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INTERIOR RENOVATIONS FOR

UofSC AIKEN

ART, HUMANITIES AND SOCIAL SCIENCES BUILDING

BUILDING CODE SUMMARY

NOTE TO AUTHORITY HAVING JURISDICTION - THIS IS AN INTERIOR RENOVATION OF THE MAIN CORRIDORS FOR FINISHES ONLY; INTERIOR RENOVATION OF 2 GANG TOILETS, FINISHES AND FIXTURES.

PROJECT INFORMATION

NAME OF PROJECT:	INTERIOR RENOVATIONS FOR ARTS, HUMANITIES, SOCIAL SCIENCES BUILDING
ADDRESS:	AIKEN, SOUTH CAROLINA
PROPOSED USE:	EXISTING EDUCATION BUILDING
OWNER OR AUTHORIZED AGENT:	BRIAN ENTER
OWNED BY:	UNIVERSITY OF SOUTH CAROLINA AIKEN
CODE ENFORCEMENT JURISDICTION:	OFFICE OF THE STATE ENGINEER

PROJECT DESIGN TEAM

DESIGNER	FIRM	CONTACT	PHONE #
ARCHITECTURAL:	STUDIO 2LR, INC.		(803) 233-6602
CIVIL:	--	--	(--)
STRUCTURAL:	--	--	(--)
PLUMBING:	SWYGERT AND ASSOCIATES, LTD.	TODD SWYGERT	(803) 791-9300
FIRE PROTECTION:	--	--	(--)
MECHANICAL:	SWYGERT AND ASSOCIATES, LTD.	BILL LIVINGSTON	(803) 791-9300
SPRINKLER-STANDPIPE:	--	--	(--)
ELECTRICAL:	GWA ENGINEERING	DICKSON O'BRIEN	(803) 252-6919
OTHER:	--	--	(--)

CODE COMPLIANCE

INTERNATIONAL BUILDING CODE:	2018 EDITION WITH SC MODIFICATIONS
INTERNATIONAL PLUMBING CODE:	2018 EDITION
INTERNATIONAL MECHANICAL CODE:	2018 EDITION
INTERNATIONAL FIRE CODE:	2018 EDITION WITH SC MODIFICATIONS
NATIONAL ELECTRIC CODE:	2017 EDITION
INTERNATIONAL ENERGY CONSERVATION CODE	2009 EDITION
ICC/ANSI - 117.1:	2017 EDITION
ADA STANDARDS FOR ACCESSIBLE DESIGN	2010 EDITION

BUILDING DATA

CONSTRUCTION TYPE (TABLE 503):	IIB
SPRINKLERS:	NO
STANDPIPES:	NO
FIRE DISTRICT:	N/A
BUILDING HEIGHT:	EXIST. 40 FEET
MEZZANINE:	NO
HIGH RISE:	NO
GROSS BUILDING AREA:	
FLOOR	EXISTING (SQ. FT.)
1ST FLOOR	18,430
2ND FLOOR	21,996

EXIT REQUIREMENTS

NUMBER AND ARRANGEMENTS OF EXITS
EXISTING EXITS TO REMAIN

EXIT WIDTH
EXISTING EXIT WIDTH TO REMAIN

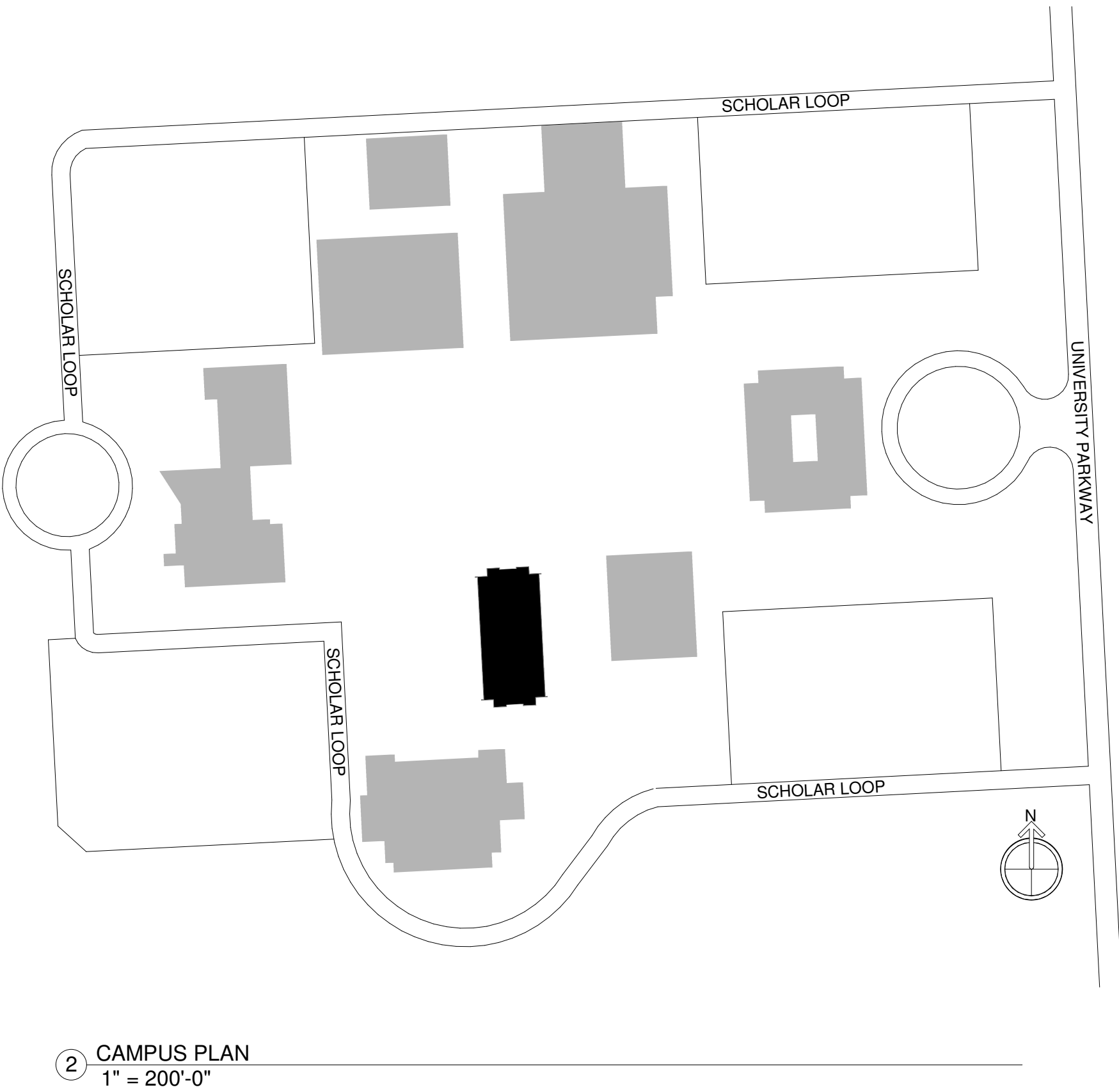
FIRE RATINGS
EXISTING CORRIDORS ARE 1 HOUR FIRE RATED WITH
20 MINUTE RATED DOORS.

