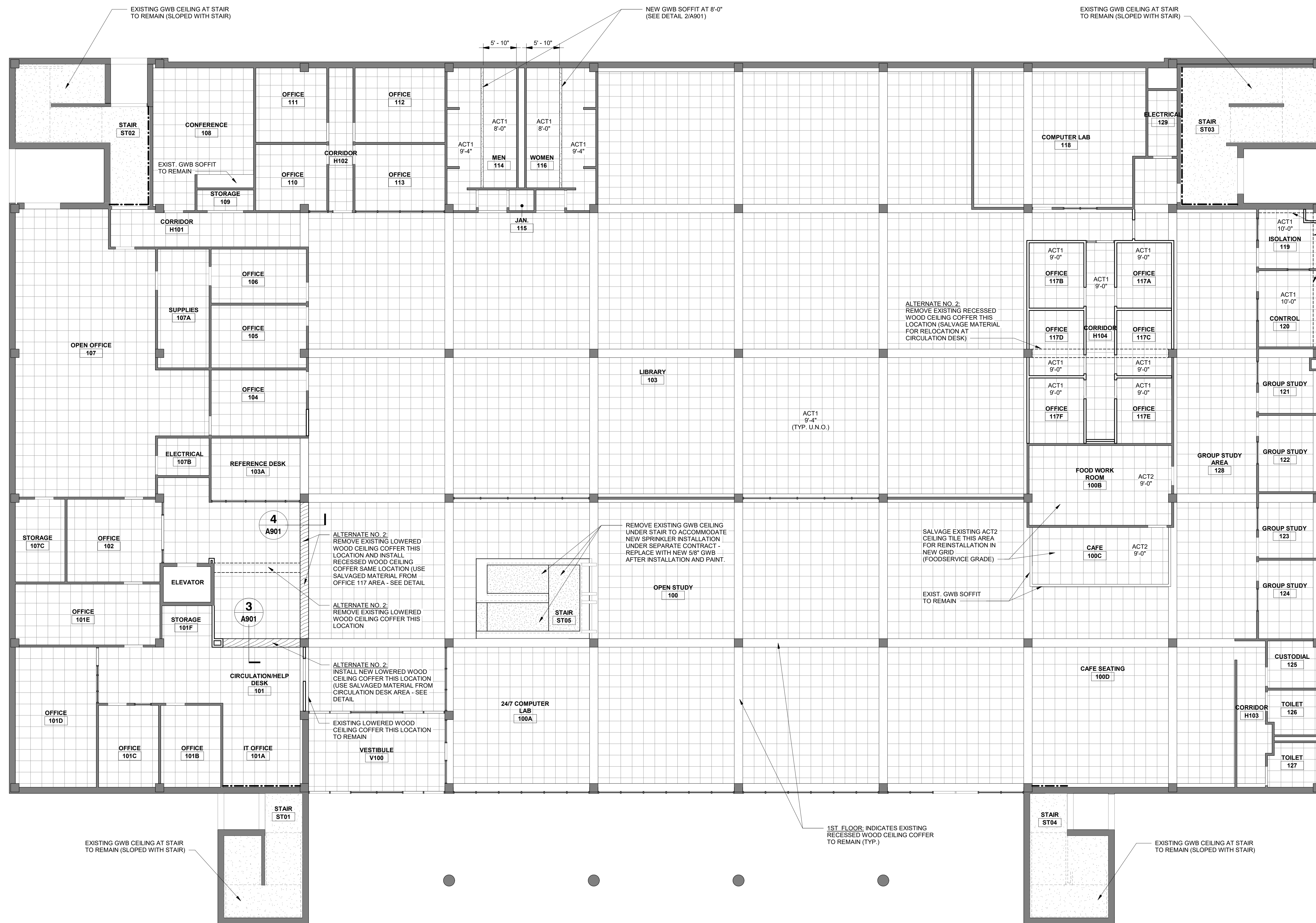
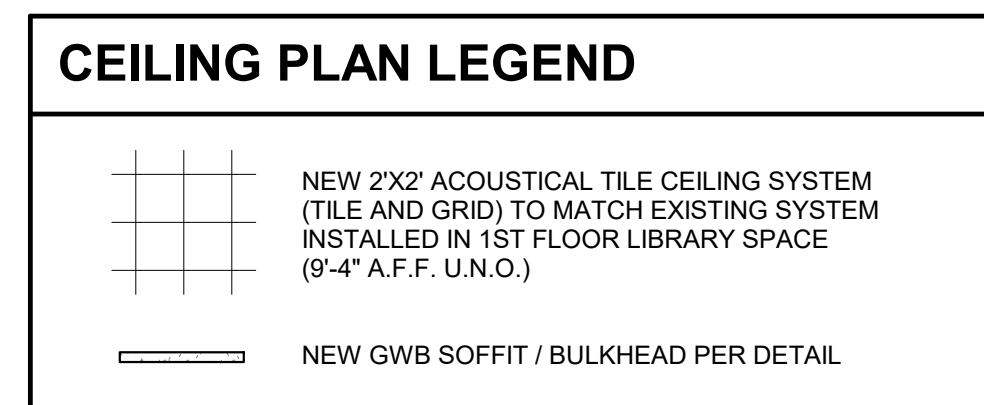
No	Description	Date

DRAWN BY: CBG
CHECKED BY: TS
COMM NO: 18104
DATE: 12/4/2020
SHEET TITLE: ALT. NO. 2
CASEWORK
ELEVATIONS &
DETAILS
SHEET NO:

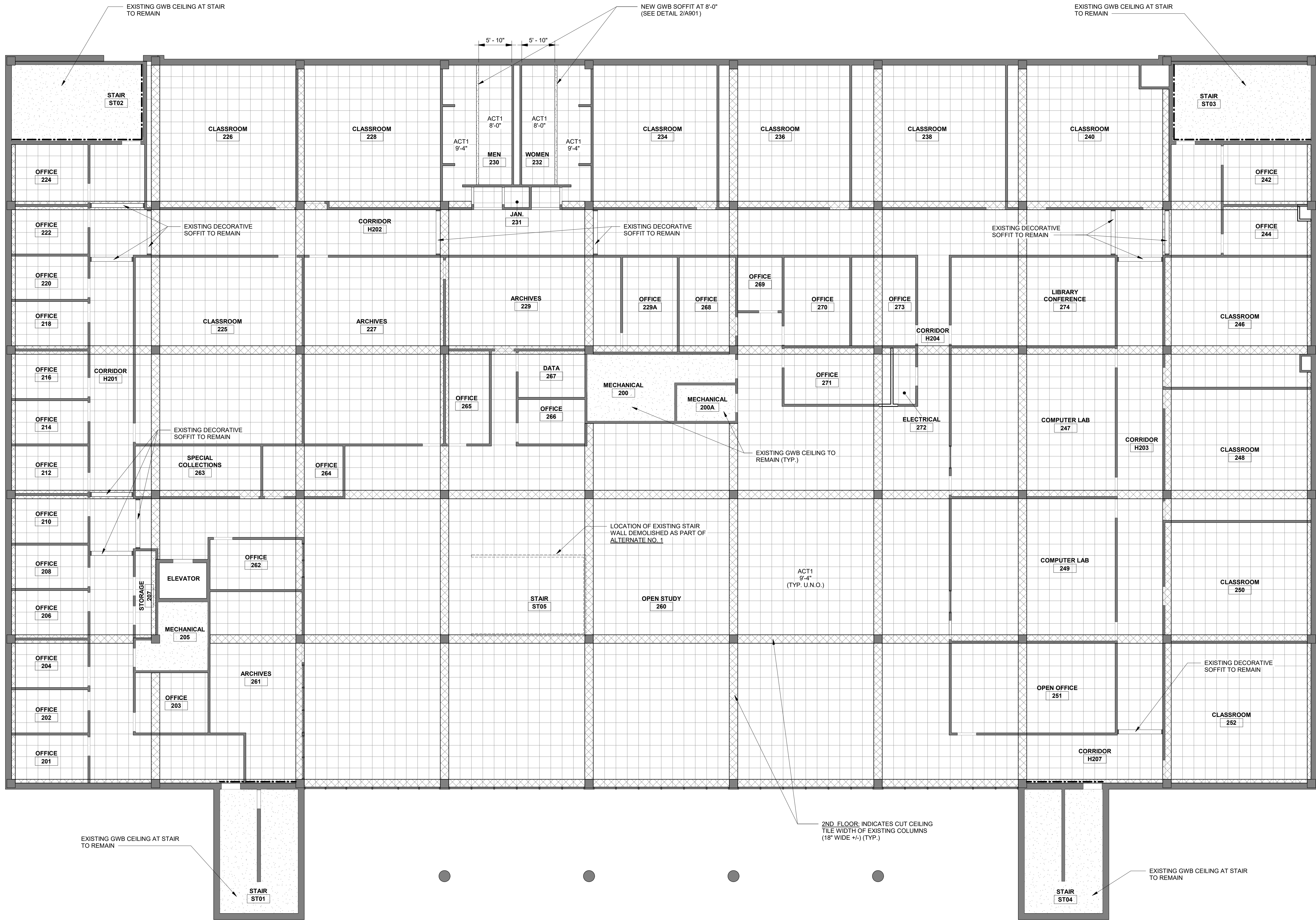
A602



1. CONTRACTOR SHALL MARK WALLS ABOVE CEILINGS AS REQUIRED, THE LOCATIONS OF EXISTING GRID, INCLUDING CEILING HEIGHT, PRIOR TO REMOVAL, TO FACILITATE NEW CEILING GRID ALIGNMENT AND THE INSTALLATION OF EXISTING LIGHT FIXTURES IN SAME LOCATIONS.
2. REMOVE ALL EXISTING LAY-IN CEILINGS THROUGHOUT, INCLUDING GRID, TIE, AND WALL MOLD (LAY-IN CEILINGS ARE PRESENT IN ALL AREAS). REMOVE EXISTING GWRB CEILINGS WHERE IDENTIFIED ON CEILING PLAN. REMOVE ALL CEILING LIGHT FIXTURES (LIGHTING, MECHANICAL, ETC.) SHALL BE TEMPORARILY UNINSTALLED. INSTALL NEW CEILINGS IN SAME LOCATIONS UNLESS NOTED OTHERWISE.
3. ALL NEW CEILING HEIGHTS SHALL MATCH EXISTING HEIGHTS UNO ALIGHTS, SMOKE DETECTORS, FIRE ALARM DEVICES, ETC. FOR ITEMS NOT INDICATED ON THE REFLECTED CEILING PLAN, COORDINATE LOCATIONS WITH THE ARCHITECT PRIOR TO INSTALLATION.
4. COORDINATE ALL HVAC MECHANICAL DEVICES WITH MECHANICAL DRAWINGS.
5. IF AS-BUILT CONDITIONS DEMAND THAT A CEILING BOARD LARGER THAN 4'x8' BE USED, ANY DIMENSION BE USED IN THE PERIMETER BOARD OF A TYPICAL 2'x2' GRID, THEN THAT BOARD SHALL BE CUT FROM A 4'x8' BOARD, A DOUBLE WALL ANGLE SHALL NOT BE USED IN THE CEILING GRID SYSTEM.
6. CEILING SUBSTITUTION SYSTEM TO MEET SEISMIC REQUIREMENTS FOR CURRENT BUILDING CODE CURRENT EDITION, AS WELL AS MANUFACTURER'S ESR REPORT, FOR SEISMIC DESIGN CATEGORY "C".
7. UNLESS NOT RECESSED FUTURE AT THE CENTERLINE OF TILE UNLESS NOTED OTHERWISE, INSTALL ALL ELECTRICAL SYSTEM COMPONENTS WITHOUT INTERFERING WITH DUCT, PIPES, BEAMS ETC. ELECTRICAL LIGHT FIXTURES SYMMETRICALLY, AS DIMENSIONED, OR AS NOTED ON THE REFLECTED CEILING PLANS. SEE ELECTRICAL DWGS. FOR FIXTURE TYPES.



1 FIRST FLOOR REFLECTED CEILING PLAN
A901 1/8" = 1'-0"



1 SECOND FLOOR REFLECTED CEILING PLAN
A902 1/8" = 1'-0"



CEILING PLAN LEGEND

- NEW 2'x2' ACOUSTICAL TILE CEILING SYSTEM (TILE AND GRID) TO MATCH EXISTING SYSTEM INSTALLED IN 1ST FLOOR LIBRARY SPACE (9'-4" A.F.F. U.N.O.)
- NEW GWB SOFFIT / BULKHEAD PER DETAIL

CEILING PLAN GENERAL NOTES

- CONTRACTOR SHALL MARK WALLS ABOVE CEILINGS AS REQUIRED THE LOCATIONS OF EXISTING GRID, INCLUDING CEILING HEIGHT, PRIOR TO REMOVAL TO FACILITATE NEW CEILING GRID ALIGNMENT AND REINSTALLATION OF EXISTING LIGHT FIXTURES IN SAME LOCATIONS.
- REMOVE ALL EXISTING LAY-IN CEILINGS THROUGHOUT, INCLUDING GRID, TILE, AND WALL MOLD (LAY-IN CEILINGS ARE PRESENT IN ALL SPACES U.N.O.). REMOVE EXISTING GWB CEILINGS WHERE INDICATED ON CEILING AND DEMOLITION PLANS. ALL CEILING FIXTURES (LIGHTING, MECHANICAL, ETC.) SHALL BE TEMPORARILY HUNG AND REINSTALLED IN NEW CEILINGS IN SAME LOCATIONS UNLESS NOTED OTHERWISE.
- ALL NEW CEILING HEIGHTS SHALL MATCH EXISTING HEIGHTS U.N.O.
- REFER TO ELECTRICAL DRAWINGS FOR ALL CEILING MOUNTED EXIT LIGHTS, SMOKE DETECTORS, FIRE ALARM DEVICES, ETC. FOR ITEMS NOT INDICATED ON THE REFLECTED CEILING PLAN, COORDINATE LOCATIONS WITH THE ARCHITECT PRIOR TO INSTALLATION.
- COORDINATE ALL HVAC MECHANICAL DEVICES WITH MECHANICAL DRAWINGS.
- IF AS-BUILT CONDITIONS DEMAND THAT A CEILING BOARD LARGER THAN 2'-0" IN ANY DIMENSION BE USED IN THE PERIMETER BOARDS OF A TYPICAL 2'x2' GRID, THEN THAT BOARD SHALL BE CUT FROM A 2'x4' BOARD. A DOUBLE WALL ANGLE SHALL NOT BE USED IN THE CEILING GRID SYSTEM.
- CEILING SUSPENSION SYSTEM TO MEET SEISMIC REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE CURRENT EDITION, AS WELL AS MANUFACTURER'S ESR REPORT, FOR SEISMIC DESIGN CATEGORY "C".
- LOCATE ALL RECESSED FIXTURES AT THE CENTERLINE OF TILE UNLESS NOTED OTHERWISE. INSTALL ALL ELECTRICAL SYSTEM COMPONENTS WITHOUT INTERFERING WITH DUCTS, PIPES, BEAMS, ETC. LOCATE LIGHT FIXTURES SYMMETRICALLY, AS DIMENSIONED, OR AS INDICATED ON THE REFLECTED CEILING PLANS. SEE ELECTRICAL DWGS. FOR FIXTURE TYPES.

Jumper
Carter
Sease

ARCHITECTS

412 Meeting Street
West Columbia
South Carolina



UPSTATE INFORMATION RESOURCE CENTER
RENOVATIONS
150 GRAMLING DRIVE, SPARTANBURG, SC 29303
STATE PROJECT NO.: H34-9517

No	Description	Date

DRAWN BY: DB
CHECKED BY: TS
COMM NO: 18104
DATE: 12/4/2020
SHEET TITLE: SECOND FLOOR REFLECTED CEILING PLAN
SHEET NO:

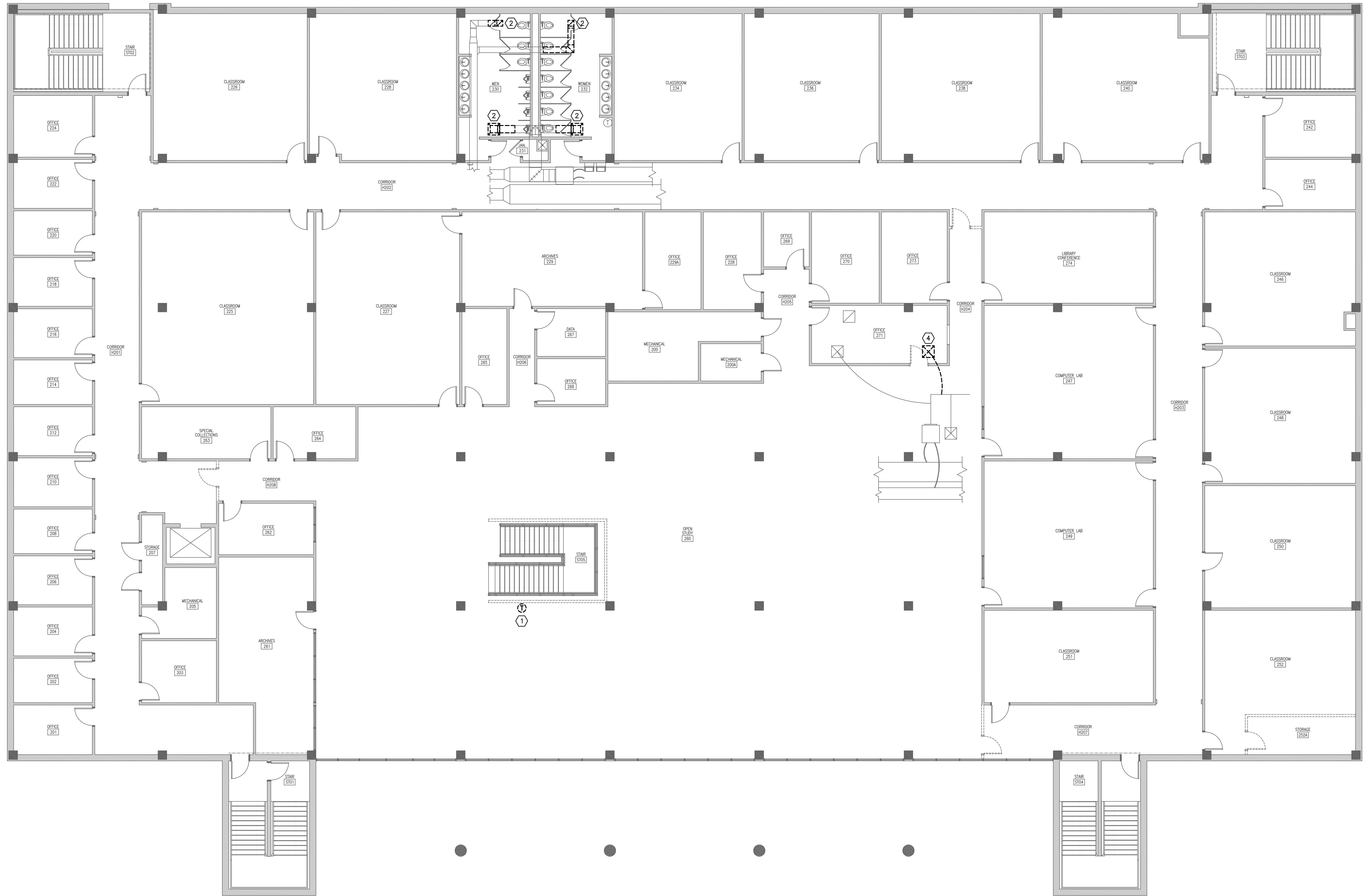
A902

BID DOCUMENTS

SHEET NO:

DBA Swygert & Assoc., Ltd. Telephone: (803) 791-8300
Post Office Box 11686 Facsimile: (803) 791-0830
Columbia, S.C. 29211 mail@swygert-associates.com

N:\PROJECTS\18530\DRAWINGS\WAC\18530-MD102.dwg



NOTE:
ALL EXISTING CEILINGS WILL BE REMOVED AND REPLACED. CONTRACTOR TO TEMPORARILY SUPPORT DIFFUSERS AND GRILLES AS REQUIRED AND INSTALL IN NEW GRID. CONTRACTOR TO SEAL DUCT AND INSULATION FOR RUNOUTS AS REQUIRED IF DAMAGED DURING CEILING INSTALLATION.