PLUMBING FIXTURE REQUIREMENTS
EXISTING PLUMBING FIXTURE COUNTS TO REMAIN,
REPLACEMENT OF EXISTING FIXTURES AND FINISHES.

ABBREVIATIONS

#	POUND OR NUMBER	GA.	Gauge
&	AND	GALV.	GALVANIZED
@	AT	GYP.	GYP. BRD.
A.C.T.	ACOUSTICAL CEILING TILE	H.	HIGH
A.F.F.	ABOVE FINISHED FLOOR	H.M.	HOLLOW METAL
ALUM.	ALUMINUM	HVAC	HEATING, VENTILATION, AND AIR CONDITIONING
ANOD.	ANODIZED	INSUL.	INSULATION
APPROX.	APPROXIMATE	MAX.	MAXIMUM
B.O.	BOTTOM OF	M.O.	MASONRY OPENING
C.I.P.	CAST IN PLACE	MECH.	MECHANICAL
C.J.	CONTROL JOINT	MIN.	MINIMUM
CLG.	CEILING	MTL.	METAL
CLR.	CLEAR	N.I.C.	NOT IN CONTRACT
CMU	CONCRETE MASONRY UNIT	NO.	NUMBER
COL.	COLUMN	NOM.	NOMINAL
CONC.	CONCRETE	O.C.	ON CENTER
CONT.	CONTINUOUS	O.H.	OVERHEAD
CPT.	CARPET	O.P.C.I.	OWNER PROVIDED CONTRATOR INSTALLED
C.T.	CERAMIC TILE	OPP. HAND	OPPOSITE HAND
DEMO	DEMOLISH	PLYWD.	PLYWOOD
DIA.	DIAMETER	P.T.	PRESSURE TREATED
DIM.	DIMENSION	PVC	POLYVINYL CHLORIDE
DIMS.	DIMENSIONS	R.C.P.	REFLECTED CEILING PLAN
DN.	DOWN	R.D.	ROOF DRAIN
DR.	DOOR	REQD.	REQUIRED
DWG.	DRAWING	RM.	ROOM
EA.	EACH	SIM.	SIMILAR
ELEC.	ELECTRICAL	SS	STAINLESS STEEL
ELEV.	ELEVATION OR ELEVATOR	STL	STEEL
EPDM	ETHYLENE PROPYLENE DIENE M-CLASS (ROOFING)	STRUCT.	STRUCTURAL
EQ.	EQUAL	T	TEMPERED
EXIST.	EXISTING	T&G	TONGUE AND GROOVE
EXP. JT.	EXPANSION JOINT	TELE.	TELEPHONE
EXT.	EXTERIOR	TLT.	TOILET
E.W.C.	ELECTRIC WATER COOLER	T.O.	TOP OF
F.D.	FLOOR DRAIN	T.O.S.	TOP OF STEEL
F.E.	FIRE EXTINGUISHER	TYP.	TYPICAL
F.E.C.	FIRE EXTINGUISHER CABINET	U.O.N.	UNLESS OTHERWISE NOTED
FLR.	FLOOR	V.I.F.	VERIFY IN FIELD
F.O.	FACE OF	W.	WIDTH
		WD.	WOOD

DRAWING LIST			
SHEET NO.	SHEET NAME	CURRENT REVISION	CURRENT REVISION DATE
GENERAL			
CVR	COVER SHEET		
ARCHITECTURAL DEMOLITION			
AD101	DEMOLITION PLANS		
AD102	DEMOLITION PLANS		
AD103	ENLARGED DEMOLITION PLANS		
ARCHITECTURE			
A101	FLOOR PLAN - FIRST		
A102	FLOOR PLAN - SECOND		
A110	REFLECTED CEILING PLAN - FIRST		
A111	REFLECTED CEILING PLAN - SECOND		
A401	ENLARGED PLANS TOILET 211 and 213		
A700	FINISH SPECIFICATIONS		
A701	1ST FLR FINISH SCHEDULE AND PLAN		
A702	2ND FLR FINISH SCHEDULE AND PLAN		
PLUMBING			
P101	FLOOR PLANS		
P201	DETAILS, NOTES, SCHEDULE, & LEGEND		
MECHANICAL			
M101	FLOOR PLANS, NOTES, AND DETAILS		
ELECTRICAL DEMOLITION			
ED01	FIRST FLOOR ELECTRICAL DEMOLITION PLANS - BASE BID		
ED02A	SECOND FLOOR ELECTRICAL DEMOLITION PLANS - ALTERNATE #1		
ELECTRICAL			
E001	ELECTRICAL NOTES, SCHEDULES, AND DETAILS - 1		
E002	ELECTRICAL NOTES, SCHEDULES, AND DETAILS - 2		
E100	FIRST FLOOR ELECTRICAL PLANS - NEW WORK - BASE BID		
E200	SECOND FLOOR ELECTRICAL PLAN - NEW WORK - BASE BID		
E200A	SECOND FLOOR ELECTRICAL PLAN - NEW WORK - ALTERNATE #1		



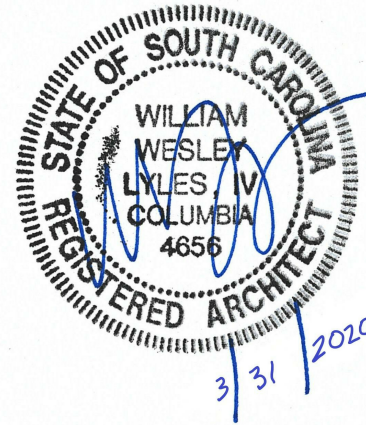
DRAWING CONVENTIONS

IDENTITY SYMBOLS	REFERENCE SYMBOLS	LINE SYMBOLS

STUDIO 2LR

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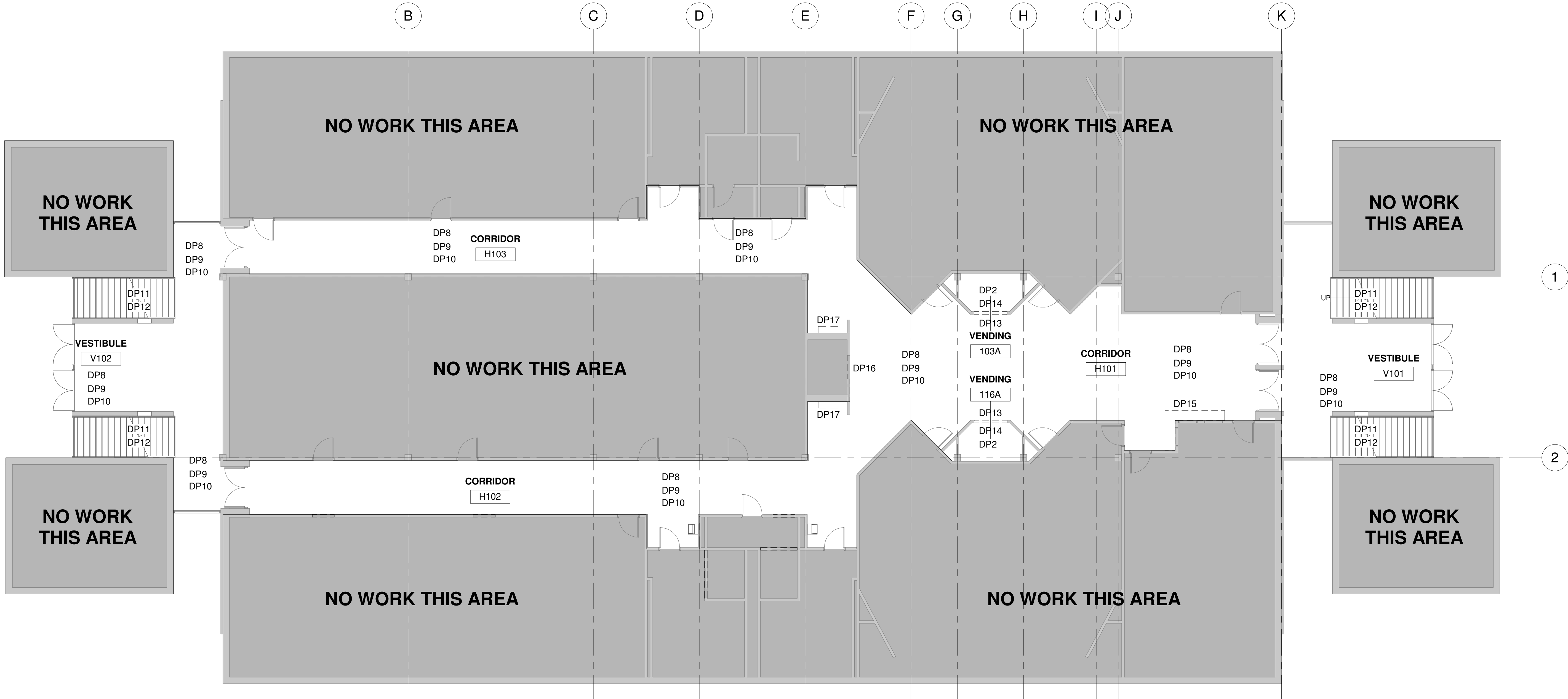


CLIENT NAME UNIVERSITY OF SOUTH CAROLINA AIKEN	PROJECT NAME ARTS, HUMANITIES & SOCIAL SCIENCES BLDG RENO	LOCATION AIKEN, SOUTH CAROLINA
REVISIONS		
NO.	DATE	DESCRIPTION
PROJECT NUMBER 19063		
SHEET NUMBER CVR		
SHEET NAME COVER SHEET		
DATE 3/31/2020		

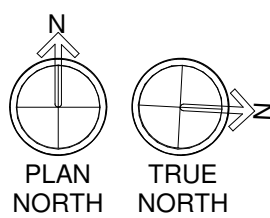
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1
2
3



1 FIRST FLOOR DEMOLITION
1/8" = 1'-0"



EXISTING ACOUSTICAL CEILING GRID AND TILES
TO REMAIN IN CORRIDORS.

GENERAL DEMOLITION NOTES

- EXISTING CONDITIONS AND DEMOLITION NOTES BASED ON EXISTING DRAWINGS BUT NOT ON AS BUILTS. GENERAL CONTRACTOR TO FIELD VERIFY CONDITIONS PRIOR TO START OF CONSTRUCTION. IF GENERAL CONTRACTOR DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, NOTIFY OWNER OR ARCHITECT IMMEDIATELY.
- GENERAL CONTRACTOR TO PROTECT ALL ADJACENT SURFACES TO REMAIN FROM DAMAGE DURING DEMOLITION. GENERAL CONTRACTOR TO REPAIR/REPLACE ANY ADJACENT SURFACES DAMAGED DURING CONSTRUCTION TO MATCH ORIGINAL CONDITIONS.

SELECTIVE DEMOLITION

- DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS.
- PROCEED WITH SELECTIVE DEMOLITION SYSTEMATICALLY, FROM HIGHER TO LOWER LEVEL.
- DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN, REMOVE DEMOLISHED MATERIALS FROM SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.
- DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. MAINTAIN PORTABLE FIRE SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.
- MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES.
- REMOVE DECAYED, VERMIN-INFESTED, OR OTHERWISE DANGEROUS OR UNSUITABLE MATERIALS AND PROMPTLY DISPOSE OF OFF-SITE.
- LOCATE SELECTIVE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS OR FRAMING.
- ALL SURFACES TO BE DEMOLISHED AND PREPPED FOR NEW. TO BE PREPPED ACCORDING TO NEW FINISHES MANUFACTURERS WRITTEN INSTRUCTIONS.

UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS

- EXISTING SERVICES/SYSTEMS: MAINTAIN EXISTING SERVICES AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS.
- SERVICE/SYSTEM REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVICING AREAS TO BE SELECTIVELY DEMOLISHED.

MASONRY

- DEMOLISH IN SMALL SECTIONS. CUT MASONRY AT JUNCTURES WITH CONSTRUCTION TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE MASONRY BETWEEN SAW CUTS.

CLEANING

- CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN.

TEMPORARY SHORING

- PROVIDE AND MAINTAIN SHORING, BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION.

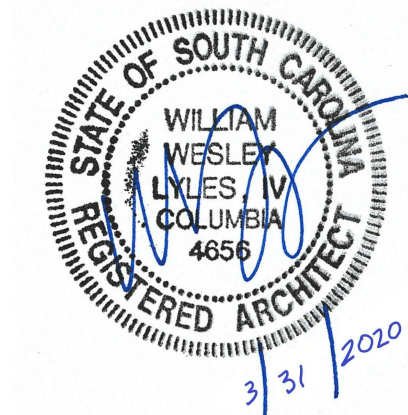
DEMOLITION PLAN NOTES

- REMOVE EXISTING CERAMIC FLOOR TILE COMPLETE. PREPARE SUBFLOOR FOR CERAMIC FLOOR TILE.
- REMOVE EXISTING CEILING SYSTEM COMPLETE INCLUDING ACOUSTICAL CEILING TILE, GRID, GRILLS, AND LIGHTS.
- REMOVE EXISTING CERAMIC BASE COMPLETE. PREPARE WALL FOR FINISHES.
- REMOVE EXISTING TOILET ACCESSORIES. DELIVER TO OWNER.
- REMOVE EXISTING TOILET PARTITIONS COMPLETE. PATCH AND REPAIR WALLS FOR TOILET PARTITIONS.
- REMOVE EXISTING SINKS AND VANITIES COMPLETE. PATCH AND REPAIR WALLS FOR SINKS AND VANITIES.
- REMOVE EXISTING TOILETS AND URINALS COMPLETE.
- REMOVE EXISTING VINYL TILE COMPLETE. PATCH, REPAIR AND PREPARE SUBFLOOR FOR VINYL TILE.
- REMOVE EXISTING RUBBER BASE COMPLETE. PATCH, REPAIR AND PREPARE WALL FOR RUBBER BASE.
- PREPARE EXISTING GYPSUM BOARD WALLS FOR PAINT.
- REMOVE EXISTING VINYL STAIR TREADS COMPLETE AT STAIR. PATCH, REPAIR AND PREPARE STAIR SUBSTRATE FOR VINYL STAIR TREADS.
- PREPARE EXISTING STAIR HANDRAIL, PICKETS, RISERS, STRINGER. CLEAN, SCRAPE, REPAIR AND PREPARE FOR PAINT.
- REMOVE EXISTING DOOR, TRANSOM, AND FRAME COMPLETE. EXPAND OPENING TO 5'-0" W X 8'-0" H AND PREPARE FOR NEW FRAME. PATCH AND REPAIR WITH NEW SHEET ROCK FLUSH WITH ADJACENT SURFACES.
- REMOVE EXISTING ELEVATED FLOOR COMPLETE. PATCH, REPAIR, AND PREPARE SUBFLOOR FOR VINYL TILE.
- REMOVE EXISTING COUNTER AND BRACKETS. PATCH, REPAIR, AND PREPARE WALLS FOR VINYL WALLCOVERING.
- PREPARE EXISTING ELEVATOR DOORS FOR PAINT.
- REMOVE EXISTING WALL, SCONCE AND DELIVER TO OWNER.
- REMOVE EXISTING DOOR AND FRAME COMPLETE.
- EXISTING DOOR AND FRAME TO REMAIN. PROTECT DURING CONSTRUCTION.