DEMOLITION NOTES

- 1 RELOCATE EXISTING THERMOSTAT AS SHOWN ON RENOVATION FLOOR PLAN.
- 2 REMOVE EXISTING CEILING GRILLE AND DUCTWORK AS SHOWN.
- 3 REMOVE EXISTING CEILING GRILLE AND VERIFY SERVICE. CAP EXISTING DUCT AT MAIN TRUNK AS REQUIRED.
- 4 RELOCATE EXISTING SUPPLY DIFFUSER AS SHOWN ON RENOVATION PLAN.



1

SECOND FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

Swygert & Associates
CONSULTING ENGINEERS

818 Swygert & Assoc., Ltd. Telephone: (803) 791-9300
Post Office Box 11666 Fax: (803) 791-9630
Columbia, S.C. 29211 mol@swygert-associates.com

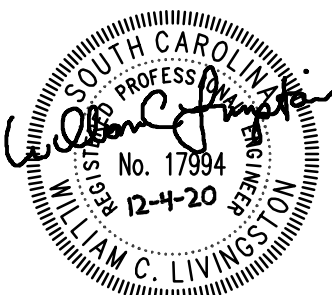
Jumper

Carter

Sease

ARCHITECTS

412 Meeting Street
West Columbia
South Carolina



UPSTATE INFORMATION RESOURCE CENTER RENOVATIONS
USC UPSTATE
150 GRAMLING DRIVE, SPARTANBURG, SC 29303
STATE PROJECT NO.: H34-9517

BID DOCUMENTS

No	Description	Date

DRAWN BY:

DEM

CHECKED BY:

WCL

COMM NO:

18104

DATE:

12/04/2020

SHEET TITLE:

SECOND FLOOR
DEMOLITION
PLAN

SHEET NO:

MD102

N:\PROJECTS\18530\DRAWINGS\HVAC\18530-M100.dwg



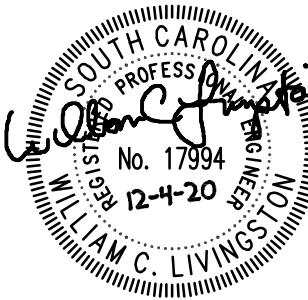
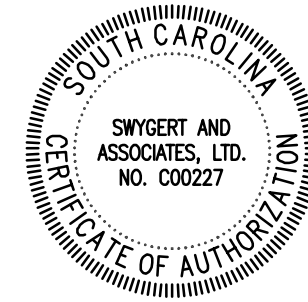
Jumper

Carter

Sease

ARCHITECTS

412 Meeting Street
West Columbia
South Carolina



UPSTATE INFORMATION RESOURCE CENTER RENOVATIONS
USC UPSTATE
150 GRAMLING DRIVE, SPARTANBURG, SC 29303
STATE PROJECT NO.: H34-9517

BID DOCUMENTS

No	Description	Date

DRAWN BY: DEM

CHECKED BY: WCL

COMM NO: 18104

DATE: 12/04/2020

SHEET TITLE:
BASEMENT
FLOOR PLANS

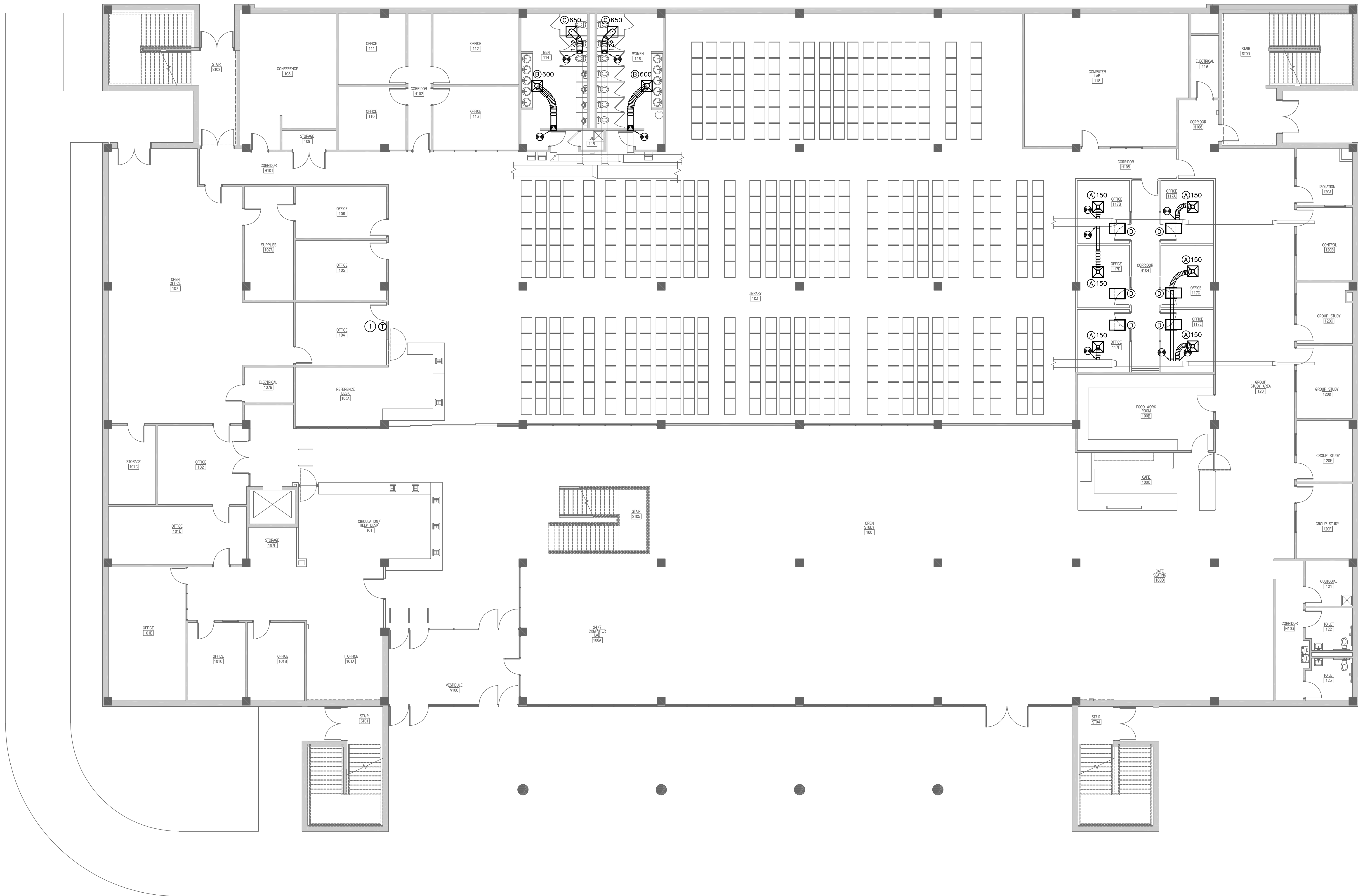
SHEET NO:

Swygert & Associates
CONSULTING ENGINEERS

DBA Swygert & Assoc., Ltd. Telephone: (803) 791-9300
Post Office Box 11666 Greenville: (803) 791-9830
Columbia, S.C. 29211 mol@swygert-associates.com

M100

N:\PROJECTS\18530\DRAWINGS\HVAC\18530-M101.dwg



NOTE:
ALL EXISTING CEILINGS WILL BE REMOVED AND REPLACED. CONTRACTOR TO TEMPORARILY SUPPORT DIFFUSERS AND GRILLES AS REQUIRED AND INSTALL IN NEW GRID. CONTRACTOR TO SEAL DUCT AND INSULATION FOR RUNOUTS AS REQUIRED IF DAMAGED DURING CEILING INSTALLATION.

NOTES TO SHEET

1 RELOCATE THERMOSTAT TO THIS LOCATION.

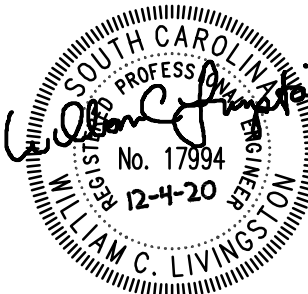
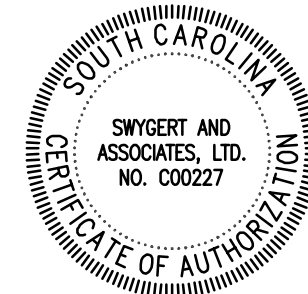
Jumper

Carter

Sease

ARCHITECTS

412 Meeting Street
West Columbia
South Carolina



UPSTATE INFORMATION RESOURCE CENTER RENOVATIONS
USC UPSTATE
150 GRAMLING DRIVE, SPARTANBURG, SC 29303
STATE PROJECT NO.: H34-9517

BID DOCUMENTS

No	Description	Date

DRAWN BY: DEM
CHECKED BY: WCL
COMM NO: 18104
DATE: 12/04/2020
SHEET TITLE: FIRST FLOOR PLAN

SHEET NO:

M101



1
M101

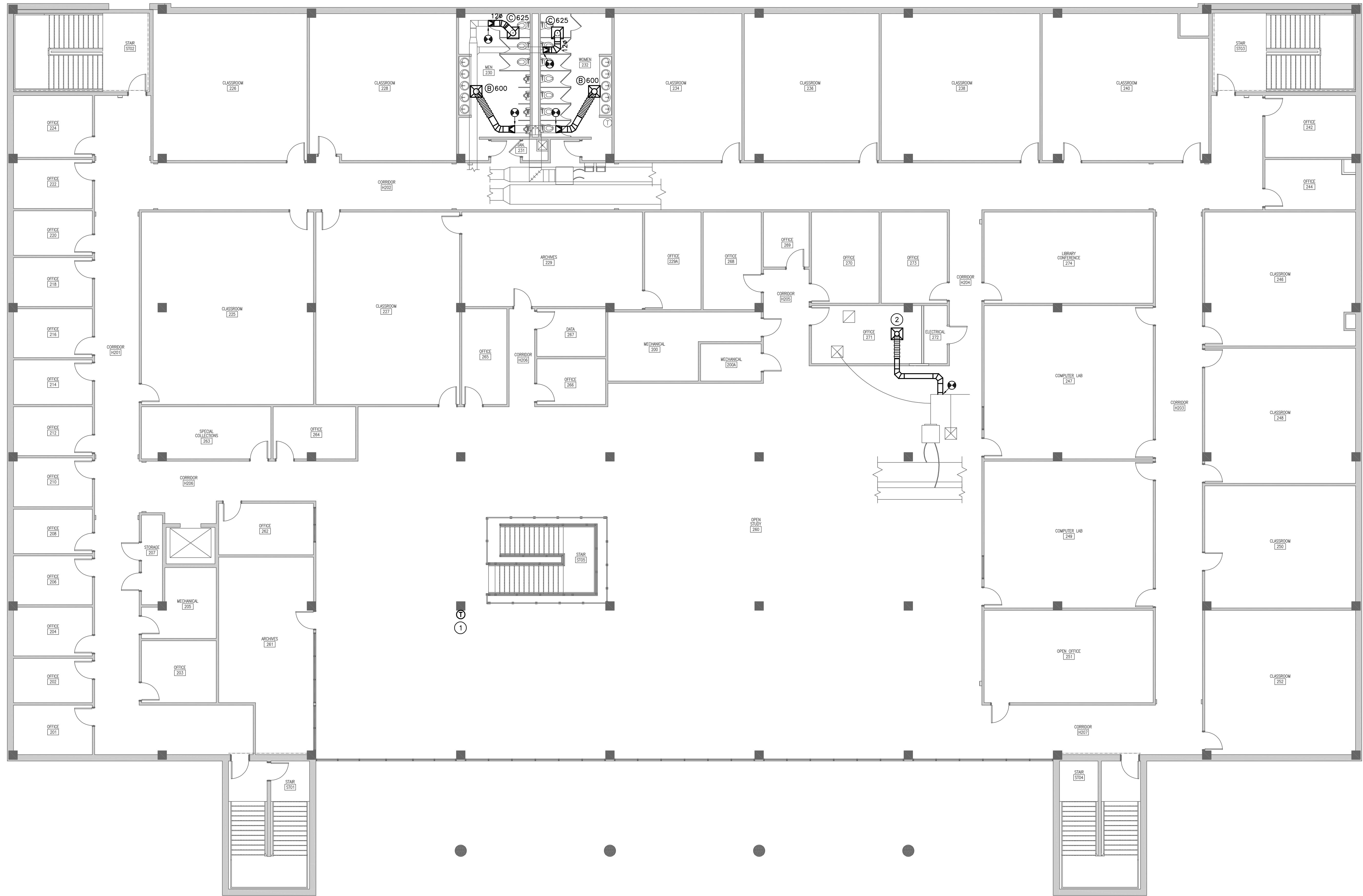
FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

Swygert & Associates
CONSULTING ENGINEERS

DBA Swygert & Assoc., Ltd. Telephone: (803) 791-9300
Post Office Box 11666 Greenville: (803) 791-9630
Columbia, S.C. 29211 mol@swygert-associates.com

N:\PROJECTS\18530\DRAWINGS\HVAC\18530-M102.dwg



NOTE:
ALL EXISTING CEILINGS WILL BE REMOVED AND REPLACED. CONTRACTOR TO TEMPORARILY SUPPORT DIFFUSERS AND GRILLES AS REQUIRED AND INSTALL IN NEW GRID. CONTRACTOR TO SEAL DUCT AND INSULATION FOR RUNOUTS AS REQUIRED IF DAMAGED DURING CEILING INSTALLATION.

NOTES TO SHEET

- 1 RELOCATE THERMOSTAT TO THIS LOCATION.
- 2 RELOCATE SUPPLY DIFFUSER TO THIS LOCATION.

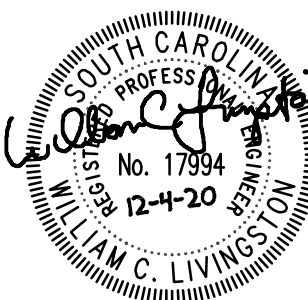
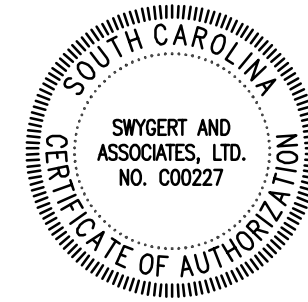
Jumper

Carter

Sease

ARCHITECTS

412 Meeting Street
West Columbia
South Carolina



UPSTATE INFORMATION RESOURCE CENTER RENOVATIONS
USC UPSTATE
150 GRAMLING DRIVE, SPARTANBURG, SC 29303
STATE PROJECT NO.: H34-9517

BID DOCUMENTS

No	Description	Date

DRAWN BY:	DEM
CHECKED BY:	WCL
COMM NO:	18104
DATE:	12/04/2020
SHEET TITLE:	SECOND FLOOR PLAN

SHEET NO:

M102

Swygert & Associates
CONSULTING ENGINEERS

DBA Swygert & Assoc., Ltd. Telephone: (803) 791-9300
Post Office Box 11666 Greenville: (803) 791-9830
Columbia, S.C. 29211 mol@swygert-associates.com

1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

N:\PROJECTS\18530\DRAWINGS\HVAC\18530-M201.dwg

AIR DISTRIBUTION SCHEDULE									
TAG	DESCRIPTION	MANUFACTURER	MODEL	FRAME	CFM	NECK SIZE	FACE SIZE	MAX NC	REMARKS
(A)	UNI-FLOW SUPPLY	PRICE	ASPD	LAY-IN	0-125	6"ø	24"x24"	30	1, 2
(B)	UNI-FLOW SUPPLY	PRICE	ASPD	LAY-IN	351-600	12"ø	24"x24"	30	1, 2
(C)	PERFORATED EXHAUST	PRICE	APDDR	LAY-IN	0-1000	22"x22"	24"x24"	30	1, 2
(D)	PERFORATED RETURN	PRICE	APDDR	LAY-IN	0-1000	22"x22"	24"x24"	30	1, 2
1. PROVIDE WITH STANDARD WHITE FINISH. 2. PROVIDE ALUMINUM OR ALUMINIZED STEEL CONSTRUCTION.									