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CLIENT NAME
UNIVERSITY OF SOUTH CAROLINA AIKEN

PROJECT NAME
ARTS, HUMANITIES & SOCIAL
SCIENCES BLDG RENO

LOCATION
AIKEN, SOUTH CAROLINA

REVISIONS

NO.	DATE	DESCRIPTION
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PROJECT NUMBER 19063

SHEET NUMBER

AD101

SHEET NAME

DEMOLITION PLANS

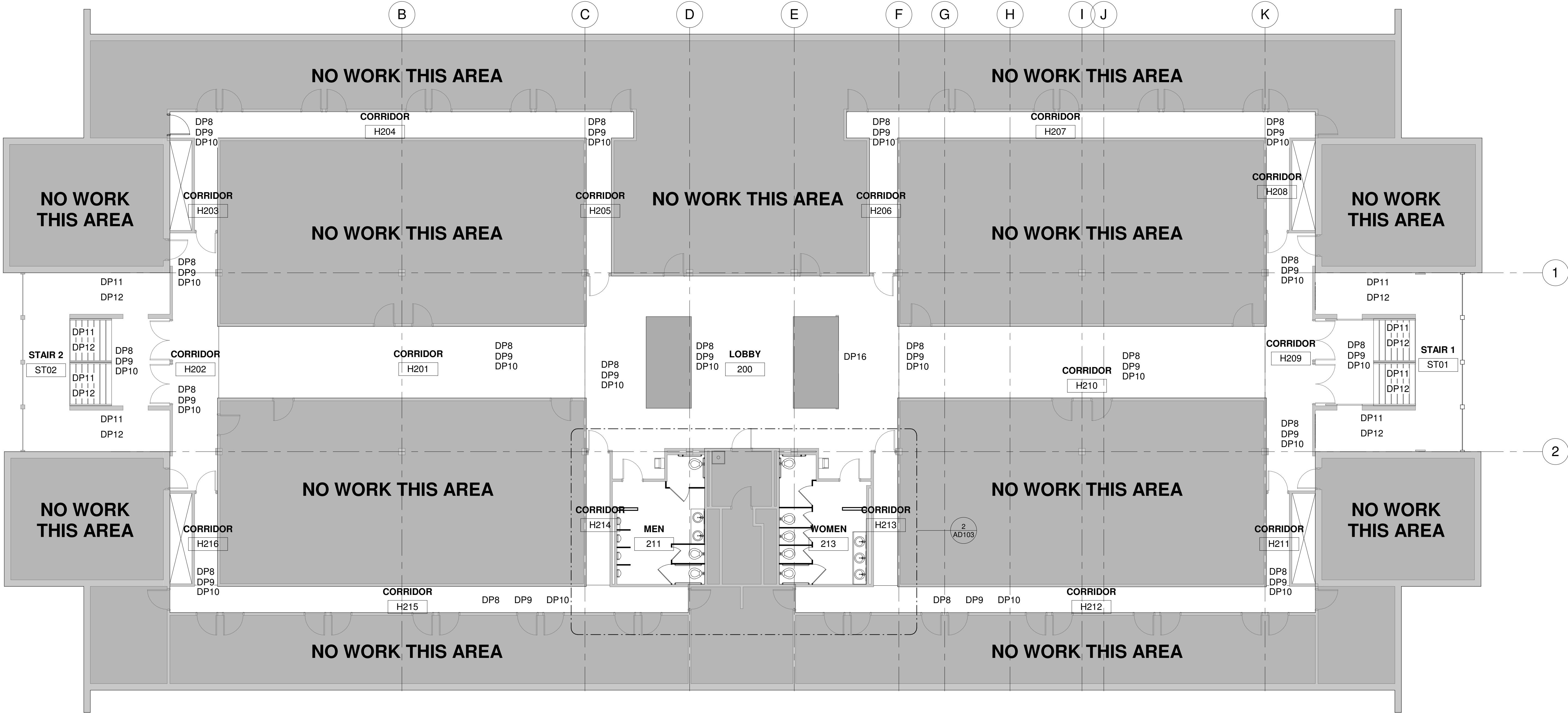
DATE 3/31/2020

ISSUED FOR BIDDING, MARCH 31, 2020

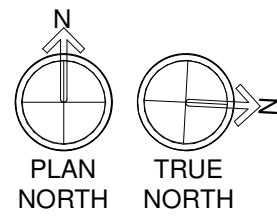
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1
2
3



1 SECOND FLOOR DEMOLITION
1/8" = 1'-0"



EXISTING ACOUSTICAL CEILING GRID AND TILES
TO REMAIN IN CORRIDORS. SEE ENLARGED
DEMOLITION PLANS FOR LIMITED CEILING
DEMOLITION

GENERAL DEMOLITION NOTES

1. EXISTING CONDITIONS AND DEMOLITION NOTES BASED ON EXISTING DRAWINGS BUT NOT ON AS BUILT. GENERAL CONTRACTOR TO FIELD VERIFY CONDITIONS PRIOR TO START OF CONSTRUCTION. IF GENERAL CONTRACTOR DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, NOTIFY OWNER OR ARCHITECT IMMEDIATELY.
2. GENERAL CONTRACTOR TO PROTECT ALL ADJACENT SURFACES TO REMAIN FROM DAMAGE DURING DEMOLITION. GENERAL CONTRACTOR TO REPAIR/REPLACE ANY ADJACENT SURFACES DAMAGED DURING CONSTRUCTION TO MATCH ORIGINAL CONDITIONS.

SELECTIVE DEMOLITION

1. DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS.
2. PROCEED WITH SELECTIVE DEMOLITION SYSTEMATICALLY, FROM HIGHER TO LOWER LEVEL.
3. DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN, REMOVE DEMOLISHED MATERIALS FROM SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.
4. DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. MAINTAIN PORTABLE FIRE SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.
5. MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES.
6. REMOVE DECAYED, VERMIN-INFESTED, OR OTHERWISE DANGEROUS OR UNSUITABLE MATERIALS AND PROMPTLY DISPOSE OF OFF-SITE.
7. LOCATE SELECTIVE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS OR FRAMING.
8. ALL SURFACES TO BE DEMOLISHED AND PREPPED FOR NEW. TO BE PREPPED ACCORDING TO NEW FINISHES MANUFACTURERS WRITTEN INSTRUCTIONS.

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MASONRY

1. DEMOLISH IN SMALL SECTIONS. CUT MASONRY AT JUNCTURES WITH CONSTRUCTION TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE MASONRY BETWEEN SAW CUTS.

CLEANING

1. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN.

TEMPORARY SHORING

1. PROVIDE AND MAINTAIN SHORING, BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION.

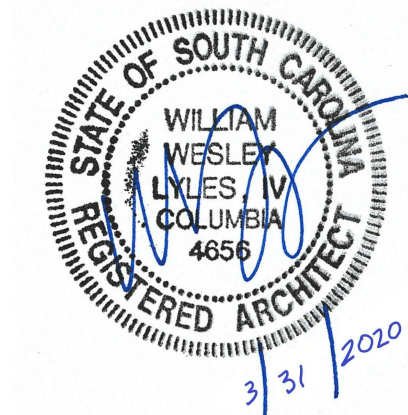
DEMOLITION PLAN NOTES

- DP1. REMOVE EXISTING CERAMIC FLOOR TILE COMPLETE. PREPARE SUBFLOOR FOR CERAMIC FLOOR TILE.
DP2. REMOVE EXISTING CEILING SYSTEM COMPLETE INCLUDING ACOUSTICAL CEILING TILE, GRID, GRILLS, AND LIGHTS.
DP3. REMOVE EXISTING CERAMIC BASE COMPLETE. PREPARE WALL FOR FINISHES.
DP4. REMOVE EXISTING TOILET ACCESSORIES. DELIVER TO OWNER.
DP5. REMOVE EXISTING TOILET PARTITIONS COMPLETE. PATCH AND REPAIR WALLS FOR TOILET PARTITIONS.
DP6. REMOVE EXISTING SINKS AND VANITIES COMPLETE. PATCH AND REPAIR WALLS FOR SINKS AND VANITIES.
DP7. REMOVE EXISTING TOILETS AND URINALS COMPLETE.
DP8. REMOVE EXISTING VINYL TILE COMPLETE. PATCH, REPAIR AND PREPARE SUBFLOOR FOR VINYL TILE.
DP9. REMOVE EXISTING RUBBER BASE COMPLETE. PATCH, REPAIR AND PREPARE WALL FOR RUBBER BASE.
DP10. PREPARE EXISTING GYPSUM BOARD WALLS FOR PAINT.
DP11. REMOVE EXISTING VINYL STAIR TREADS COMPLETE AT STAIR. PATCH, REPAIR AND PREPARE STAIR SUBSTRATE FOR VINYL STAIR TREADS.
DP12. PREPARE EXISTING STAIR HANDRAIL, PICKETS, RISERS, STRINGER. CLEAN, SCRAPE, REPAIR AND PREPARE FOR PAINT.
DP13. REMOVE EXISTING DOOR, TRANSOM, AND FRAME COMPLETE. EXPAND OPENING TO 5'-0" W X 8'-0" H AND PREPARE FOR NEW FRAME. PATCH AND REPAIR WITH NEW SHEET ROCK FLUSH WITH ADJACENT SURFACES.
DP14. REMOVE EXISTING ELEVATED FLOOR COMPLETE. PATCH, REPAIR, AND PREPARE SUBFLOOR FOR VINYL TILE.
DP15. REMOVE EXISTING COUNTER AND BRACKETS. PATCH, REPAIR, AND PREPARE WALLS FOR VINYL WALLCOVERING.
DP16. PREPARE EXISTING ELEVATOR DOORS FOR PAINT.
DP17. REMOVE EXISTING WALL SCONCE AND DELIVER TO OWNER.
DP18. REMOVE EXISTING DOOR AND FRAME COMPLETE.
DP19. EXISTING DOOR AND FRAME TO REMAIN. PROTECT DURING CONSTRUCTION.

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SCIENCES BLDG RENO

LOCATION
AIKEN, SOUTH CAROLINA

REVISIONS

NO.	DATE	DESCRIPTION
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PROJECT NUMBER 19063

SHEET NUMBER

AD102

SHEET NAME

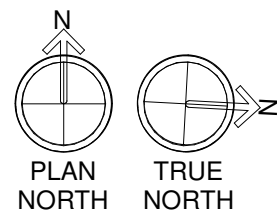
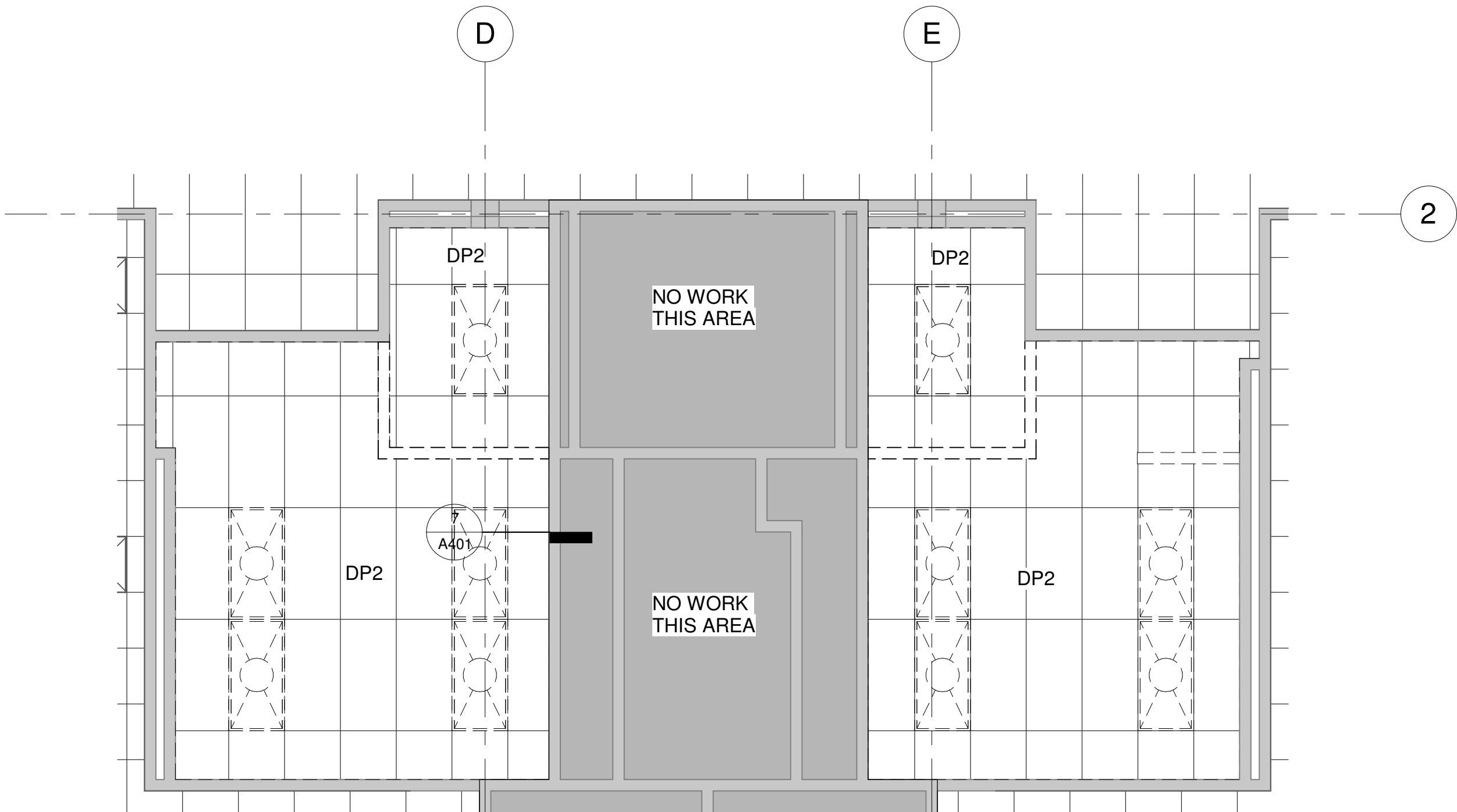
DEMOLITION PLANS