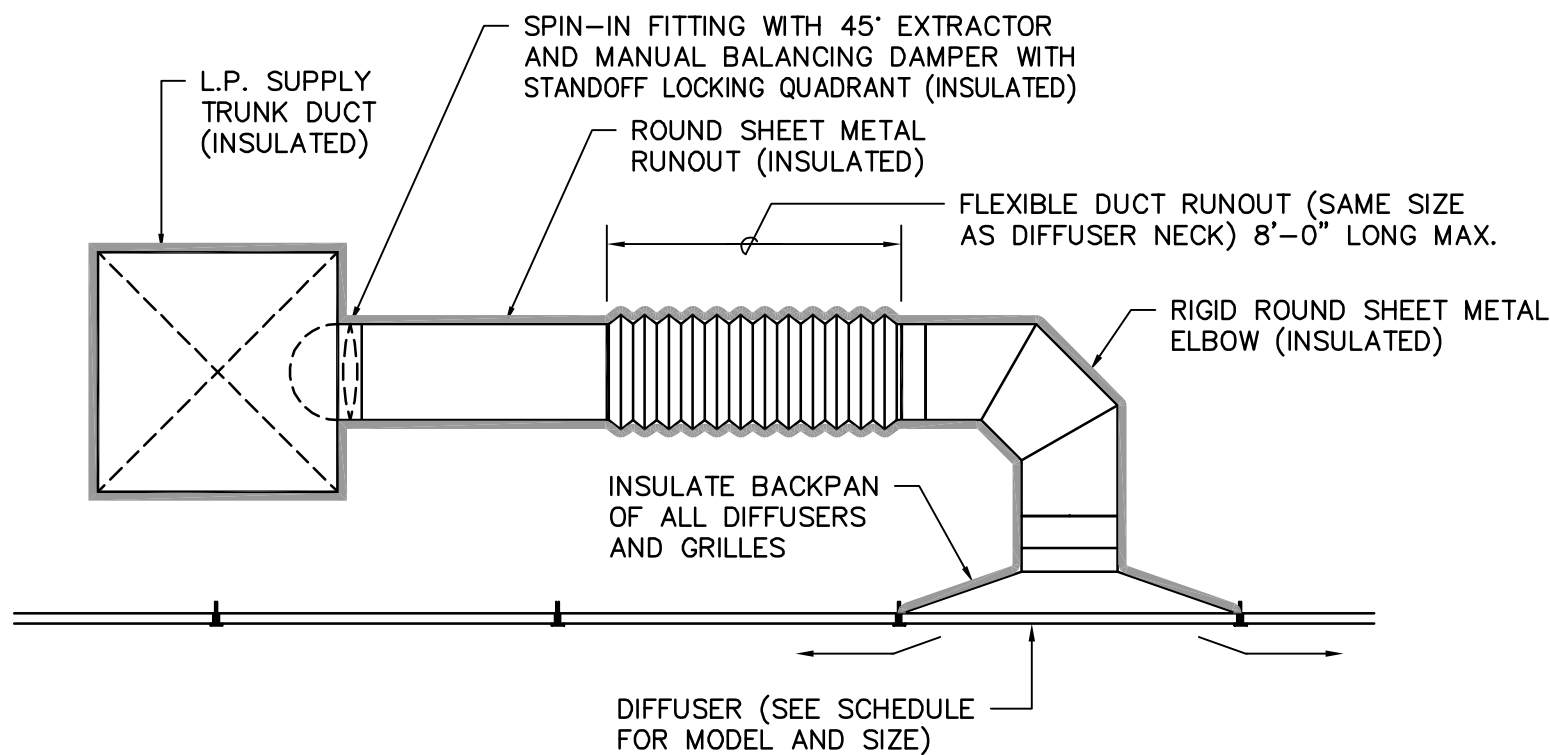
LEGEND	
SYMBOL	DESCRIPTION
(A)100	TYPE "A" DIFFUSER, 100 CFM
Ⓢ	THERMOSTAT
⊠	RECTANGULAR SUPPLY DUCTWORK
⊡	RETURN, EXHAUST, FRESH AIR DUCTWORK
48x24	48"x24" RECTANGULAR DUCT
⊙	CONNECTION POINT OF NEW TO EXISTING

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL CODE, 2015 INTERNATIONAL FUEL GAS CODE, 2009 INTERNATIONAL ENERGY CONSERVATION CODE, AND 2005 SMACNA HVAC DUCT CONSTRUCTION STANDARD. ALL LOCAL CODES OR REQUIREMENTS STILL APPLY.
2. VISIT SITE PRIOR TO BIDDING. THIS CONTRACTOR SHALL DETERMINE DIFFICULTY OF INSTALLATION AND REFLECT THIS IN HIS BIDDING.
3. DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF DOORS, WINDOWS, AIR DISTRIBUTION, ETC.
4. DO NOT SCALE DRAWINGS. THIS CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND LOCATIONS IN THE FIELD.
5. ALL DUCTWORK LOCATIONS SHALL BE COORDINATED WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID INTERFERENCE.
6. EXISTING PIPE, DUCTWORK, CONDUIT, ETC. THAT INTERFERES WITH THE ROUTING OF NEW SYSTEMS SHALL BE RELOCATED. THIS CONTRACTOR SHALL INCLUDE THE COST OF SUCH IN HIS BID UNLESS NOTED OTHERWISE.
7. ALL DUCTWORK INSULATION SHALL BE RUN CONTINUOUSLY THROUGH PARTITIONS.
8. ALL MECHANICAL ITEMS EXTENDING THROUGH WALLS SHALL BE FLASHED.
9. SPACE ABOVE CEILING TO BE USED AS RETURN AIR PLENUM WHERE DUCT IS NOT INDICATED ABOVE RETURN AIR GRILLES.
10. ALL OPEN END DUCTS SHALL HAVE 1/4-INCH MESH GALVANIZED SCREEN IN REMOVABLE FRAME.
11. WHERE 2'X2' LAY IN GRILLES ARE SPECIFIED IN HARD CEILINGS, A PLASTER FRAME SHALL BE PROVIDED SO THE GRILLE CAN LAY IN THE CEILING.
12. PROVIDE FOR ACCESS TO ALL EQUIPMENT REQUIRING CLEANING OR ADJUSTMENT PER MANUFACTURER'S INSTRUCTIONS. PROVIDE FULL SPACE FOR OIL REMOVAL AND REPLACEMENT FOR ALL HOT WATER AND CHILLED WATER AIR HANDLING UNITS.
13. THIS CONTRACTOR SHALL PROVIDE ALL ITEMS OF MISCELLANEOUS STEEL AS REQUIRED FOR INSTALLATION OF ALL MECHANICAL ITEMS.
14. REMOVAL AND REPLACEMENT OF CEILING, AS REQUIRED FOR INSTALLATION OF NEW WORK, SHALL BE DONE BY GENERAL CONTRACTOR.
15. CORRECT SETTINGS ON ALL BALANCING FITTINGS SHALL BE PERMANENTLY MARKED. PROVIDE ORANGE FLAGGING RIBBON ON EACH DAMPER HANDLE FOR EASY IDENTIFICATION.
16. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY DISMANTLING OF EQUIPMENT TO BE REMOVED.
17. ITEMS REMOVED UNDER THIS CONTRACT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY.
18. THIS CONTRACTOR SHALL PATCH ALL WALLS AND FINISHES TO MATCH EXISTING WHERE ALL ITEMS OR EQUIPMENT ARE REMOVED.

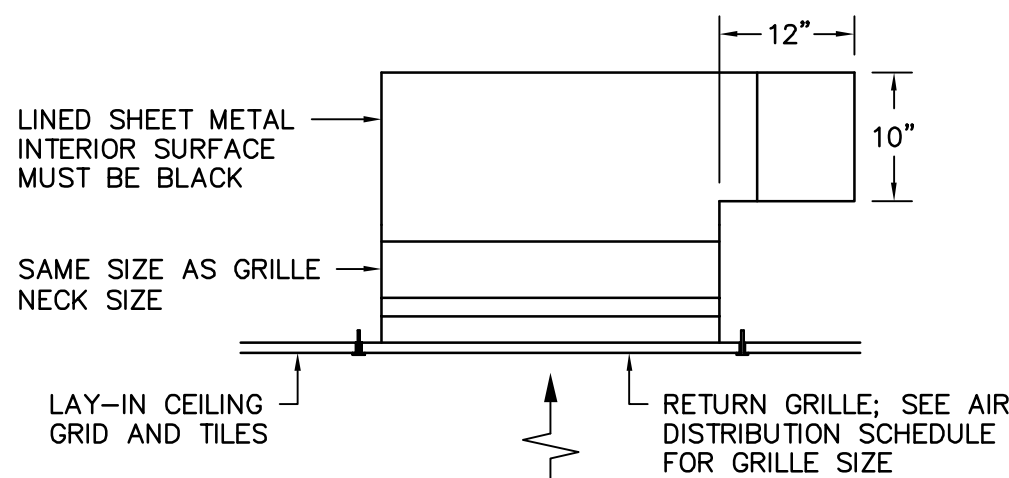
SPECIFICATIONS

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL CODE, 2009 INTERNATIONAL ENERGY CONSERVATION CODE, AND 2005 SMACNA HVAC DUCT CONSTRUCTION STANDARD. ALL LOCAL CODES OR REQUIREMENTS STILL APPLY.
2. ALL RECTANGULAR DUCT SHALL BE TYPE G-60 GALVANIZED SHEET METAL, SEALED WITH LOW PRESSURE DUCT MASTIC. ROUND DUCTS SHALL BE GALVANIZED SHEET METAL SEALED WITH LOW PRESSURE DUCT MASTIC. LOCKING QUADRANT BALANCING DAMPERS SHALL BE INSTALLED IN EACH BRANCH TAKEOFF AT THE MAIN TRUNK DUCT. FLEXIBLE DUCT SHALL NOT EXCEED 5' IN LENGTH AND SHALL BE EQUAL TO FLEXMASTER TYPE 1M.
3. SUPPLY AND RETURN DUCTS SHALL BE INSULATED WITH 2" THICK, 3/4# DENSITY DUCT WRAP. DUCT WRAP SHALL BE SEALED WITH FIBERGLASS REINFORCING MESH, STAPLES AND MASTIC AT THE JOINTS.
4. SUBMIT ALL EQUIPMENT AND PRODUCTS PROPOSED TO BE USED FOR THIS PROJECT PRIOR TO ORDERING. SUBMIT SIX COPIES OF DATA SHEETS TO THE ENGINEER, BOUND IN A SINGLE VOLUME FOR APPROVAL.
5. SUBMIT A TEST AND BALANCE REPORT AT PROJECT COMPLETION PRIOR TO FINAL ACCEPTANCE. BALANCE FAN AIR VOLUMES TO WITHIN 5% OF DESIGN AND DIFFUSER AIR VOLUMES TO WITHIN 10% OF DESIGN.
6. ALL EQUIPMENT, PRODUCTS AND WORK SHALL BE GUARANTEED TO BE FREE OF DEFECTS IN MANUFACTURE AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. ALL REPAIRS WILL BE MADE AT NO COST TO THE OWNER.



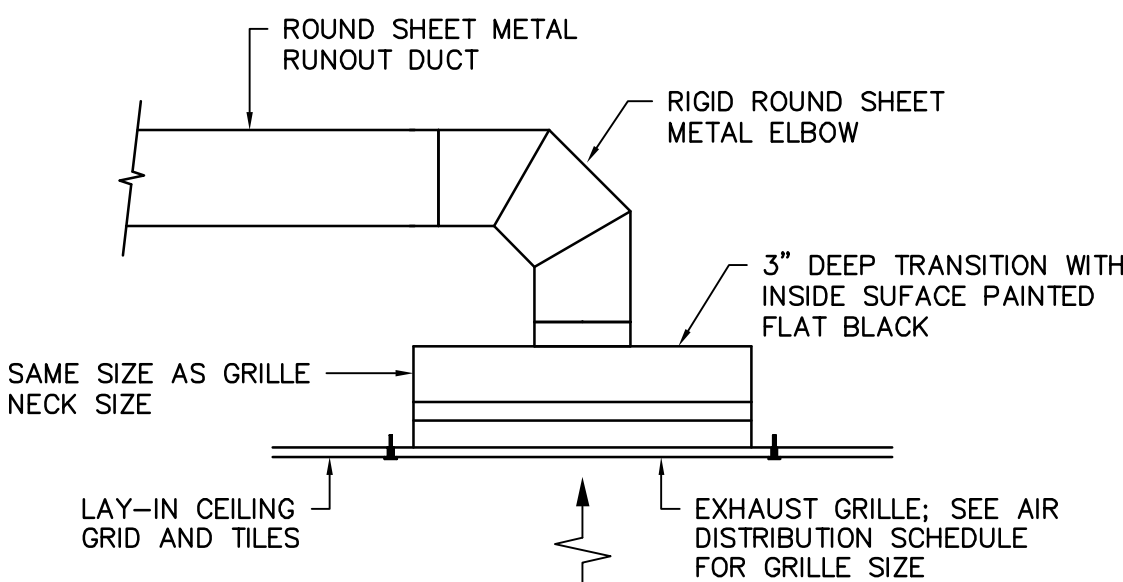
CEILING DIFFUSER DETAIL

NO SCALE



RETURN GRILLE DETAIL

NO SCALE



EXHAUST GRILLE DETAIL

NO SCALE

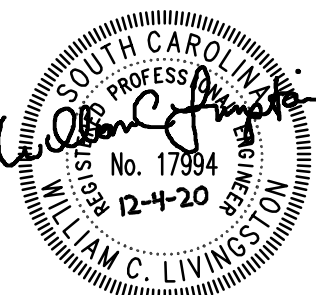
Jumper

Carter

Sease

ARCHITECTS

412 Meeting Street
West Columbia
South Carolina



UPSTATE INFORMATION RESOURCE CENTER RENOVATIONS
USC UPSTATE
150 GRAMLING DRIVE, SPARTANBURG, SC 29303
STATE PROJECT NO.: H34-9517

BID DOCUMENTS

Description	Date	No

DRAWN BY: DEM

CHECKED BY: WCL

COMM NO: 18104

DATE: 12/04/2020

SHEET TITLE:
DETAILS, NOTES,
SCHEDULE, AND
LEGEND

SHEET NO:

Swygert & Associates
CONSULTING ENGINEERS

88A Swygert & Assoc., Ltd. Telephone: (803) 791-9300
Post Office Box 11666 Fax: (803) 791-9630
Columbia, S.C. 29211 mol@swygert-associates.com

M201

ELECTRICAL SYMBOLS	
	DUPLEX RECEPTACLE, 20A, 120V, NEMA 5/20P, 16" AFF TO BOTTOM OF OUTLET BOX. "RP" DENOTES WEATHER-RESISTANT RECEPTACLE. SEE 260500. - "CR" DENOTES CORROSION-RESISTANT RECEPTACLE. SEE 260500. - "WR" DENOTES WEATHER-RESISTANT RECEPTACLE [2014 NEC, SECTION 406.9(A)] WITH EXTRA-DUTY RATED "IN-USE" WEATHERPROOF COVER PLATE, SEE 260500.
	SAME, EXCEPT MOUNTED 3" TO BOTTOM OF OUTLET FROM COUNTER BACKSPLASH, OR 48" AFF TO TOP OF OUTLET, OR AS DETAILED ON DRAWINGS. SEE ELEVATION THIS SHEET.
	GFCI RECEPTACLE, MOUNTING HEIGHTS AS ABOVE, "WP" DENOTES WEATHER-RESISTANT RECEPTACLE [2014 NEC, SECTION 406.9(A)] WITH WEATHERPROOF COVER PLATE, SEE SPECIFICATIONS. DEDICATED DUPLEX OR QUADPLEX RECEPTACLE FOR COMPUTERS. 20A, 120V, NEMA 5/20P WITH FACTORY ENGRAVED STAINLESS STEEL COVERPLATE LABELED "COMPUTER", MOUNTING HEIGHTS AND CONFIGURATIONS AS ABOVE.
	WALL OR CEILING MOUNTED JUNCTION BOX. TELEPHONE BOARD. PANELBOARD.
	BRANCH CIRCUIT WIRING RUN CONCEALED IN WALLS OR CEILING, 1#12G, 2#12 UNLESS NOTED OTHERWISE. ARROW DENOTES HOME RUN AND NUMERAL DENOTES CIRCUIT NUMBER. WHERE MORE THAN TWO CONDUCTORS ARE REQUIRED, SLASH MARKS INDICATE NUMBER OF #12 CONDUCTORS: - SHORT SLASH DENOTES HOT OR SWITCH LEG, - LONG SLASH DENOTES NEUTRAL, - "L" DENOTES GROUNDING WIRE
	MULTIWIRED BRANCH CIRCUITS USING A SHARED OR COMMON NEUTRAL ARE NOT PERMITTED ON THIS PROJECT. THE CONTRACTOR SHALL PULL A SEPARATE NEUTRAL FOR ALL 120V AND 277V CIRCUITS. CONDUIT HOMERUNS TO PANELBOARDS SHALL BE 3/4" MINIMUM. OTHERWISE RACEWAYS SHALL BE 1/2" MINIMUM, EXCEPT THAT FLEXIBLE CONDUIT SHALL BE 3/8" MINIMUM.
	SAME, EXCEPT RUN UNDERGROUND OR UNDERFLOOR.
	SAME, EXCEPT RUN EXPOSED.
	COMMUNICATIONS CONDUIT (OR CONDUIT & WIRING WHERE SPECIFIED), SIZE AS NOTED. CONDUIT TO BE EMT RUN OVERHEAD CONCEALED IN WALLS OR CEILING UNLESS NOTED OTHERWISE.
	TV OUTLET, 2 GANG BOX, 4 11/16" SQUARE, 2 1/8" DEEP, WITH 1 GANG PLASTER RING, 84" AFF TO BOTTOM OF OUTLET BOX UNLESS NOTED. PROVIDE DUPLEX RECEPTACLE 84" AFF WITHIN 8" OF TV OUTLET. HOMERUN 3/4" EMPTY CONDUIT WITH PULL WIRE TO CABLE TRAY OR MOF/JDF ROOM.
	COMMUNICATIONS OUTLET, 2 GANG BOX, 4 11/16" SQUARE, 2 1/8" DEEP, WITH 1 GANG PLASTER RING, 16" AFF TO BOTTOM OF OUTLET BOX UNLESS NOTED. HOMERUN 1" EMPTY CONDUIT WITH PULL WIRE TO CABLE TRAY OR MOF/JDF ROOM.
	SAME, EXCEPT MOUNTED 4" ABOVE COUNTER BACKSPLASH OR AS INDICATED ON THE DRAWINGS.

OCCUPANCY SENSOR NOTES:

MANUFACTURER: PRODUCTS SUPPLIED SHALL BE FROM A SINGLE MANUFACTURING THAT HAS BEEN CONTINUOUSLY INVOLVED IN THE MANUFACTURING OF OCCUPANCY SENSORS FOR A MINIMUM OF FIVE (5) YEARS. MIXING OF MANUFACTURERS SHALL NOT BE ALLOWED. FURNISH AND INSTALL SENSORS AS MANUFACTURED BY WATSTOPPER, ACUTY, EATON, CRESTRON, OR LUTRON. ALTERNATIVE MANUFACTURERS WILL BE CONSIDERED AS OUTLINED IN SECTION 260500, PARAGRAPH 1-09 OF THE SPECIFICATIONS.

WARRANTY: ALL COMPONENTS SHALL BE U.L. LISTED, OFFER A MINIMUM FIVE (5) YEAR WARRANTY AND MEET ALL STATE AND LOCAL APPLICABLE CODE REQUIREMENTS. CONTRACTOR SHALL WARRANT ALL EQUIPMENT FURNISHED IN ACCORDANCE TO THIS SPECIFICATION TO BE UNDAMAGED, FREE OF DEFECTS IN MATERIALS AND WORKMANSHIP, AND IN CONFORMANCE WITH THE SPECIFICATIONS. THE SUPPLIER'S OBLIGATION SHALL INCLUDE REPAIR OR REPLACEMENT, AND TESTING WITHOUT CHARGE TO THE OWNER, ALL OR ANY PARTS OF EQUIPMENT WHICH ARE FOUND TO BE DAMAGED, DEFECTIVE OR NON-CONFORMING AND RETURNED TO THE SUPPLIER. THE WARRANTY SHALL COMMENCE UPON THE OWNER'S ACCEPTANCE OF THE PROJECT. WARRANTY ON LABOR SHALL BE FOR A MINIMUM PERIOD OF ONE (1) YEAR.

SUBMITTALS AND DOCUMENTATION: MANUFACTURER SHALL SUBSTANTIATE CONFORMANCE TO THIS SPECIFICATION BY SUPPLYING THE NECESSARY DOCUMENTS, PERFORMANCE DATA AND WIRING DIAGRAMS. SUBMIT A LIGHTING PLAN CLEARLY MARKED BY MANUFACTURER SHOWING PROPER PRODUCT, LOCATION, WIRING, AND ORIENTATION OF EACH SENSOR. SUBMIT STANDARD CATALOG LITERATURE WHICH INCLUDES PERFORMANCE SPECIFICATIONS INDICATING COMPLIANCE TO THE SPECIFICATION.

THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ONLY ESTABLISH THE MINIMUM NUMBER AND TYPE OF SENSOR REQUIRED IN EACH SPACE. THE CONTRACTOR SHALL FURNISH ADDITIONAL SENSORS AS NECESSARY TO PROVIDE THE REQUIRED COVERAGE. THE CONTRACTOR MAY NOT REDUCE THE NUMBER OF SENSORS, CHANGE OR CHANGE THE SENSOR TYPE, IN A SPACE WITHOUT WRITTEN PERMISSION FROM THE ENGINEER. IN ORDER TO PROVIDE COVERAGE FOR THE CONTROLLED AREA AND ACCOMMODATE ALL OWNER OCCUPANCY REQUIREMENTS, ALL ROOMS/SPACES SHALL HAVE BETWEEN NINETY (90) AND ONE HUNDRED (100) PERCENT COVERAGE.

OCCUPANCY SENSOR SYSTEM DESIGN IS BASED ON WATSTOPPER SENSORS - WHERE AN ALTERNATIVE MANUFACTURER IS PROVIDED THE OCCUPANCY SENSOR SYSTEM SHALL PROVIDE COMPARABLE COVERAGE TO THE DESIGNED SYSTEM. LAYOUT OF OCCUPANCY SENSORS ON THE CONTRACT DOCUMENTS REPRESENTS THE BASIS OF DESIGN. THE OCCUPANCY SENSOR SUPPLIER SHALL FURNISH SHOP DRAWINGS AND PRINTED MATERIAL INDICATING LAYOUT OF SENSORS, RACEWAY, AND WIRING REQUIRED TO CONTROL THE LIGHTING INDICATED ON THE CONTRACT DRAWINGS. NO CHANGE ORDER WILL BE ALLOWED FOR ADDITIONAL SENSORS, RACEWAY, WIRING, POWER SUPPLIES, SATELLITE RELAYS, ETC., REQUIRED ON SHOP DRAWINGS BY THE OCCUPANCY SENSOR SUPPLIER. WHERE POWER SUPPLIES ARE REQUIRED FOR OPERATION OF THE OCCUPANCY SENSORS, BUT ARE NOT SHOWN ON THE LIGHTING PLANS, THE POWER SUPPLIES MUST BE INCLUDED AS PART OF THE BASE BID FOR THIS PROJECT. SEE OCCUPANCY SENSOR DETAILS THIS SHEET.

INSTALLATION: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND AIM SENSORS IN THE CORRECT LOCATION REQUIRED FOR COMPLETE AND PROPER VOLUMETRIC COVERAGE WITHIN THE RANGE OF COVERAGE(S) OF CONTROLLED AREAS PER THE MANUFACTURER'S RECOMMENDATIONS. PROPER JUDGMENT MUST BE EXERCISED IN EXECUTING THE INSTALLATION SO AS TO ENSURE THE BEST POSSIBLE INSTALLATION IN THE AVAILABLE SPACE AND TO OVERCOME LOCAL DIFFICULTIES DUE TO SPACE LIMITATIONS OR INTERFERENCE OF STRUCTURAL COMPONENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ALL PROPER ADJUSTMENTS TO ASSURE OWNER'S SATISFACTION WITH THE OCCUPANCY SYSTEM. PROVIDE ALL POWER PACKS AND MOUNTING HARDWARE NECESSARY FOR A COMPLETE AND OPERABLE SYSTEM.

LOW VOLTAGE WIRING: ALL LOW VOLTAGE WIRING FOR OCCUPANCY SENSOR APPLICATIONS SHALL BE RUN IN METAL CONDUIT, EXCEPT AS NOTED BELOW.

LOW VOLTAGE WIRING FOR OCCUPANCY SENSORS MAY BE RUN WITHOUT CONDUIT ABOVE ACCESSIBLE ACoustICAL GRID CEILINGS PROVIDED THE WIRING IS PLENUM RATED AND IS INSTALLED AND SUPPORTED IN ACCORDANCE WITH THE REQUIREMENTS OF NEC 725.24 AND 300.4(D).

POWER SUPPLIES: FURNISH, INSTALL, AND WIRE POWER PACKS PER THE MANUFACTURER'S INSTRUCTIONS. POWER PACKS ARE NOT SHOWN ON DRAWINGS BUT ARE REQUIRED. SEE OCCUPANCY SENSOR DETAILS AND TYPICAL LIGHTING WIRING PLANS FOR ADDITIONAL INFORMATION. POWER SUPPLIES SHALL BE LOCATED ABOVE THE ROOM SWITCH LOCATION UNLESS NOTED OTHERWISE ON THE DRAWINGS. OCCUPANCY SENSOR POWER SUPPLIES TO BE MOUNTED IN A SEPARATE JUNCTION BOX AS NOTED ON DETAIL, EXCEPT AS NOTED BELOW.

WHERE MOUNTED CONCEALED ABOVE ACCESSIBLE CEILINGS OCCUPANCY SENSOR POWER SUPPLIES MAY BE MOUNTED ADJACENT TO A JUNCTION BOX PER THE MANUFACTURER'S INSTRUCTIONS PROVIDED THE HOUSING IS UL 2043 PLENUM RATED.

OCCUPANCY SENSOR TIME DELAY SETTINGS: FIELD VERIFY DELAY SETTINGS FOR ALL OCCUPANCY SENSORS WITH THE OWNER PRIOR TO FINAL SETUP. RECOMMENDED DELAY SETTINGS ARE AS FOLLOWS:

- SET DELAY FOR ALL OCCUPANCY SENSORS LOCATED IN CORRIDORS, LOBBIES, LOCKER ROOMS, SHOWER ROOMS, GYMS, AND THE CAFETERIA TO 30 MINUTES UNLESS NOTED OTHERWISE ON THE DRAWINGS (FIELD VERIFY WITH OWNER).
- SET DELAY FOR ALL OCCUPANCY SENSORS LOCATED IN GROUP TOILETS, STAIRS, OTHER COMMON AREAS, THE MEDIA CENTER, AND SCIENCE LABORATORIES TO 20 MINUTES UNLESS NOTED OTHERWISE ON THE DRAWINGS (FIELD VERIFY WITH OWNER).
- SET DELAY FOR ALL OTHER OCCUPANCY SENSORS TO 10 MINUTES UNLESS NOTED OTHERWISE ON THE DRAWINGS (FIELD VERIFY WITH OWNER).

DUAL TECHNOLOGY SENSORS: SET TRIGGER FOR DUAL TECHNOLOGY SENSORS SO BOTH TECHNOLOGIES ARE REQUIRED TO TRIGGER ON, EITHER TECHNOLOGY IS REQUIRED TO HOLD ON, AND EITHER TECHNOLOGY IS REQUIRED TO RETRIGGER ON (5 SECOND DURATION).

VERIFICATION AND TRAINING: IT SHALL BE THE MANUFACTURER'S RESPONSIBILITY TO VERIFY ALL PROPER ADJUSTMENTS AND TRAIN OWNER'S PERSONNEL TO ENSURE OWNER'S SATISFACTION WITH THE OCCUPANCY SYSTEM. THIS SERVICE SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER OR THE ARCHITECT/ENGINEER. TRAINING SESSION TO INCLUDE REPRESENTATIVES FROM THE END USER, THE OWNER, THE ENGINEER, AND THE OWNER'S MAINTENANCE PERSONNEL. THE TRAINING SESSION SHALL NOT BE SCHEDULED UNTIL AFTER COMMISSIONING HAS BEEN COMPLETED AND HAS BEEN REVIEWED IN WRITING BY THE ENGINEER. THE TRAINING SESSION MUST BE SCHEDULED IN WRITING A MINIMUM OF TEN DAYS IN ADVANCE - FAILURE TO DO SO MAY RENDER THE TRAINING NULL & VOID AND REQUIRE RE-TRAINING AT NO ADDITIONAL COST TO THE OWNER OR THE ARCHITECT/ENGINEER.

COMMISSIONING: UPON COMPLETION OF THE INSTALLATION, THE OCCUPANCY SENSORS SHALL BE COMPLETELY COMMISSIONED BY THE MANUFACTURER'S FACTORY AUTHORIZED TECHNICIAN WHO WILL VERIFY ALL ADJUSTMENTS AND SENSOR PLACEMENT TO ENSURE A TROUBLE-FREE OCCUPANCY-BASED LIGHTING CONTROL SYSTEM. THIS SERVICE IS PROVIDED AT NO ADDITIONAL COST TO THE OWNER. THE ELECTRICAL CONTRACTOR SHALL PROVIDE BOTH THE MANUFACTURER AND THE ELECTRICAL ENGINEER WITH TEN WORKING DAYS WRITTEN NOTICE OF THE SCHEDULED COMMISSIONING DATE - FAILURE TO DO SO MAY RENDER THE COMMISSIONING NULL & VOID AND REQUIRE RE-COMMISSIONING AT NO ADDITIONAL COST TO THE OWNER. UPON COMPLETION OF THE SYSTEM FINE TUNING THE FACTORY AUTHORIZED TECHNICIAN SHALL PROVIDE THE PROPER TRAINING TO THE OWNER'S PERSONNEL IN THE ADJUSTMENT AND MAINTENANCE OF THE SENSORS (SEE ABOVE). COMMISSIONING AND TRAINING SHALL NOT BE PROVIDED UNTIL INSTALLATION IS COMPLETE. SEE LOW VOLTAGE SWITCHING SYSTEM SPECIFICATIONS AND NOTES FOR ADDITIONAL LIGHTING CONTROLS COMMISSIONING REQUIREMENTS.

FINAL REVIEW: A FINAL REVIEW OF THE ELECTRICAL INSTALLATION BY THE ENGINEER CANNOT BE PROVIDED UNTIL THE OCCUPANCY SENSOR INSTALLATION HAS BEEN PROPERLY COMMISSIONED. THE CONTRACTOR SHALL PROVIDE WRITTEN DOCUMENTATION TO THE ENGINEER THAT THE OCCUPANCY SENSOR COMMISSIONING AND TRAINING HAS BEEN PROVIDED PRIOR TO REQUESTING A FINAL REVIEW.

SUSTAINABLE DESIGN PROJECTS: FOR PROJECTS PURSUING LEED OR GREEN GLOBES CERTIFICATION, COMMISSIONING OF LIGHTING CONTROLS SHALL INCLUDE DETAILED DOCUMENTATION OF LIGHTING CONTROLS SETUP AND PROGRAMMING, AND COORDINATION WITH THE OWNER'S LEED CONSULTANT. THE SPECIFIED COMMISSIONING AND DOCUMENTATION FOR LIGHTING CONTROLS INCLUDES THE LOW VOLTAGE CONTROLS SPECIFIED HEREIN AND THE OCCUPANCY SENSORS SPECIFIED ON THE DRAWINGS.

LIGHTING SYMBOLS	
	RECESSED FIXTURE, WIRE THRU GREENFIELD FROM OUTLET BOX ABOVE CEILING, PROVIDE AS SCHEDULED. "NL" DENOTES FIXTURE WIRED TO A SEPARATE 24/77 NIGHT LIGHT CIRCUIT.
	HALF-SHADED FIXTURE DENOTES EMERGENCY LIGHTING FIXTURE. PROVIDE EMERGENCY BALLASTS OR GENERATOR TRANSFER DEVICES WHERE SCHEDULED.
	WALL OR CEILING MOUNTED LED EXIT LIGHT, SHADED AREA DENOTES FACE.
	WALL OR CEILING MOUNTED LED EXIT LIGHT, SHADED AREA DENOTES FACE.
	WALL MOUNTED EMERGENCY LIGHTING FIXTURE. PROVIDE AS SCHEDULED.
	SINGLE POLE SWITCH, 20A, 120/277V, 48" AFF TO TOP OF OUTLET BOX. SUBSCRIPT DENOTES OUTLETS CONTROLLED. WP DENOTES SWITCH WITH LOCKABLE SHALLOW IN-USE STYLE WEATHERPROOF COVER PLATE, SEE 260500.
	SAME, EXCEPT THREE WAY.
	SAME, EXCEPT FOUR WAY.
	SAME, EXCEPT SINGLE POLE KEYED SWITCH, 20A, 120/277V, 48" AFF.
	120/277V, 0-10V LED WALL BOX DIMMER WITH INTEGRAL ON/OFF BUTTON, 48" AFF TO TOP OF OUTLET BOX. *RATING=1200W (120V) & 1600W (277V). ON/OFF TO BE ACCOMPLISHED WITHOUT THE USE OF SEPARATE POWER PACKS, UNLESS NOTED OTHERWISE. GREENGATE W850-010SLD OR EQUIVALENT OF WATSTOPPER, ACUTY, CRESTRON, LEVITON, OR LUTRON. SEE DETAIL ON E605.
	SAME, EXCEPT WIRED PER THE MANUFACTURER'S INSTRUCTIONS FOR FOR THREE WAY SWITCHING.
	SLIDE-TO-OFF WALL BOX DIMMER, 48" AFF TO TOP OF OUTLET BOX. "DE" DENOTES ELECTRONIC LOW VOLTAGE DIMMER, "DM" DENOTES MAGNETIC VOLTAGE DIMMER, "600", "1000T", "1500T", OR "2000" DENOTES 600W, 1000W, 1500W, OR 2000W INCANDESCENT DIMMER. LUTRON NOVA T SERIES, OR EQUIVALENT. ALL DIMMERS TO BE SLIDE-TO-OFF UNLESS NOTED OTHERWISE.
	WALL MOUNTED IR SENSOR WITH BUILT-IN SWITCH, 48" AFF. SEE OCCUPANCY SENSOR DETAILS. WATSTOPPER PW-100 (A) OR PW-200 (AB), OR EQUIVALENT OF ACUTY, EATON, CRESTRON, OR LUTRON.
	WALL MOUNTED PRESET COUNTDOWN TIME SWITCH, 48" AFF. SEE OCCUPANCY SENSOR DETAILS. WATSTOPPER RT-50 OR EQUIVALENT OF ACUTY, EATON, CRESTRON, OR LUTRON.
	CEILING MOUNTED 360° DUAL TECHNOLOGY OCCUPANCY SENSOR. FURNISH, INSTALL, AND WIRE POWER PACK(S) PER THE MANUFACTURER'S INSTRUCTIONS. POWER PACKS NOT SHOWN ON DRAWINGS, BUT ARE REQUIRED. SEE OCCUPANCY SENSOR DETAILS AND NOTES FOR ADDITIONAL INFORMATION. WATSTOPPER DT-300 (1000SF) WITH BZ-150 POWER PACK(S), OR EQUIVALENT OF ACUTY, EATON, CRESTRON, OR LUTRON. "WG" DENOTES WIRE GUARD.
	CEILING MOUNTED 360° INFRARED TECHNOLOGY OCCUPANCY SENSOR. FURNISH, INSTALL, AND WIRE POWER PACK(S) PER THE MANUFACTURER'S INSTRUCTIONS. POWER PACKS NOT SHOWN ON DRAWINGS, BUT ARE REQUIRED. SEE OCCUPANCY SENSOR DETAILS AND NOTES FOR ADDITIONAL INFORMATION. WATSTOPPER CI-300-1 (IR, 500SF) AND CI-300 (IR2, 1200SF) WITH BZ-150 POWER PACK(S), OR EQUIVALENT OF ACUTY, EATON, CRESTRON, OR LUTRON.
	CEILING MOUNTED 360° ULTRASONIC SENSOR, FURNISH, INSTALL, AND WIRE POWER PACK(S) PER THE MANUFACTURER'S INSTRUCTIONS. POWER PACKS NOT SHOWN ON DRAWINGS, BUT ARE REQUIRED. SEE OCCUPANCY SENSOR DETAILS AND NOTES FOR ADDITIONAL INFORMATION. ARROWS DENOTE SENSOR FOR CORRIDORS WITH 90° LINEAR COVERAGE PATTERN. WATSTOPPER UT-300-3 (2000SF OR 80LF) WITH BZ-150 POWER PACK(S), OR EQUIVALENT OF ACUTY, EATON, CRESTRON, OR LUTRON.

LIGHTING FIXTURE SCHEDULE NOTES

1. FIXTURE BODIES MANUFACTURED FROM PRE-PAINTED STEEL SHALL BE PAINTED AFTER FABRICATION, UNLESS NOTED.
2. WARRANTY FOR ALL LED FIXTURES SHALL BE A MINIMUM OF 10-YEARS FROM DATE OF SUBSTANTIAL COMPLETION UNLESS NOTED OTHERWISE.
3. REFER TO LUMINAIRE SCHEDULE FOR LED DESIGN CRITERIA (DELIVERED LUMENS, LUMENS PER WATT, CRI, COLOR TEMPERATURE, LUMEN MAINTENANCE FACTOR). LISTED CRITERIA REPRESENTS THE MINIMUM ACCEPTABLE VALUES. FIXTURES NOT MEETING THE LISTED MINIMUM REQUIREMENTS ARE NOT ACCEPTABLE.
4. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING SCHEDULE AND/OR REFLECTED CEILING PLAN.
5. WIRE RECESSED LED OR FLUORESCENT FIXTURES THRU GREENFIELD FROM OUTLET BOX ABOVE CEILING, EXCEPT THAT TYPE MC CABLE MAY BE USED FOR LIGHT FIXTURE WIRING ABOVE ACCESSIBLE LAY-IN CEILINGS.
6. PULL UNSWITCHED HOT LEG, SAME CIRCUIT IN ROOM, TO ALL EXIT LIGHTS AND EMERGENCY BATTERY LIGHTS AS REQUIRED. ALL EMERGENCY BATTERIES SHALL BE SEALED, MAINTENANCE-FREE, HIGH TEMPERATURE NICKEL CADMIUM BATTERIES, UNLESS NOTED.
7. WHERE SPECIFIED FOR DIGITAL SWITCHING SYSTEMS, LOW VOLTAGE LIGHTING CONTROL SYSTEMS, AND OCCUPANCY SENSORS - PROVIDE ALL POWER PACKS, POWER SUPPLIES, RELAYS, PROGRAMMING, CABLING, MOUNTING HARDWARE, ETC. NECESSARY TO PROVIDE COMPLETE AND OPERABLE LIGHTING CONTROL SYSTEMS.
8. FIXTURE MOUNTING HEIGHTS - REFER TO ARCHITECTURAL DRAWINGS & ELEVATIONS FOR MOUNTING HEIGHTS OF WALL MOUNTED LIGHT FIXTURES. MOUNTING HEIGHTS INDICATED ON ELECTRICAL DRAWINGS ARE FOR BIDDING PURPOSES, FIELD VERIFY ALL MOUNTING HEIGHTS WITH ARCHITECT PRIOR TO ROUGH-IN.
9. 0-10V LED DIMMERS SHALL INCLUDE AN INTEGRAL ON/OFF SWITCH UNLESS NOTED OTHERWISE.
10. PROVIDE SEPARATE SHOP DRAWING SUBMITTALS FOR LIGHT FIXTURES AND LIGHTING CONTROLS AS INDICATED IN SECTION 260510.
11. LIGHT FIXTURES MOUNTED IN ACOUSTICAL CEILING GRID OR SIMILAR CEILING SYSTEMS SHALL BE SECURELY FASTENED TO THE CEILING FRAMING MEMBER BY MECHANICAL MEANS SUCH AS BOLTS, SCREWS, RIVETS, OR LISTED CLIPS PER THE REQUIREMENTS OF NEC 410.36(B), WITHIN 6" OF EACH CORNER.
12. ALL SCREWS, BOLTS, ETC. FOR LIGHT FIXTURES LOCATED OUTDOORS SHALL BE STAINLESS STEEL, INCLUDING MOUNTING HARDWARE FOR LIGHT FIXTURE ACCESSORIES.