DATE 3/31/2020

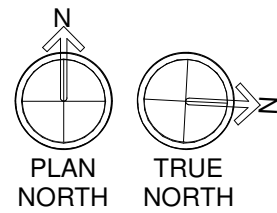
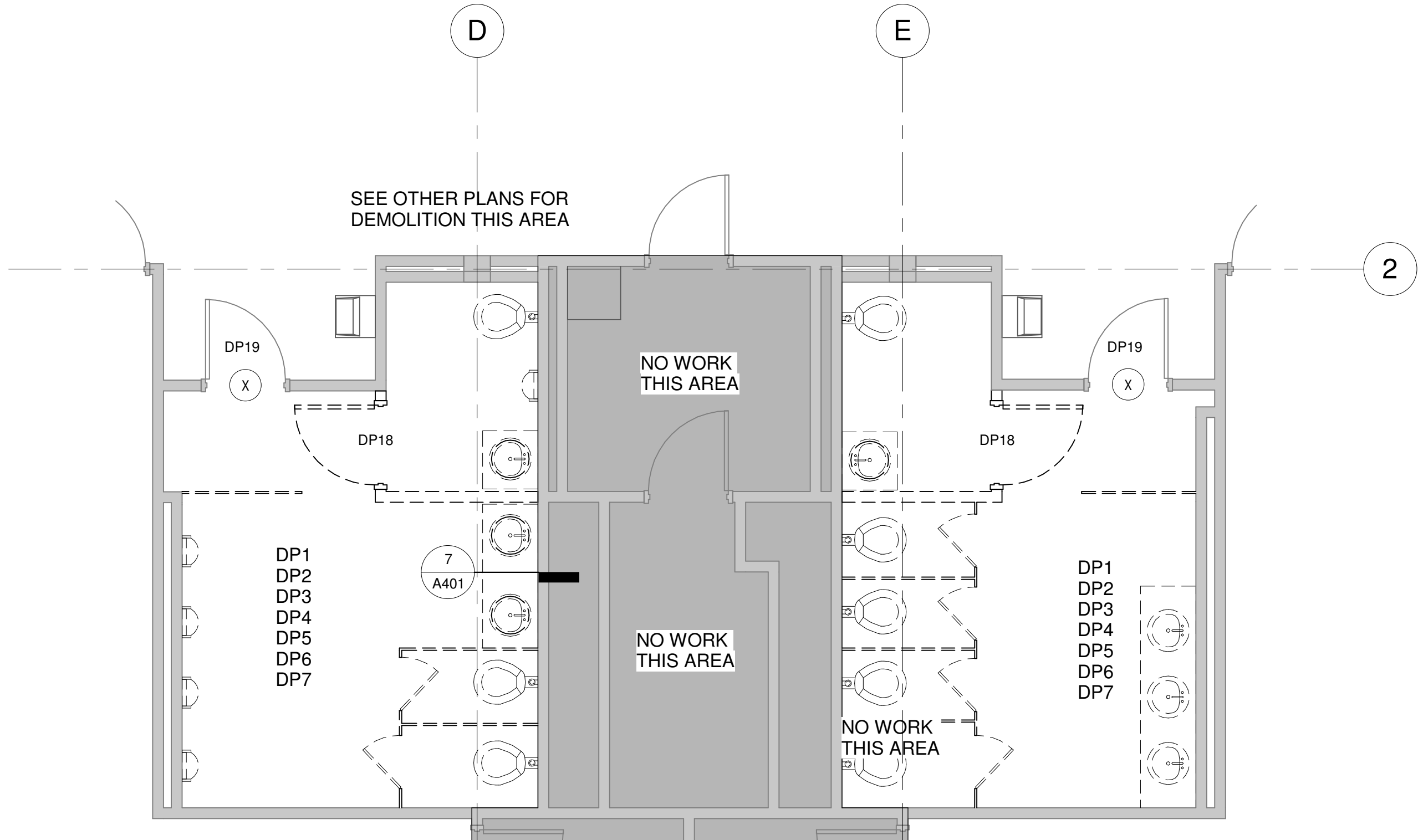
ISSUED FOR BIDDING, MARCH 31, 2020

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1 SECOND FLOOR -TOILETS 211 and 213 DEMOLITION - ADD ALTERNATE #1
1/4" = 1'-0"



2 SECOND FLOOR - TOILETS 211 and 213 DEMOLITION - ADD ALTERNATE #1
1/4" = 1'-0"



GENERAL DEMOLITION NOTES

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- MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES.
- REMOVE DECAYED, VERMIN-INFESTED, OR OTHERWISE DANGEROUS OR UNSUITABLE MATERIALS AND PROMPTLY DISPOSE OF OFF-SITE.
- LOCATE SELECTIVE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS OR FRAMING.
- ALL SURFACES TO BE DEMOLISHED AND PREPPED FOR NEW. TO BE PREPPED ACCORDING TO NEW FINISHES MANUFACTURERS WRITTEN INSTRUCTIONS.

UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS

- EXISTING SERVICES/SYSTEMS: MAINTAIN EXISTING SERVICES AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS.
- SERVICE/SYSTEM REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVICING AREAS TO BE SELECTIVELY DEMOLISHED.

MASONRY

- DEMOLISH IN SMALL SECTIONS. CUT MASONRY AT JUNCTURES WITH CONSTRUCTION TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE MASONRY BETWEEN SAW CUTS.

CLEANING

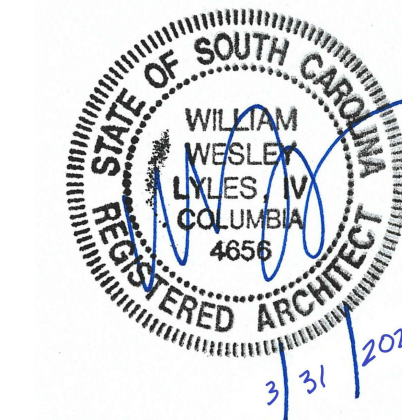
- CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN.
- TEMPORARY SHORING
- PROVIDE AND MAINTAIN SHORING, BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION.

DEMOLITION PLAN NOTES

- DP1. REMOVE EXISTING CERAMIC FLOOR TILE COMPLETE. PREPARE SUBFLOOR FOR CERAMIC FLOOR TILE
- DP2. REMOVE EXISTING CEILING SYSTEM COMPLETE INCLUDING ACOUSTICAL CEILING TILE, GRID, GRILLS, AND LIGHTS
- DP3. REMOVE EXISTING CERAMIC BASE COMPLETE. PREPARE WALL FOR FINISHES.
- DP4. REMOVE EXISTING TOILET ACCESSORIES. DELIVER TO OWNER.
- DP5. REMOVE EXISTING TOILET PARTITIONS COMPLETE. PATCH AND REPAIR WALLS FOR TOILET PARTITIONS.
- DP6. REMOVE EXISTING SINKS AND VANITIES COMPLETE. PATCH AND REPAIR WALLS FOR SINKS AND VANITIES.
- DP7. REMOVE EXISTING TOILETS AND URINALS COMPLETE.
- DP8. REMOVE EXISTING VINYL TILE COMPLETE. PATCH, REPAIR AND PREPARE SUBFLOOR FOR VINYL TILE.
- DP9. REMOVE EXISTING RUBBER BASE COMPLETE. PATCH, REPAIR AND PREPARE WALL FOR RUBBER BASE.
- DP10. PREPARE EXISTING GYPSUM BOARD WALLS FOR PAINT.
- DP11. REMOVE EXISTING VINYL STAIR TREADS COMPLETE AT STAIR. PATCH, REPAIR AND PREPARE STAIR SUBSTRATE FOR VINYL STAIR TREADS
- DP12. PREPARE EXISTING STAIR HANDRAIL, PICKETS, RISERS, STRINGER. CLEAN, SCRAPE, REPAIR AND PREPARE FOR PAINT.
- DP13. REMOVE EXISTING DOOR, TRANSOM, AND FRAME COMPLETE. EXPAND OPENING TO 5'-0" W X 8'-0" H AND PREPARE FOR NEW FRAME. PATCH AND REPAIR WITH NEW SHEET ROCK FLUSH WITH ADJACENT SURFACES.
- DP14. REMOVE EXISTING ELEVATED FLOOR COMPLETE. PATCH, REPAIR, AND PREPARE SUBFLOOR FOR VINYL TILE.
- DP15. REMOVE EXISTING COUNTER AND BRACKETS. PATCH, REPAIR, AND PREPARE WALLS FOR VINYL WALLCOVERING.
- DP16. PREPARE EXISTING ELEVATOR DOORS FOR PAINT.
- DP17. REMOVE EXISTING WALL SCONCE AND DELIVER TO OWNER.
- DP18. REMOVE EXISTING DOOR AND FRAME COMPLETE.
- DP19. EXISTING DOOR AND FRAME TO REMAIN. PROTECT DURING CONSTRUCTION.

ADD ALTERNATE #1

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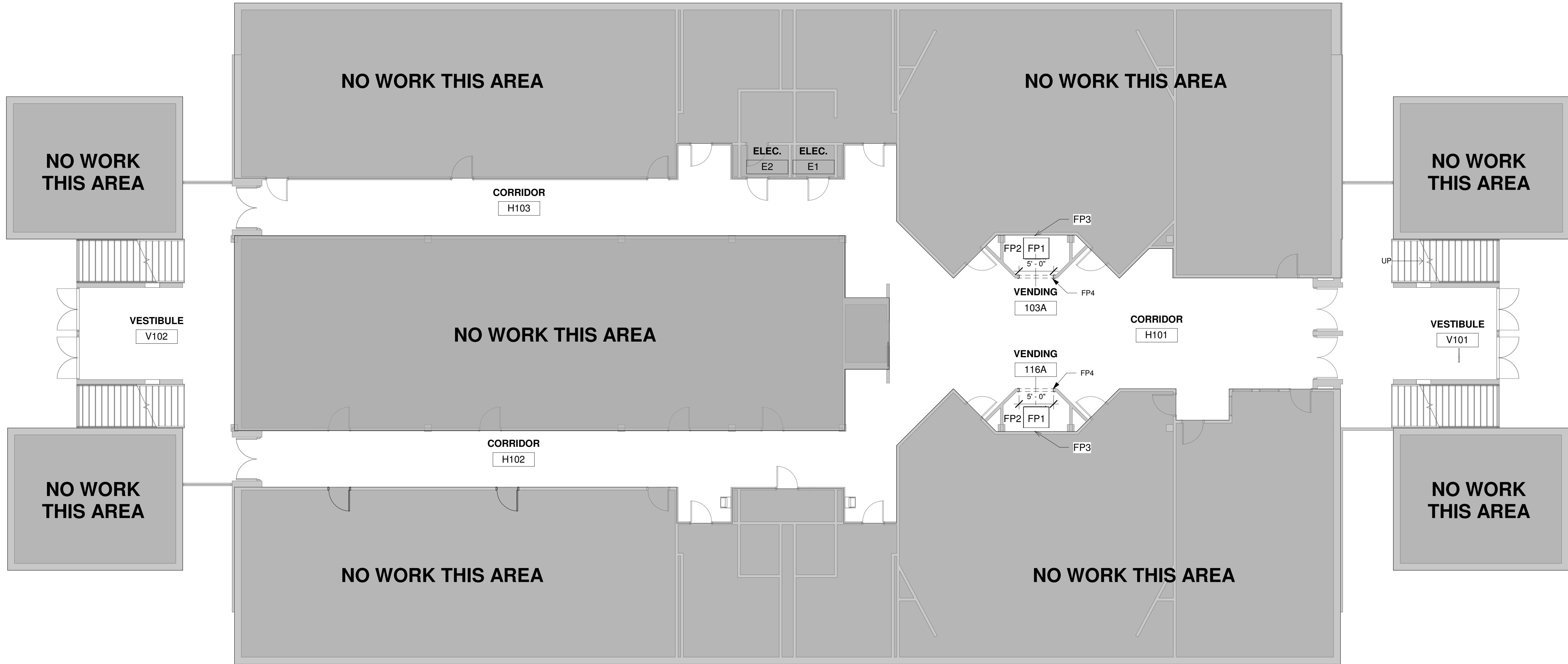
CLIENT NAME	UNIVERSITY OF SOUTH CAROLINA AIKEN
PROJECT NAME	ARTS, HUMANITIES & SOCIAL SCIENCES BLDG RENO
LOCATION	AIKEN, SOUTH CAROLINA