LIGHTING FIXTURE SCHEDULE

TYPE	SYMBOL	LAMP	DESCRIPTION	MODEL	WATTS	VOLTS	NOTE 1
A50		(1) LED	2x4 SPEC GRADE RECESSED LED FIXTURE WITH 0-10V DIMMING CAPABILITY AND THE FOLLOWING MINIMUM CRITERIA: 5000 LUMEN OUTPUT, 125LPW, 80CRI, 4000K.	WILLIAMS LT-24-L52/840-AF-EQCLIPS-DIM-UNV OR EQUIVALENT OF LITHONIA 2BLT4 SERIES, METALUX CRUZE SERIES COLUMBIA LCAT SERIES, OR DAYBRITE EVOGRID SERIES	38	MULTIPLE	
A50EB		(1) LED	SAME AS TYPE A50 EXCEPT FIXTURE TO INCLUDE A 10W EMERGENCY LED DRIVER WITH INTEGRAL TEST SWITCH AND SELF-DIAGNOSTICS.	WILLIAMS LT-24-L52/840-AF-EQCLIPS-DIM-UNV OR EQUIVALENT OF LITHONIA 2BLT4 SERIES OR METALUX CRUZE SERIES	40	MULTIPLE	
B33		(1) LED	2x2 SPEC GRADE RECESSED LED FIXTURE WITH 0-10V DIMMING CAPABILITY AND THE FOLLOWING MINIMUM CRITERIA: 3300 LUMEN OUTPUT, 120LPW, 80CRI, 4000K.	WILLIAMS LT-22-L39/840-AF-(L33)-EQCLIPS-DIM-UNV OR EQUIVALENT OF LITHONIA 2BLT4 SERIES, METALUX CRUZE SERIES COLUMBIA LCAT SERIES, OR DAYBRITE EVOGRID SERIES	27	MULTIPLE	
B39		(1) LED	2x2 SPEC GRADE RECESSED LED FIXTURE WITH 0-10V DIMMING CAPABILITY AND THE FOLLOWING MINIMUM CRITERIA: 3900 LUMEN OUTPUT, 115LPW, 80CRI, 4000K.	FIDELUX FFP22-30W-40-UNV-D OR EQUIVALENT OF LITHONIA EPANL SERIES, METALUX 24FP SERIES, OR COLUMBIA CFP SERIES	32	MULTIPLE	WIRE FOR 0-10V DIMMING WHERE NOTED.
B39EM		(1) LED	SAME AS TYPE B39 EXCEPT FIXTURE TO INCLUDE A 10W EMERGENCY LED DRIVER WITH INTEGRAL TEST SWITCH AND SELF-DIAGNOSTICS.	FIDELUX FFP22-30W-40-UNV-D OR EQUIVALENT OF LITHONIA EPANL SERIES, METALUX 24FP SERIES, OR COLUMBIA CFP SERIES	32	MULTIPLE	WIRE FOR 0-10V DIMMING WHERE NOTED.
XC		(1) LED	CEILING MOUNT SINGLE FACE LED EXIT SIGN WITH EVEN ILLUMINATION RED DIFFUSER, WHITE THERMOPLASTIC HOUSING, AC ONLY.	EMERGILITE ELX400-RN LITHONIA LOM-S-W-3-R-120/277, SURELITES LPX-6 EQUIVALENT OF CHLORIDE, LIGHTALARMS, OR DUALITE	2	MULTIPLE	

SCOPE OF WORK

THE WORK OF THIS SECTION SHALL PROVIDE COMPLETE ELECTRICAL SYSTEMS FOR WORK AS SPECIFIED HEREIN AND SHALL INCLUDE THE PROVIDING OF ALL CONDUCTORS, RACEWAYS, FITTINGS, CIRCUIT PROTECTIVE DEVICES, LIGHT FIXTURES, FIRE ALARM DEVICES, BOXES, SUPPORTS, AND ALL ASSOCIATED APPURTENANCES AND MISCELLANEOUS EQUIPMENT NECESSARY. ALL OF WHICH SHALL BE COMPLETELY CONNECTED, TESTED, ADJUSTED AND LEFT IN PROPER OPERATING CONDITION. THE ELECTRICAL SYSTEM TO BE PROVIDED SHALL INCLUDE SERVICE AND DISTRIBUTION FACILITIES POWER FOR MOTOR OPERATED EQUIPMENT, LIGHTING SYSTEMS, AND ALL OUTLETS AS COVERED HEREINAFTER.

GENERAL NOTES:

1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE 2017 NATIONAL ELECTRICAL CODE (NEC), THE 2018 INTERNATIONAL BUILDING CODE (IBC), AND ANY LOCAL CODES, LAWS AND ORDINANCES WHICH MAY APPLY. WHERE DIFFERENCES EXIST BETWEEN THE CODES, THE STRICTER CODE SHALL APPLY.
2. ALL CONDUITS SHALL CONTAIN A GROUNDING CONDUCTOR REGARDLESS OF USE.
3. THE CONTRACTOR FOR THE WORK UNDER THIS SECTION SHALL PROCURE AND PAY FOR ALL PERMITS, FEES, AND LICENSES REQUIRED FOR THE EXECUTION OF THIS WORK. SATISFACTORY EVIDENCE OF COMPLIANCE WITH THE REQUIREMENT AND ALL CERTIFICATES OF INSPECTION SHALL BE DELIVERED TO THE OWNER PROMPTLY UPON REQUEST.
4. TYPE MC CABLE MAY BE USED FOR INTERIOR, CONCEALED BRANCH CIRCUITS. HOMERUNS SHALL BE IN METALLIC CONDUIT. WHERE CABLE WOULD OTHERWISE BE EXPOSED, IT SHALL BE INSTALLED IN CONDUIT. REDHEAD BUSHINGS SHALL BE PROVIDED AT EACH CABLE TERMINATION. TYPE MC MAY NOT BE USED UNDERGROUND OR UNDER SLAB. TYPE MC CABLE MAY NOT PENETRATE RATED WALLS OR FLOORS.
5. ALL LOW VOLTAGE WIRING FOR OCCUPANCY SENSOR APPLICATIONS SHALL BE RUN IN METAL CONDUIT.
6. UNLESS OTHERWISE NOTED FOR 120-VOLT, 20-AMP CKTS: #10 AWG SHALL BE USED FOR HOMERUNS LONGER THAN 75 FEET #12 AWG SHALL BE USED FOR HOMERUNS 75 FEET OR SHORTER
7. MULTIWIRE BRANCH CIRCUITS USING A SHARED OR COMMON NEUTRAL ARE NOT PERMITTED ON THIS PROJECT. THE CONTRACTOR SHALL PULL A SEPARATE NEUTRAL FOR ALL 120V AND 277V CIRCUITS.
8. MOUNT RECEPTACLES 16" AFF UNLESS OTHERWISE NOTED.
9. ALL LIGHT SWITCHES AND RECEPTACLES SHALL BE BY THE SAME MANUFACTURER. COVER PLATES SHALL BE JUMBO STAINLESS STEEL DEVICE COLOR TO BE SELECTED BY THE ARCHITECT UNLESS STATED WITH THE DEVICE SYMBOL.
10. ELECTRICAL METALLIC TUBING AND RIGID GALVANIZED STEEL CONDUIT SHALL BE THE ONLY TYPES OF CONDUIT INSTALLED WITHIN THE BUILDING. PVC IS PERMITTED UNDERGROUND.
11. BRANCH CIRCUITS SHALL BE RUN CONCEALED WHERE PRACTICAL. BRANCH CIRCUITS RUN EXPOSED TO WEATHER ON EXTERIOR WALLS OR ON ROOFS SHALL BE RUN IN GRC OR IMC WITH SOWEDED FITTINGS. BRANCH CIRCUITS RUN CONCEALED IN WALLS OR CEILINGS SHALL BE RUN IN EMT, GRC, OR IMC. BRANCH CIRCUITS RUN EXPOSED IN DRY, FINISHED SPACES SHALL BE RUN IN WIREMOLD SURFACE METAL RACEWAY. BRANCH CIRCUITS RUN EXPOSED IN DAMP LOCATIONS, UNFINISHED SPACES (ATTICS), AND UNOCCUPIED SPACES (STORAGE ROOM, EQUIPMENT ROOMS, JANITOR'S CLOSET, ETC.) MAY BE RUN IN EMT IN LIEU OF WIREMOLD.
12. CONDUIT HOMERUNS TO PANELBOARDS AND CONDUITS SHOWN WITH MULTIPLE CIRCUITS SHALL BE 3/4" MINIMUM, OTHERWISE RACEWAYS SHALL BE 1/2" MINIMUM, EXCEPT THAT FLEXIBLE CONDUIT SHALL BE 3/8" MINIMUM.
13. INTERIOR CONDUIT HOMERUNS TO PANELBOARDS SHALL BE RUN OVERHEAD IN EMT, GRC, OR IMC UNLESS NOTED OTHERWISE ON THE DRAWINGS.
14. FIRE ALARM SYSTEM CONDUITS AND COMMUNICATIONS SYSTEM CONDUITS TO BE EMT RUN OVERHEAD CONCEALED IN WALLS OR CEILING UNLESS NOTED OTHERWISE.
15. ALL FIRE RATED WALLS, FLOORS, ETC WHICH HAVE A CONDUIT OR OTHER ELECTRICAL PENETRATION SHALL BE SEALED TO EQUAL THE RATING OF THE WALL, FLOOR, ETC. THAT IS PENETRATED. CONTRACTOR SHALL USE A U.L. RATED AND LISTED ASSEMBLY FOR THE SEALING MATERIAL AND METHOD. COORDINATE MANUFACTURER WITH THE GENERAL CONTRACTOR SO THAT ALL TRADES ON THE PROJECT USE THE SAME MANUFACTURER. THROUGH PENETRATIONS OF CONDUITS AND CABLES OF FIRE RESISTANCE RATED WALLS MUST COMPLY WITH SECTION 714.4.1.1 OF THE IBC. THROUGH PENETRATIONS OF FIRE RESISTANCE CEILING ASSEMBLIES MUST COMPLY WITH SECTION 714.4.1.1 OF THE IBC.
16. ALL OUTLET BOXES 4"x4" OR SMALLER LOCATED ON OPPOSITE SIDES OF A RATED WALL SHALL HAVE A MINIMUM OF 24" HORIZONTAL SPACING OR SHALL BE PROTECTED WITH LISTED PUTTY PADS. ALL OUTLET BOXES LARGER THAN 4"x4" (COMMUNICATIONS OUTLETS, ETC.) LOCATED IN RATED WALLS SHALL BE PROTECTED WITH LISTED PUTTY PADS.
17. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS, LOCATIONS, CABINETS, ETC.
18. CONCEAL ALL CONDUIT AND FITTINGS EXCEPT WHERE THE ARCHITECT GRANTS SPECIFIC PERMISSION.
19. ALL WORK AND MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF ACCEPTANCE.
20. PROVIDE ONE COMPLETE SET OF ELECTRICAL DRAWINGS MARKED UP FOR RECORD DRAWINGS. SHOW ALL LOCATIONS OF EQUIPMENT AND MATERIALS.
21. INSTALL ALL MATERIALS PER MANUFACTURER'S INSTRUCTIONS.
22. IDENTIFY MAJOR EQUIPMENT INSTALLED WITH LAMCOR LABELS (SEE SPECS). PROVIDE FLASH HAZARD SIGN AT ALL ELECTRICAL PANELS. PROVIDE A TYPED DIRECTORY IN ALL PANEL BOARDS CLEARLY DESCRIBING THE LOCATION OF AND TYPE OF LOAD BEING SERVED FOR ALL CIRCUITS.
23. VISIT SITE TO DETERMINE EXISTING CONDITIONS PRIOR TO SUBMITTING BID.
24. ALL RACEWAYS, FIXTURES, WIRING, DEVICES, AND EQUIPMENT RENDERED USELESS BY THIS WORK SHALL BE REMOVED AND DELIVERED TO THE OWNER'S STORAGE FACILITY AS DIRECTED. ANY MATERIAL NOT WANTED BY THE OWNER SHALL BE DISPOSED OF BY THE CONTRACTOR.
25. ELECTRICAL CONTRACTOR SHALL DO ALL CUTTING AND PATCHING AS REQUIRED TO INSTALL HIS WORK. FINISH PATCHING AND PAINTING WILL BE DONE BY THE GENERAL CONTRACTOR.
26. CONDUITS TO BE RUN UNDER WALKWAYS AND PAVINGS SHALL BE INSTALLED BY JACKING OR BORING, UNLESS NOTED. DO NOT CUT WALKWAYS OR PAVEMENTS UNLESS ACCEPTABLE TO THE ENGINEER. ALLOWED CUTS IN PAVEMENT OR CONCRETE SHALL BE MADE USING A PAVEMENT SAW, AND SHALL BE PATCHED TO MATCH THE EXISTING SURFACE.
27. WHERE DISAGREEMENTS EXISTS ON THE DESIGN DOCUMENTS, THE ITEM OR ARRANGEMENTS OF BETTER QUALITY, GREATER QUANTITY, OR HIGHER COST SHALL BE INCLUDED IN THE BASE BID. ANY DISCREPANCIES BETWEEN THE DRAWINGS, SPECIFICATIONS, AND FIELD CONDITIONS SHALL BE RESOLVED WITH THE ENGINEER PRIOR TO COMMENCING WORK. ALL AGREEMENTS SHALL BE VERIFIED IN WRITING.
28. ALL WORK UNDER THIS SECTION SHALL BE COORDINATED WITH OTHER TRADES TO INSURE PROPER LOCATION OF OUTLETS AND EQUIPMENT CONNECTIONS, AND TO MINIMIZE CONFLICTS WITH STRUCTURAL MEMBERS, DUCT WORK, PIPING, ETC. CONFLICTS BETWEEN EQUIPMENT AND/OR MATERIAL LOCATIONS SHALL BE CORRECTED AS DIRECTED BY THE ARCHITECT-ENGINEER AT NO ADDITIONAL COST TO THE OWNER.

ELECTRICAL SUBMITTALS

ELECTRICAL SHOP DRAWINGS SHALL BE SUBMITTED IN ONE COMPLETE PACKAGE CONTAINING ALL ITEMS REQUIRED BY THE ELECTRICAL DRAWINGS AND THE DIVISION 26-28 SPECIFICATIONS. PARTIAL SHOP DRAWING SUBMITTALS MAY BE REJECTED BY THE ARCHITECT-ENGINEER. REFER TO SECTION 260510 OF THE ELECTRICAL SPECIFICATIONS FOR REQUIRED SUBMITTAL FORMAT AND FOR ADDITIONAL REQUIREMENTS.

ALTERNATES

ALTERNATES: REFER TO SECTION 012300 - ALTERNATES FOR ALTERNATE DESCRIPTIONS. REFER TO SECTION 260500 FOR BRIEF DESCRIPTIONS OF ALTERNATES WITH ELECTRICAL RAMIFICATIONS. WHERE CONFLICTS EXIST, SECTION 012300 SHALL SUPERSEDE THE DESCRIPTIONS.

ABBREVIATIONS

A	AMPERES	LTG	LIGHTING
AFF	ABOVE FINISHED FLOOR	MFR	MANUFACTURER
AFG	ABOVE FINISHED GRADE	MLO	MAIN LUGS ONLY
AWG	AMERICAN WIRE GAUGE	NEC	NATIONAL ELECTRICAL CODE
AHJ	AUTHORITY HAVING JURISDICTION	NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
CKT	CIRCUIT	NIC	NOT IN CONTRACT
CU	COPPER	PH	PHASE
EC	EMPTY CONDUIT	RCP	RECEPTACLE
EQPT	EQUIPMENT	RE	REFER TO
EXST	EXISTING	TYP	TYPICAL
FWE	FURNISHED WITH EQUIPMENT	UNO	UNLESS NOTED OTHERWISE
GF	GROUND FAULT INTERRUPTER	V	VOLTS
IW	IN ACCORDANCE WITH	WP	WEATHERPROOF
KVA	KILOVOLTAMPERES	W	WIRE OR WATTS
KW	KILOWATTS		

ELECTRICAL DEMOLITION NOTES

- A. IT IS THE GENERAL INTENTION OF THESE DRAWINGS TO COVER ALL SITUATIONS WHERE AN ITEM IS TO BE REMOVED, WHETHER IT HAPPENS TO BE A LIGHT FIXTURE, DUPLEX RECEPTACLE, LIGHT SWITCH, FIRE ALARM DEVICE, OR OTHER ELECTRICAL ITEM. THE ELECTRICAL CONTRACTOR SHALL ASSIST THE MECHANICAL AND GENERAL CONTRACTORS IN REMOVAL OF EQUIPMENT WITH ELECTRICAL CONNECTIONS BEING REMOVED BY THESE CONTRACTORS.
- B. PRIOR TO SUBMITTING BID, THE CONTRACTOR SHALL SURVEY THE EXISTING BUILDING AND MAKE NOTE OF ANY ADDITIONAL DEMOLITION AND/OR ANY ADDITIONAL REMOVAL AND RELOCATION WHICH MAY BE REQ'D IN ORDER TO ACCOMPLISH RENOVATIONS INDICATED IN CONTRACT DOCUMENTS. NO CHANGE ORDER WILL BE ISSUED FOR ADDITIONAL WORK REQUIRED FOR DEMOLITION, REMOVAL, OR RELOCATION WORK NOT INDICATED ON THESE DRAWINGS BUT NECESSARY TO COMPLETE WORK.
- C. IN ALL AREAS WHERE EXISTING WALLS ARE BEING REMOVED, NEW WALLS ARE BEING ADDED, AND WHERE OTHER DEMOLITION WORK IS OCCURRING, REMOVE ALL EXISTING RECEPTACLES, LIGHTS, AND OTHER ELECTRICAL DEVICES. AND ALL WIRING AND CONDUIT NOT BEING REUSED. EXISTING CONDUIT RUN CONCEALED IN EXISTING WALLS NOT BEING REMOVED AND/OR REPLACED MAY BE ABANDONED. ALL DEMOLITION MUST BE COORDINATED WITH THE ARCHITECT AND WITH ALL OTHER TRADES TO AVOID CONFLICTS. REFER TO THE ARCHITECTURAL DEMOLITION PLAN.
- D. NO EXISTING ELECTRICAL MATERIALS, EQUIPMENT, WIRING, OR CONDUIT BEING REMOVED MAY BE REUSED ON THIS PROJECT UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE DRAWINGS. ALL EXISTING ELECTRICAL MATERIALS AND EQUIPMENT NOT BEING REUSED SHALL BE DISPOSED OF AS INDICATED IN GENERAL NOTES.
- E. EXTEND, REPAIR OR REWIRE ANY CIRCUIT BROKEN BY DEMOLITION NOT TO BE ABANDONED.

SPARE PARTS:

- A. ADDITIONAL EXIT LIGHTS: THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ADDITIONAL EXIT LIGHTS AT THE DISCRETION OF THE ARCHITECT/ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION IN THE FOLLOWING QUANTITIES:
 - (4) WALL OR CEILING MOUNTED TYPE XC LED EXIT LIGHTS
- INCLUDE COMPLETE COSTS TO FURNISH AND INSTALL THE ABOVE ADDITIONAL EXIT LIGHTS IN BASE BID, INCLUDING ALL CONDUIT, OUTLET BOXES, 120V POWER, AND WIRING. ANY DEVICES NOT USED SHALL BE TURNED OVER TO THE OWNER AS SPARE DEVICES AT THE END OF THE PROJECT.

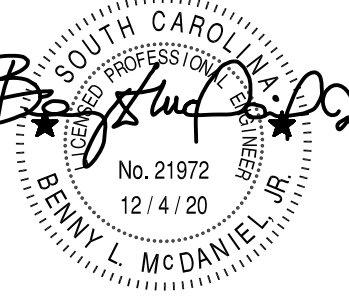
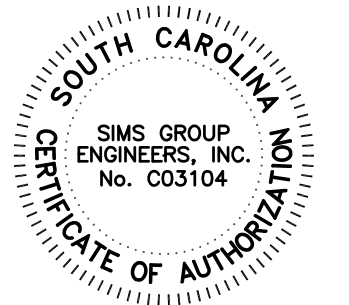
Jumper

Carter

Sease

ARCHITECTS

412 Meeting Street
West Columbia
South Carolina



UPSTATE INFORMATION RESOURCE CENTER
RENOVATIONS
150 GRAMLING DRIVE, SPARTANBURG, SC 29303
STATE PROJECT NO.: H34-9517

Date	Description
No	

DRAWN BY: JMO
CHECKED BY: BLM
COMM NO: 18104
DATE: 12/4/2020

SHEET TITLE:
ELECTRICAL
SYMBOLS AND
NOTES

SHEET NO:

E001

BID SET

c20065

SIMS GROUP ENGINEERS, INC.
800 Columbiana Drive, Suite 208
Irmo, South Carolina 29063
Phone: (803) 765-1007 Fax: (803) 765-1030
www.simgroupusa.com

these drawings are the property of jumper carter sease architects/pa, and may not be reproduced, copied or used in whole or in part without written consent of the architect; any infringement will be subject to legal action

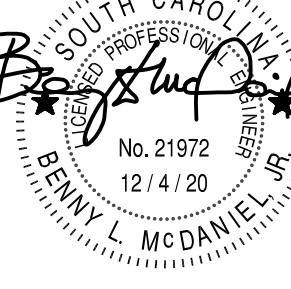
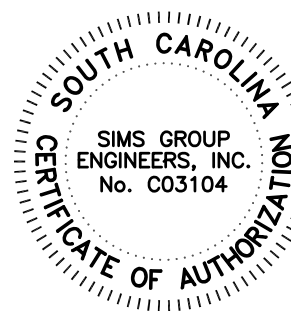
Jumper

Carter

Sease

ARCHITECTS

412 Meeting Street
West Columbia
South Carolina



UPSTATE INFORMATION RESOURCE CENTER
RENOVATIONS
150 GRAMLING DRIVE, SPARTANBURG, SC 29303
STATE PROJECT NO.: H34-9517

No	Description	Date

DRAWN BY: JMO

CHECKED BY: BLM

COMM NO: 18104

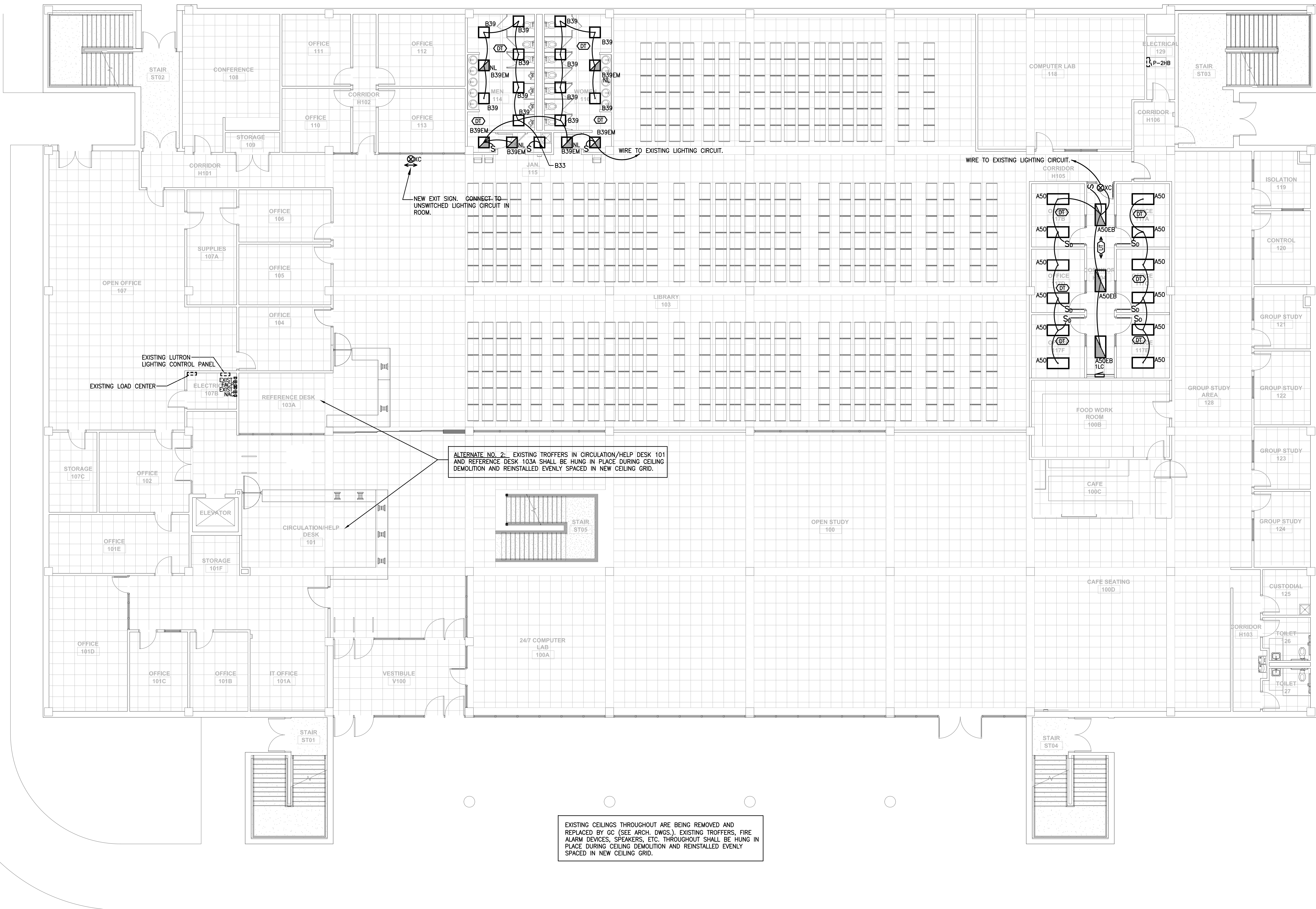
DATE: 12/4/2020

SHEET TITLE:

1ST FLOOR
LIGHTING PLAN

SHEET NO:

E101



1 1ST FLOOR LIGHTING PLAN
SCALE: 1/8"=1'-0"

EXISTING CEILINGS THROUGHOUT ARE BEING REMOVED AND REPLACED BY CC (SEE ARCH. DWGS.). EXISTING TROFFERS, FIRE ALARM DEVICES, SPEAKERS, ETC. THROUGHOUT SHALL BE HUNG IN PLACE DURING CEILING DEMOLITION AND REINSTALLED EVENLY SPACED IN NEW CEILING GRID.

ALTERNATE NO. 2C: EXISTING TROFFERS IN CIRCULATION/HELP DESK 101 AND REFERENCE DESK 103A SHALL BE HUNG IN PLACE DURING CEILING DEMOLITION AND REINSTALLED EVENLY SPACED IN NEW CEILING GRID.

NEW EXIT SIGN. CONNECT TO UNSWITCHED LIGHTING CIRCUIT IN ROOM.

WIRE TO EXISTING LIGHTING CIRCUIT.

WIRE TO EXISTING LIGHTING CIRCUIT.

BID SET

C20065

sims group

SIMS GROUP ENGINEERS, INC.
800 Columbiana Drive, Suite 208
Irmo, South Carolina 29063
Phone: (803) 765-1007 Fax: (803) 765-1030
www.simgroupusa.com



1 2ND FLOOR LIGHTING PLAN
SCALE: 1/8"=1'-0"

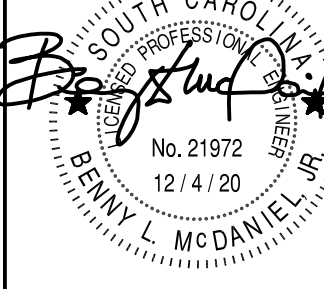
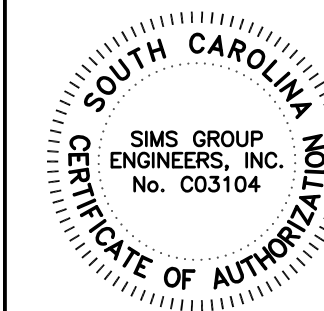
Jumper

Carter

Sease

ARCHITECTS

412 Meeting Street
West Columbia
South Carolina



UPSTATE INFORMATION RESOURCE CENTER
RENOVATIONS
150 GRAMLING DRIVE, SPARTANBURG, SC 29303
STATE PROJECT NO.: H34-9517

No	Description	Date

DRAWN BY: JMO

CHECKED BY: BLM

COMM NO: 18104

DATE: 12/4/2020

SHEET TITLE:
2ND FLOOR
LIGHTING PLAN

BID SET

C20065

SIMS GROUP ENGINEERS, INC.

800 Columbiana Drive, Suite 208

Irmo, South Carolina 29063

Phone: (803) 765-1007 Fax: (803) 765-1030

www.simsgruppusa.com

SHEET NO:

E102

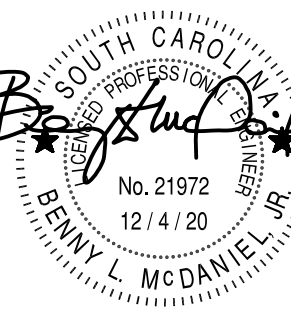
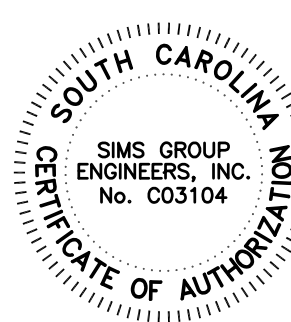
Jumper

Carter

Sease

ARCHITECTS

412 Meeting Street
West Columbia
South Carolina



UPSTATE INFORMATION RESOURCE CENTER
RENOVATIONS
150 GRAMLING DRIVE, SPARTANBURG, SC 29303
STATE PROJECT NO.: H34-9517

No	Description	Date

DRAWN BY: JMO

CHECKED BY: BLM

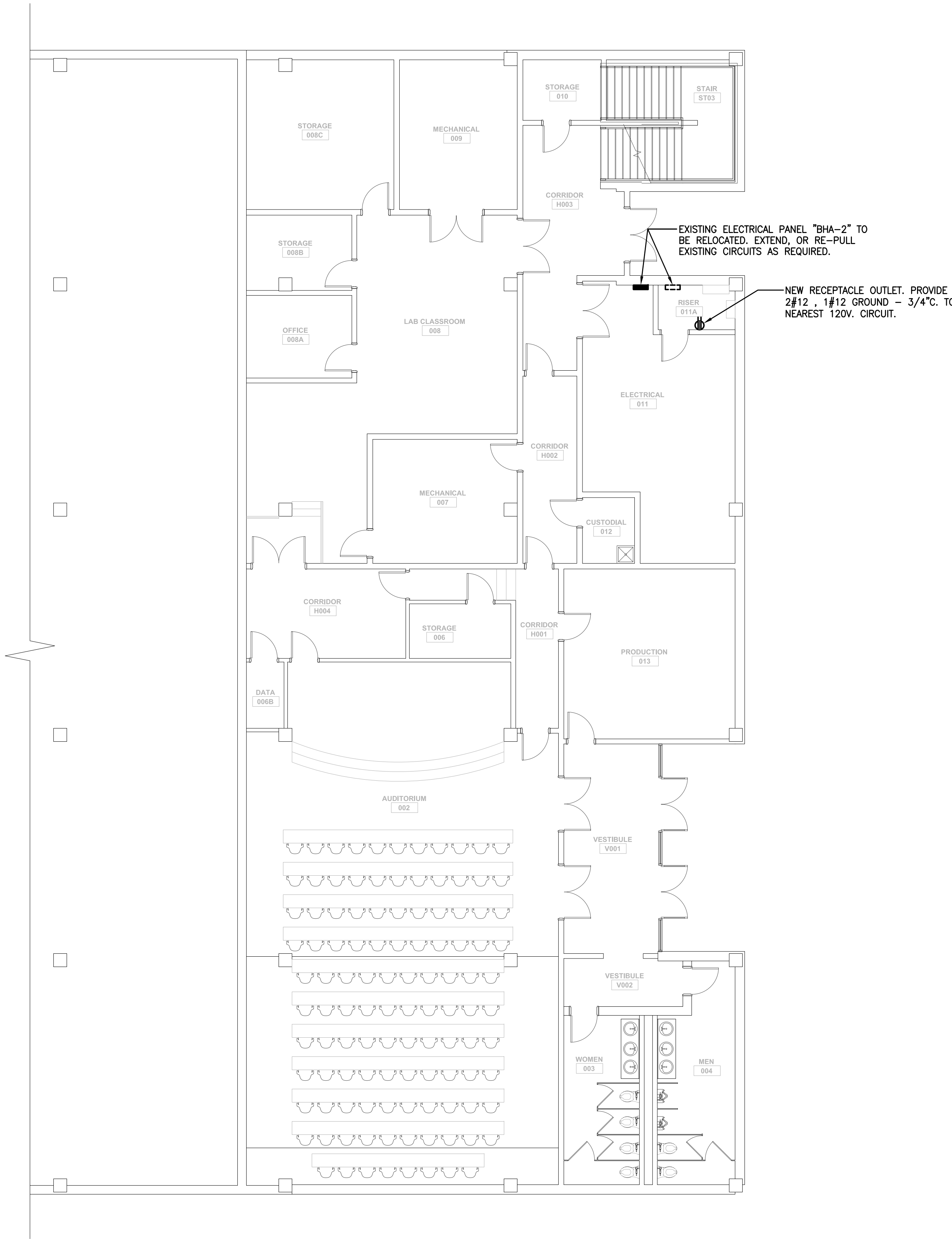
COMM NO: 18104

DATE: 12/4/2020

SHEET TITLE:
BASEMENT
POWER PLAN

SHEET NO:

E201



1 BASEMENT POWER PLAN
SCALE: 1/8"=1'-0"

BID SETC20065

SIMS GROUP ENGINEERS, INC.

800 Columbiana Drive, Suite 208

Irmo, South Carolina 29063

Phone: (803) 765-1007 Fax: (803) 765-1030

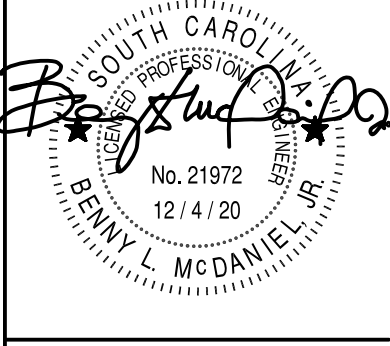
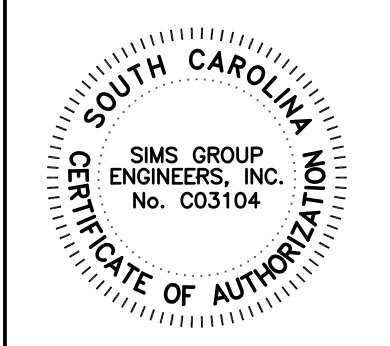
www.simsgruppusa.com



1 2ND FLOOR POWER PLAN
SCALE: 1/8"=1'-0"

Jumper
Carter
Sease

ARCHITECTS
412 Meeting Street
West Columbia
South Carolina



UPSTATE INFORMATION RESOURCE CENTER
RENOVATIONS
150 GRAMLING DRIVE, SPARTANBURG, SC 29303
STATE PROJECT NO.: H34-9517

No	Description	Date

DRAWN BY: JMO
CHECKED BY: BLM
COMM NO: 18104
DATE: 12/4/2020
SHEET TITLE: 2ND FLOOR POWER PLAN

BID SET

C20065

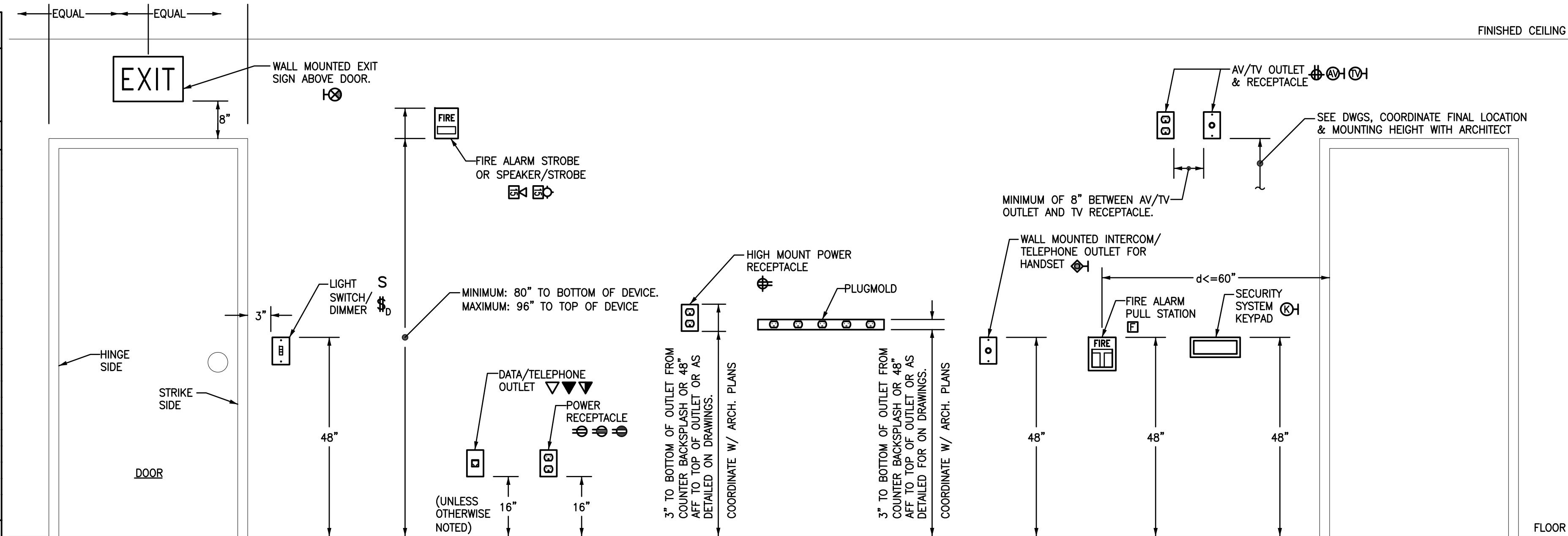
SIMS GROUP ENGINEERS, INC.
800 Columbiana Drive, Suite 208
Irmo, South Carolina 29063
Phone: (803) 765-1007 Fax: (803) 765-1030
www.simsgruppusa.com

SHEET NO:

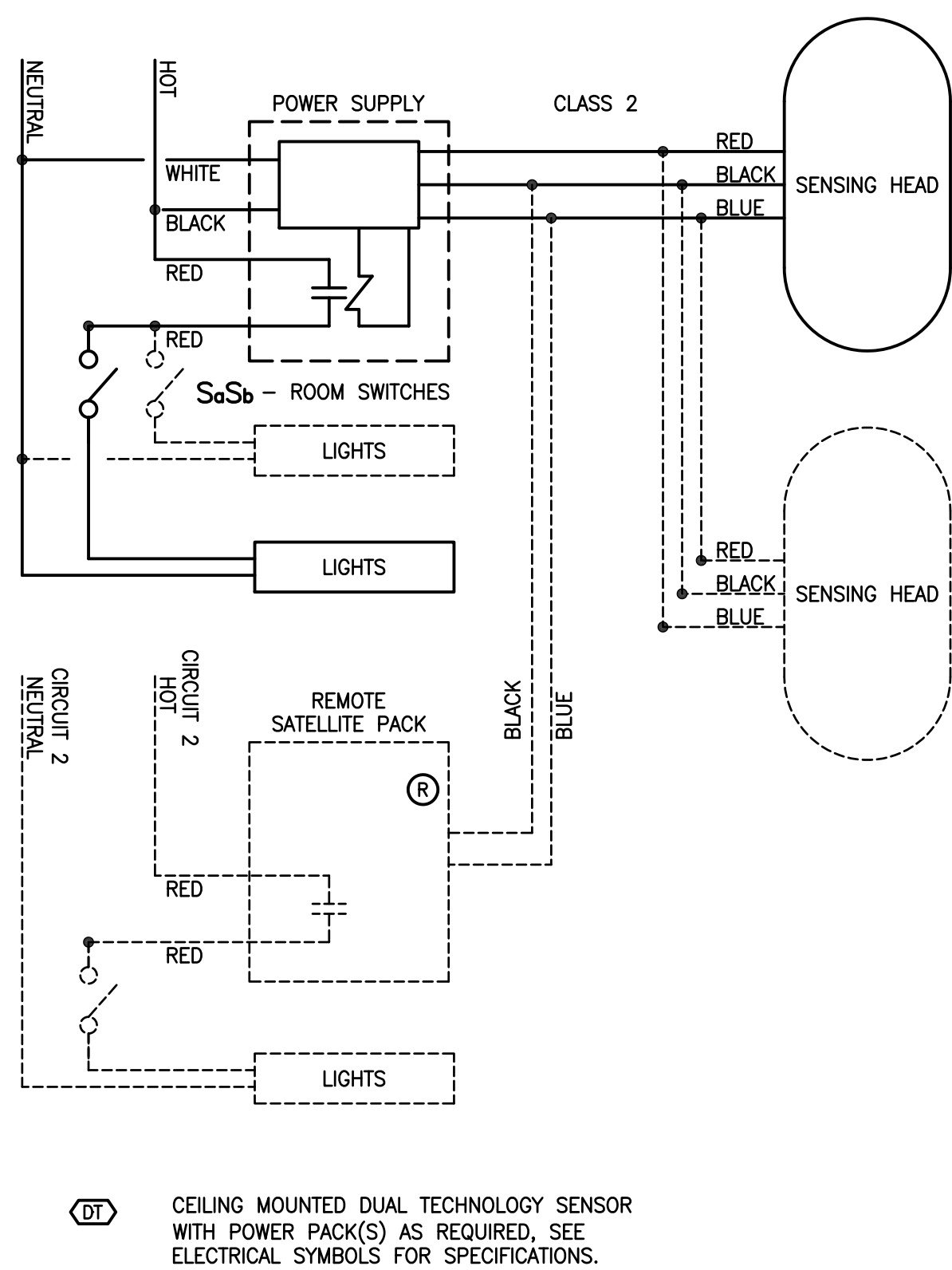
E203

1LC									
ROOM MOUNTING FLUSH FED FROM P-2HB		VOLTS 208Y/120V 3P 4W		BUS AMPS 60		AIC 22,000		MAIN BKR 60	
NOTE		NEUTRAL 100%				LUGS STANDARD			
CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION	CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION		
1	20/1	0.72	RECEPTACLE	a 2	20/1	0.00	SPACE		
3	20/1	0.72	RECEPTACLE	b 4	20/1	0.00	SPACE		
5	20/1	0.72	RECEPTACLE	c 6	20/1	0.00	SPACE		
7	20/1	0.72	RECEPTACLE	a 8	20/1	0.00	SPACE		
9	20/1	0.90	RECEPTACLE	b 10	20/1	0.00	SPACE		
11	20/1	0.72	RECEPTACLE	c 12	20/1	0.00	SPACE		
13	20/1	0.90	RECEPTACLE	a 14	20/1	0.00	SPACE		
15	20/1	0.00	SPACE	b 16	20/1	0.00	SPACE		
17	20/1	0.00	SPACE	c 18	20/1	0.00	SPACE		
19	20/1	0.00	SPACE	a 20	20/1	0.00	SPACE		
21	20/1	0.00	SPACE	b 22	20/1	0.00	SPACE		
23	20/1	0.00	SPACE	c 24	20/1	0.00	SPACE		
		CONN KVA	CALC KVA			CONN KVA	CALC KVA		
RECEPTABLES		5.40	5.40			5.40	5.40		
		(50%>10)							
		TOTAL LOAD				TOTAL LOAD			
		BALANCED 3-PHASE LOAD				BALANCED 3-PHASE LOAD			
		PHASE A				PHASE A			
		14.99 A				14.99 A			
		130%				130%			
		90%				90%			
		80%				80%			

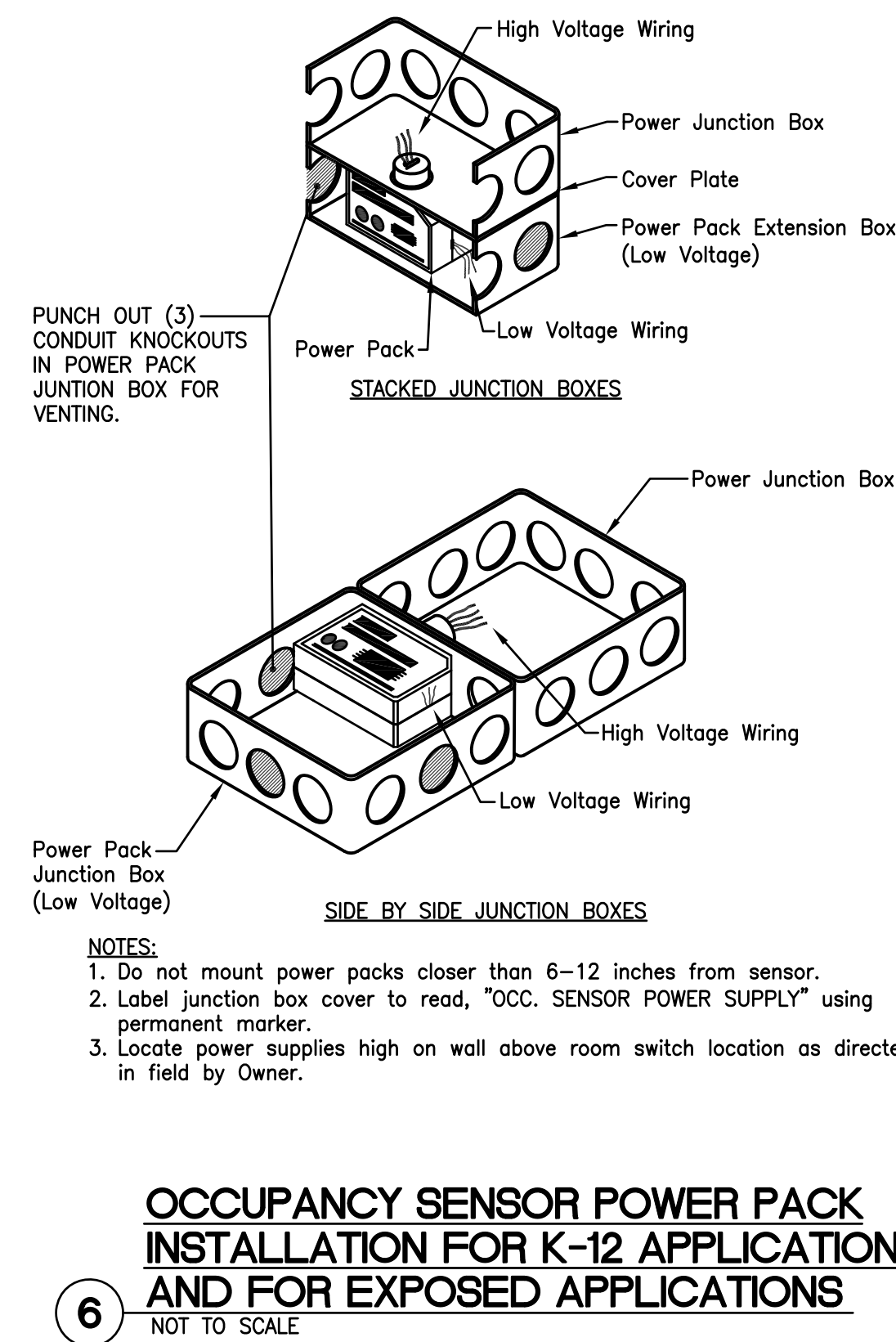
2LC									
ROOM MOUNTING SURFACE FED FROM T-2LC		VOLTS 208Y/120V 3P 4W		BUS AMPS 100		AIC 22,000		MAIN BKR 100	
NOTE		NEUTRAL 100%				LUGS STANDARD			
CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION	CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION		
1	20/1	0.54	RECEPTACLE	a 2	20/1	0.00	SPACE		
3	20/1	0.36	RECEPTACLE	b 4	20/1	0.00	SPACE		
5	20/1	0.72	RECEPTACLE	c 6	20/1	0.00	SPACE		
7	20/1	0.72	RECEPTACLE	a 8	20/1	0.00	SPACE		
9	20/1	0.54	RECEPTACLE	b 10	20/1	0.00	SPACE		
11	20/1	0.00	SPACE	c 12	20/1	0.00	SPACE		
13	20/1	0.00	SPACE	a 14	20/1	0.00	SPACE		
15	20/1	0.00	SPACE	b 16	20/1	0.00	SPACE		
17	20/1	0.00	SPACE	c 18	20/1	0.00	SPACE		
19	20/1	0.00	SPACE	a 20	20/1	0.00	SPACE		
21	20/1	0.00	SPACE	b 22	20/1	0.00	SPACE		
23	20/1	0.00	SPACE	c 24	20/1	0.00	SPACE		
25	20/1	0.00	SPACE	a 26	20/1	0.00	SPACE		
27	20/1	0.00	SPACE	b 28	20/1	0.00	SPACE		
29	20/1	0.00	SPACE	c 30	20/1	0.00	SPACE		
31	20/1	0.00	SPACE	a 32	20/1	0.00	SPACE		
33	20/1	0.00	SPACE	b 34	20/1	0.00	SPACE		
35	20/1	0.00	SPACE	c 36	20/1	0.00	SPACE		
37	20/1	0.00	SPACE	a 38	20/1	0.00	SPACE		
39	20/1	0.00	SPACE	b 40	20/1	0.00	SPACE		
41	20/1	0.00	SPACE	c 42	20/1	0.00	SPACE		
		CONN KVA	CALC KVA			CONN KVA	CALC KVA		
RECEPTABLES		2.88	2.88			2.88	2.88		
		(50%>10)							
		TOTAL LOAD				TOTAL LOAD			
		BALANCED 3-PHASE LOAD				BALANCED 3-PHASE LOAD			
		PHASE A				PHASE A			
		7.99 A				7.99 A			
		131%				131%			
		93.8%				93.8%			
		72%				72%			



9 TYPICAL MOUNTING HEIGHTS FOR WALL MOUNTED DEVICES
NOT TO SCALE

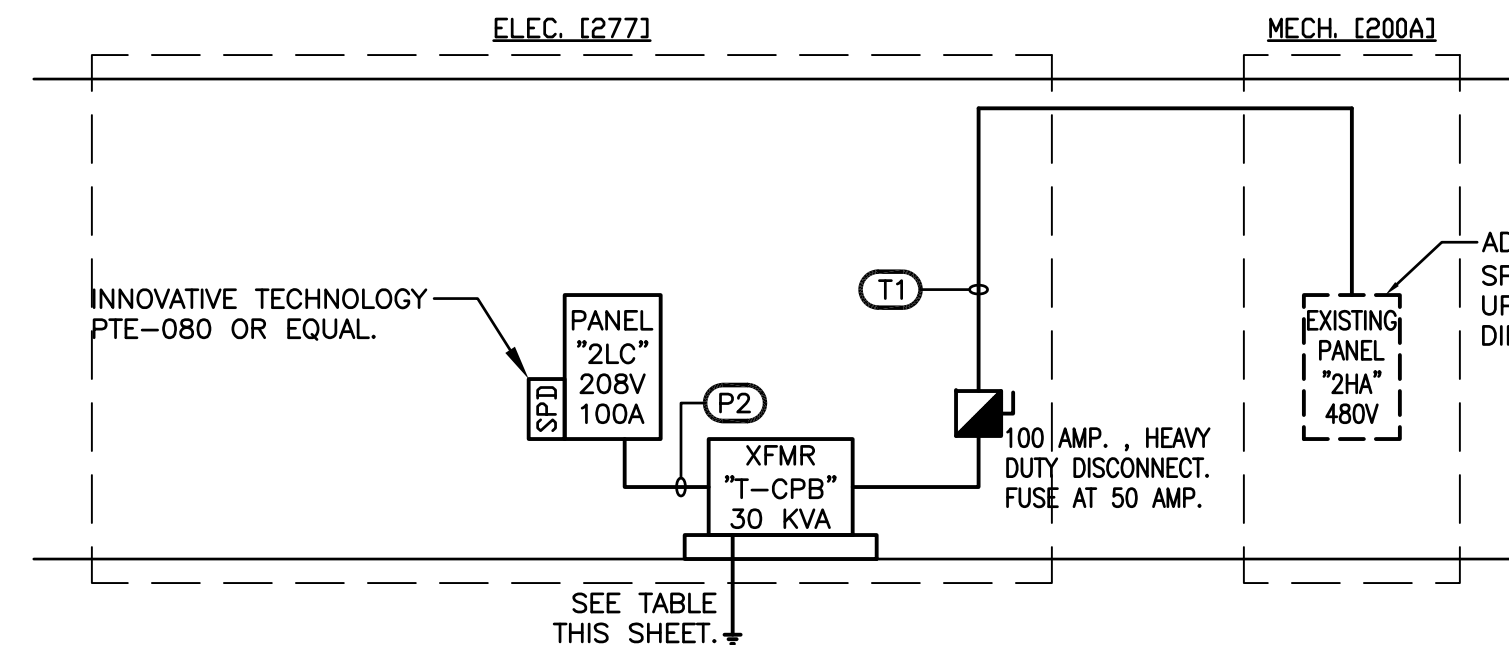


5 LOW VOLTAGE CEILING AND WALL MOUNTED OCCUPANCY SENSOR DETAIL
NOT TO SCALE

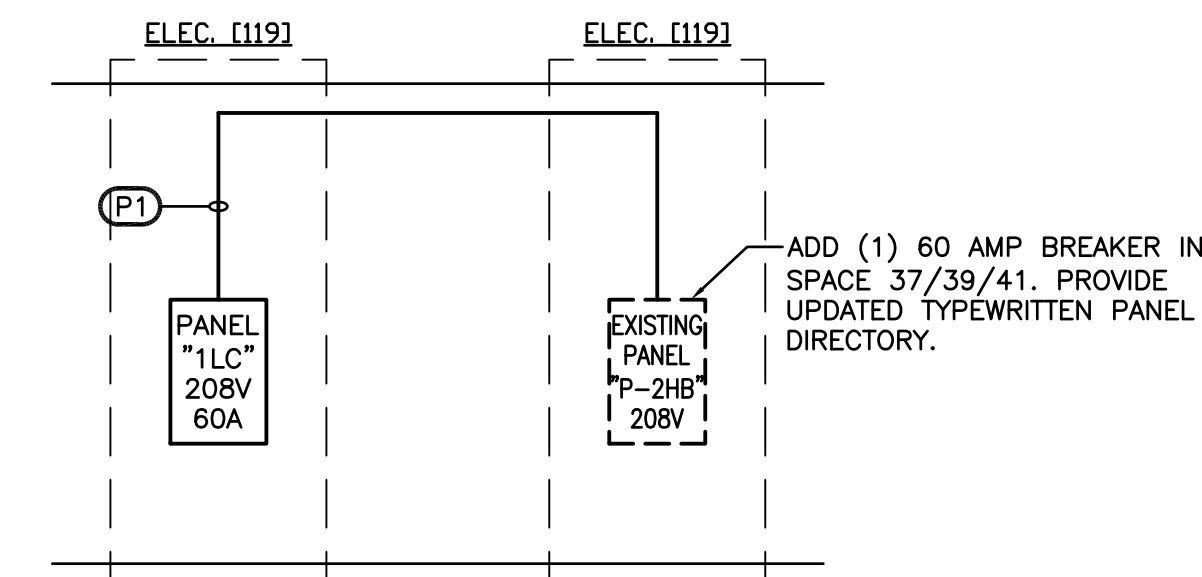


6 OCCUPANCY SENSOR POWER PACK INSTALLATION FOR K-12 APPLICATIONS AND FOR EXPOSED APPLICATIONS
NOT TO SCALE

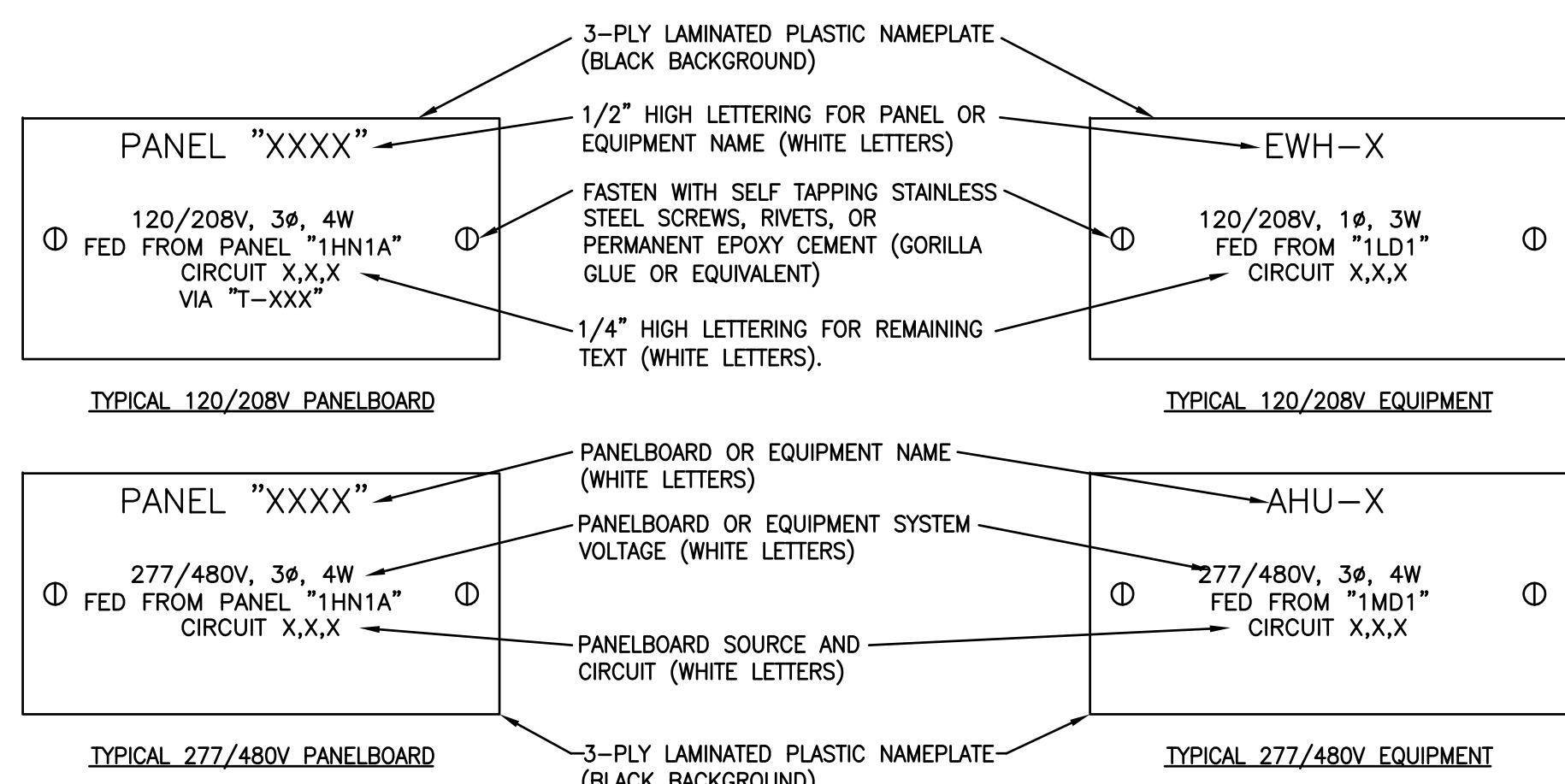
- POWER RISER DIAGRAM / PANEL SCHEDULE NOTES:
- PROVIDE ENGRAVED NAMEPLATES FOR EACH PANELBOARD, SAFETY SWITCH, ENCLOSED CIRCUIT BREAKER, TRANSFORMER, CONTACTOR, AND LIGHTING CONTROL. PANEL AS INDICATED IN THE SPECIFICATIONS. ATTACH TO EQUIPMENT COVER USING METAL SCREWS, RIVETS, OR INDUSTRIAL EPOXY CEMENT. THE MANUFACTURER'S STICKY-BACK ADHESIVE IS NOT ACCEPTABLE. USE WHITE LETTERS ON BLACK FIELD FOR NORMAL POWER ITEMS, USE WHITE LETTERS ON RED FIELD FOR EMERGENCY POWER ITEMS.
 - ALL CIRCUIT BREAKERS SHALL BE FULLY RATED; SERIES RATINGS PROHIBITED. PROVIDE HACR-RATED CIRCUIT BREAKERS FOR ALL HVAC & REFRIGERATION EQUIPMENT.
 - BRANCH MOUNTED MAIN CIRCUIT BREAKERS ARE PROHIBITED.
 - EQUIPMENT CIRCUITS: VERIFY WIRE SIZE AND C/B RATING WITH EQUIPMENT NAMEPLATE DATA. NOTIFY ENGINEER OF ANY DISCREPANCY.
 - BOND TRANSFORMER SECONDARY TO BUILDING STEEL WITH FULL SIZED EQUIPMENT GROUNDING CONDUCTOR PER NEC TABLE 250.66 (TYPICAL). MOUNT TRANSFORMERS 6" OFF OF WALL PER UL AND MFR REQ'TS. SEE SPECS FOR TRANSFORMER DESCRIPTION.
 - COORDINATE SERVICE, PAD, & METERING REQ'TS WITH THE POWER COMPANY AND INSTALL ACCORDINGLY.
 - PANEL NUMBERING AND CIRCUIT BREAKER LAYOUT MUST MATCH SCHEDULES ON DESIGN DOCUMENTS. SUBMITTALS WHERE NUMBERING AND/OR BREAKER LAYOUT IS DIFFERENT WILL BE REJECTED. WHERE CIRCUIT NUMBERING IS NOT PERMANENTLY ENGRAVED, THE MANUFACTURER'S PLASTIC NUMBERING STRIPS SHALL BE USED. PAPER NUMBERS ARE NOT ACCEPTABLE AND MAY NOT BE USED.
 - PANELBOARDS TO INCLUDE HINGED TRIM (DOOR-IN-DOOR).
 - SHOP DRAWING SUBMITTALS: SUBMIT AN ELECTRICAL ROOM LAYOUT DRAWING FOR EACH ELECTRICAL ROOM REFLECTING DIMENSIONS OF ACTUAL EQUIPMENT PROVIDED. PROVIDE CLEARANCES PER TABLE 110.26(A)(1) OF THE NEC.
 - BREAKER COORDINATION: MANUFACTURER SHALL PROVIDE COORDINATION BETWEEN FEEDER BREAKERS AND UPSTREAM DEVICES. THESE COORDINATION SETTINGS SHALL BE MADE IN THE FIELD BY A MANUFACTURER'S FIELD TECHNICIAN AND DOCUMENTED. A LETTER CONFIRMING THE SETTING AND PROVIDING THE SETTING INFORMATION SHALL BE PROVIDED PRIOR TO ENERGIZATION OF THE SWITCHBOARD.
 - ARC-FLASH HAZARD WARNING LABELS: PROVIDE WARNING LABELS FOR ALL PANELS, SWITCHBOARDS, SWITCHGEAR, AND INDUSTRIAL CONTROL PANELS PER THE REQUIREMENTS OF NEC 110.16. LABELS TO READ, "DANGER ARC FLASH & SHOCK HAZARD - APPROPRIATE PERSONAL PROTECTION EQUIPMENT REQUIRED."



8 PARTIAL SECOND FLOOR POWER RISER DIAGRAM
NOT TO SCALE

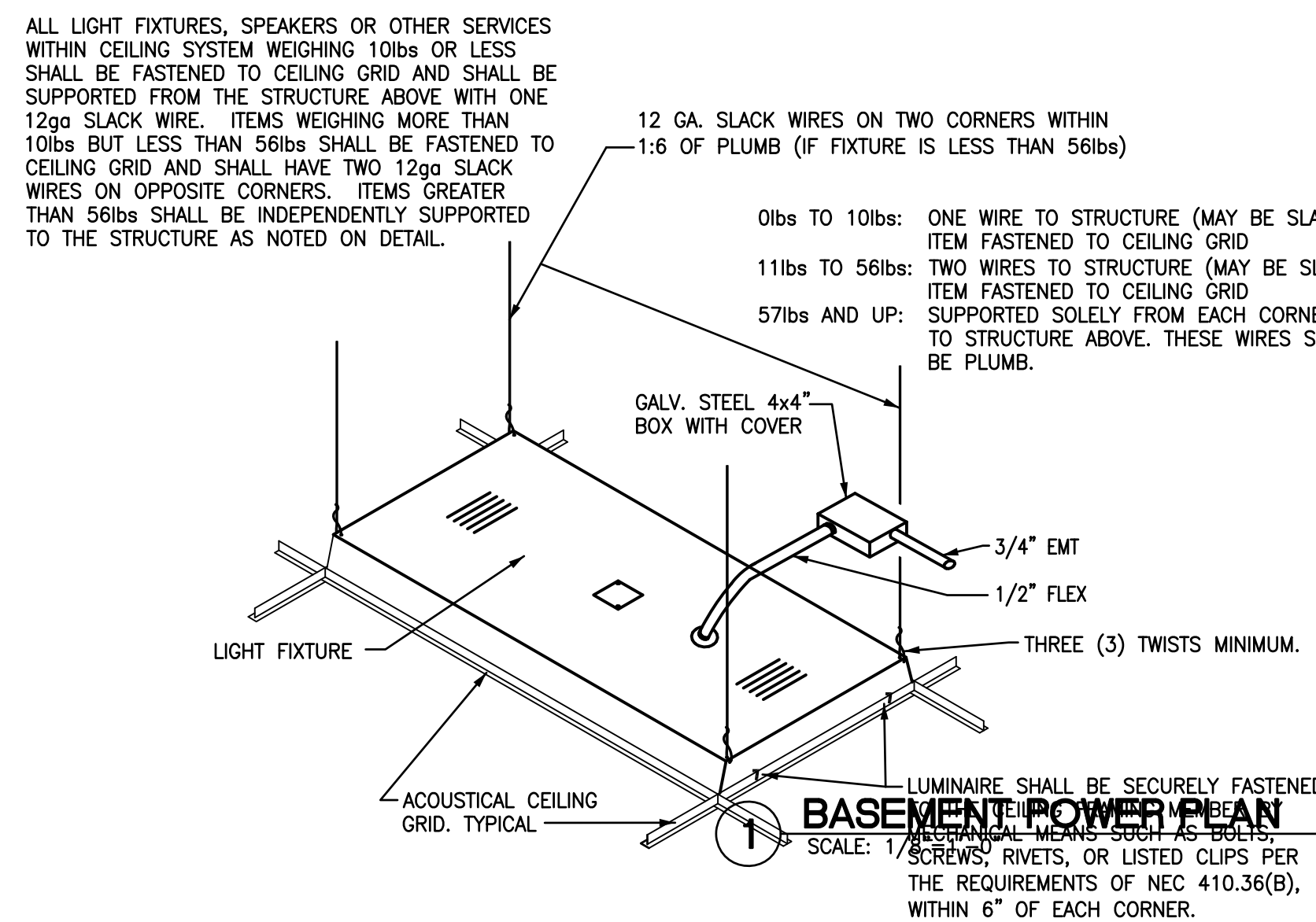


7 PARTIAL FIRST FLOOR POWER RISER DIAGRAM
NOT TO SCALE

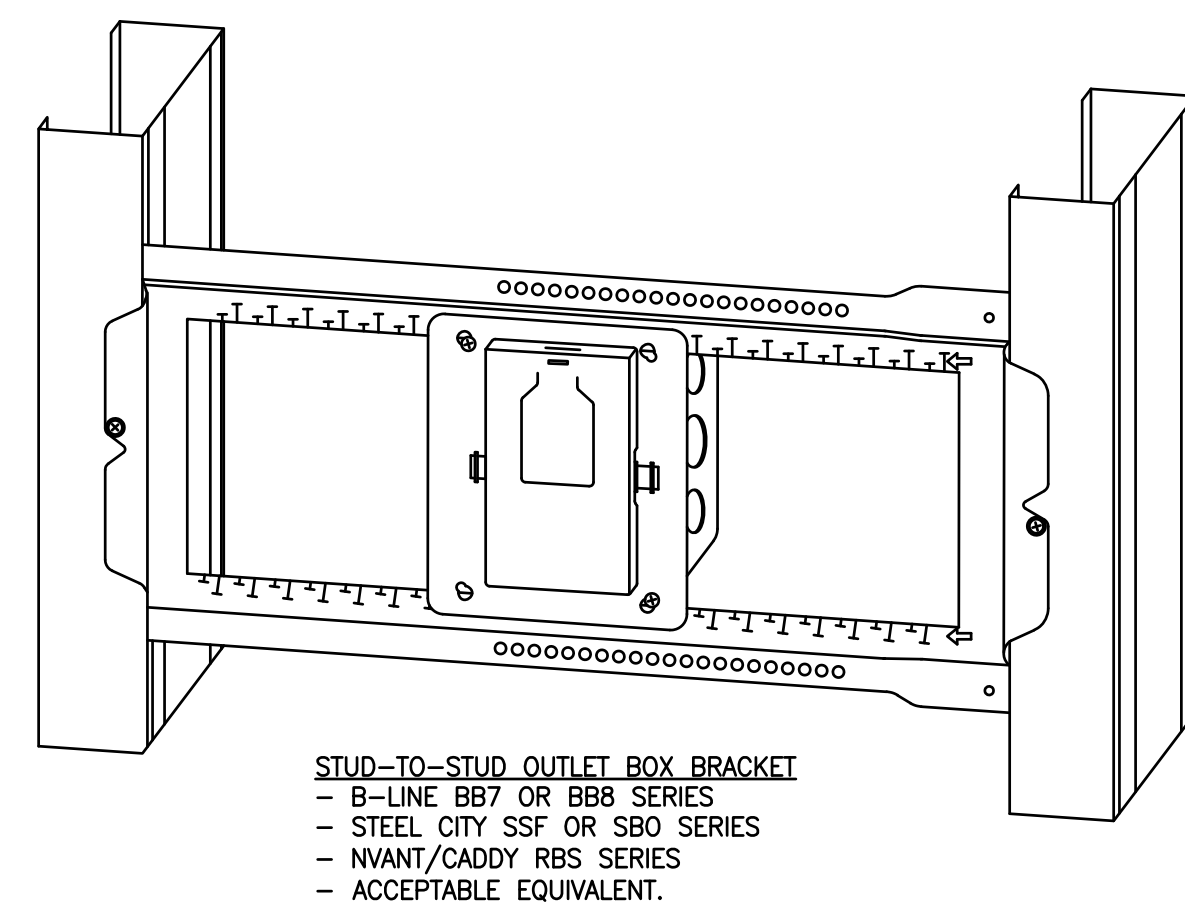


1 PANELBOARD NAMEPLATES
NOT TO SCALE -- BLACK BACKGROUND, WHITE LETTERS

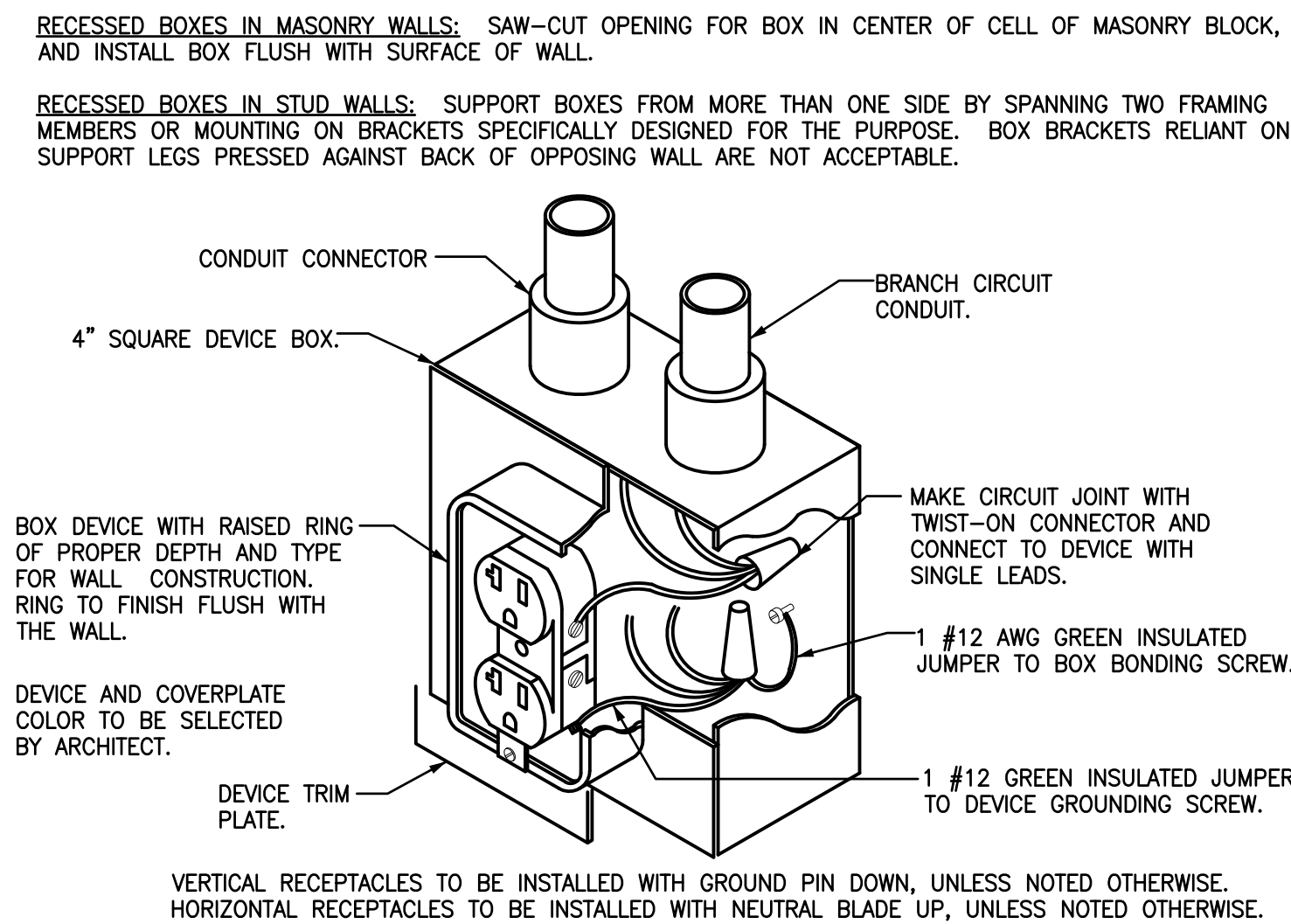
2 EQUIPMENT NAMEPLATES
NOT TO SCALE -- BLACK BACKGROUND, WHITE LETTERS



3 TYPICAL LIGHT FIXTURE SUPPORT
NOT TO SCALE



4 TYPICAL DUPLEX RECEPTACLE INSTALLATION
NOT TO SCALE



Date	Description
No	

DRAWN BY:	JMO
CHECKED BY:	BLM
COMM NO:	18104
DATE:	12/4/2020