REVISIONS		
NO.	DATE	DESCRIPTION

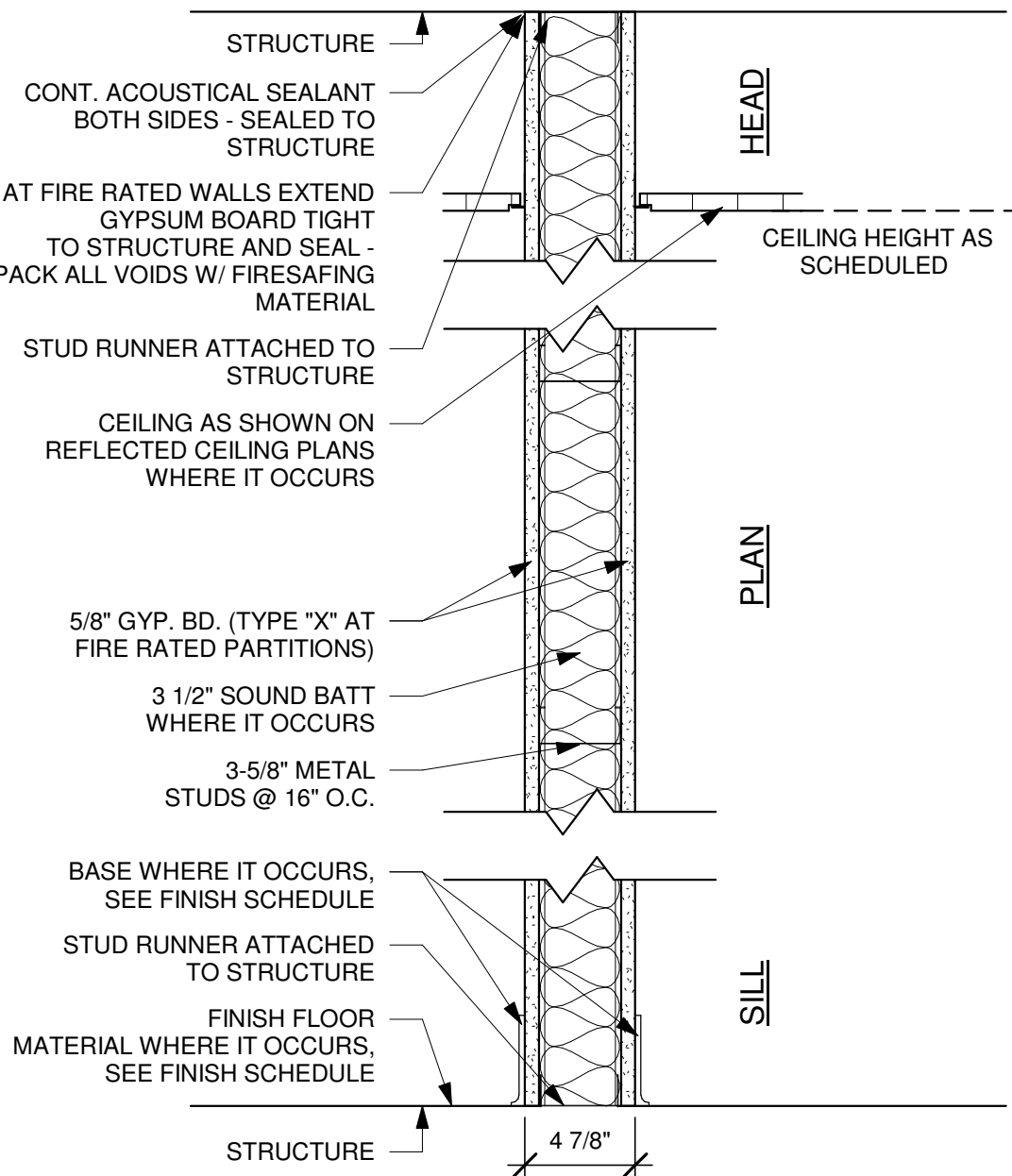
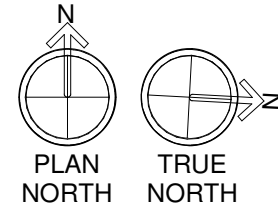
PROJECT NUMBER	19063
SHEET NUMBER	AD103
SHEET NAME	ENLARGED DEMOLITION PLANS
DATE	3/31/2020

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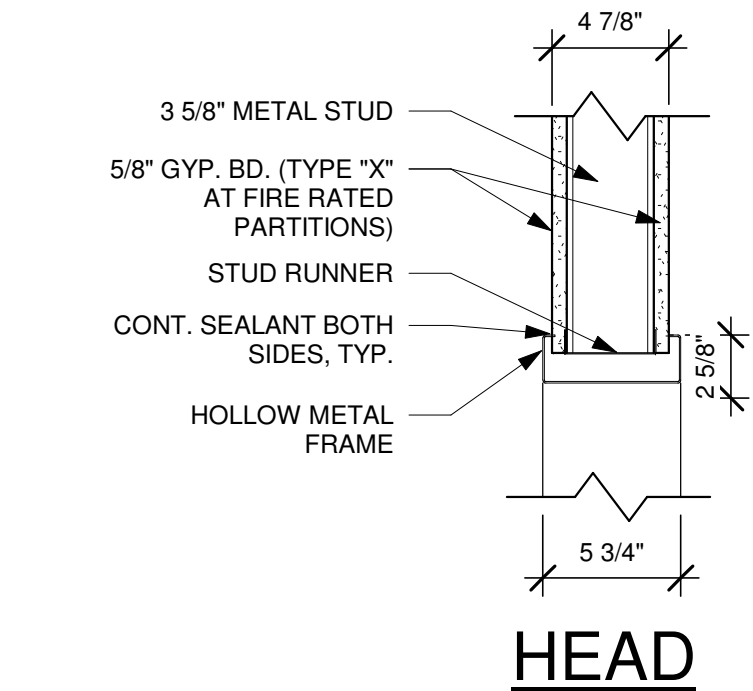
1
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1 FIRST FLOOR
1/8" = 1'-0"



01 PARTITION
SCALE: 1 1/2" = 1'-0" NOTE: WHERE RATING IS REQUIRED, GC SHALL MEET STANDARDS OF UL U465



3 HEAD AND JAMB DETAIL - VENDING FRAMES
1 1/2" = 1'-0"

FLOOR PLAN NOTES

- FP1. CONTRACTOR TO VERIFY WITH OWNER DIMENSIONS OF VENDING EQUIPMENT TO BE ACCOMMODATED THROUGH NEW OPENING, AND SPACE TO BE SET IN PLACE FOR END USERS TO ACCESS AND USE.
FP2. COORDINATE ELECTRICAL CONNECTIONS FOR VENDING WITH ELECTRICAL PLANS
FP3. ADD OPAQUE FILM TO EXISTING WINDOWS @ VENDING SIDE ONLY.
FP4. PROVIDE 5'-0" W X 8'-0" H HOLLOW METAL FRAME. SEE HEAD AND JAMB DETAILS THIS SHEET.

PLAN LEGEND

- EXISTING WALL TO BE REMOVED
=== NEW WALL, SEE PARTITION TYPES
--- EXISTING WALL TO REMAIN
--- EXISTING DOOR TO BE REMOVED
--- NEW DOOR, SEE DOOR SCHEDULE
--- EXISTING DOOR TO REMAIN
- Ⓐ WINDOW TAG, SEE PLAN AND WINDOW SCHEDULE
① DEMOLITION TAG, SEE DEMOLITION PLAN AND NOTES
888.8 DOOR TAG, SEE PLAN AND DOOR SCHEDULE
① WALL TAG, SEE PLAN AND PARTITION TYPES
Room name 101 ROOM TAG, SEE PLAN AND FINISH SCHEDULE

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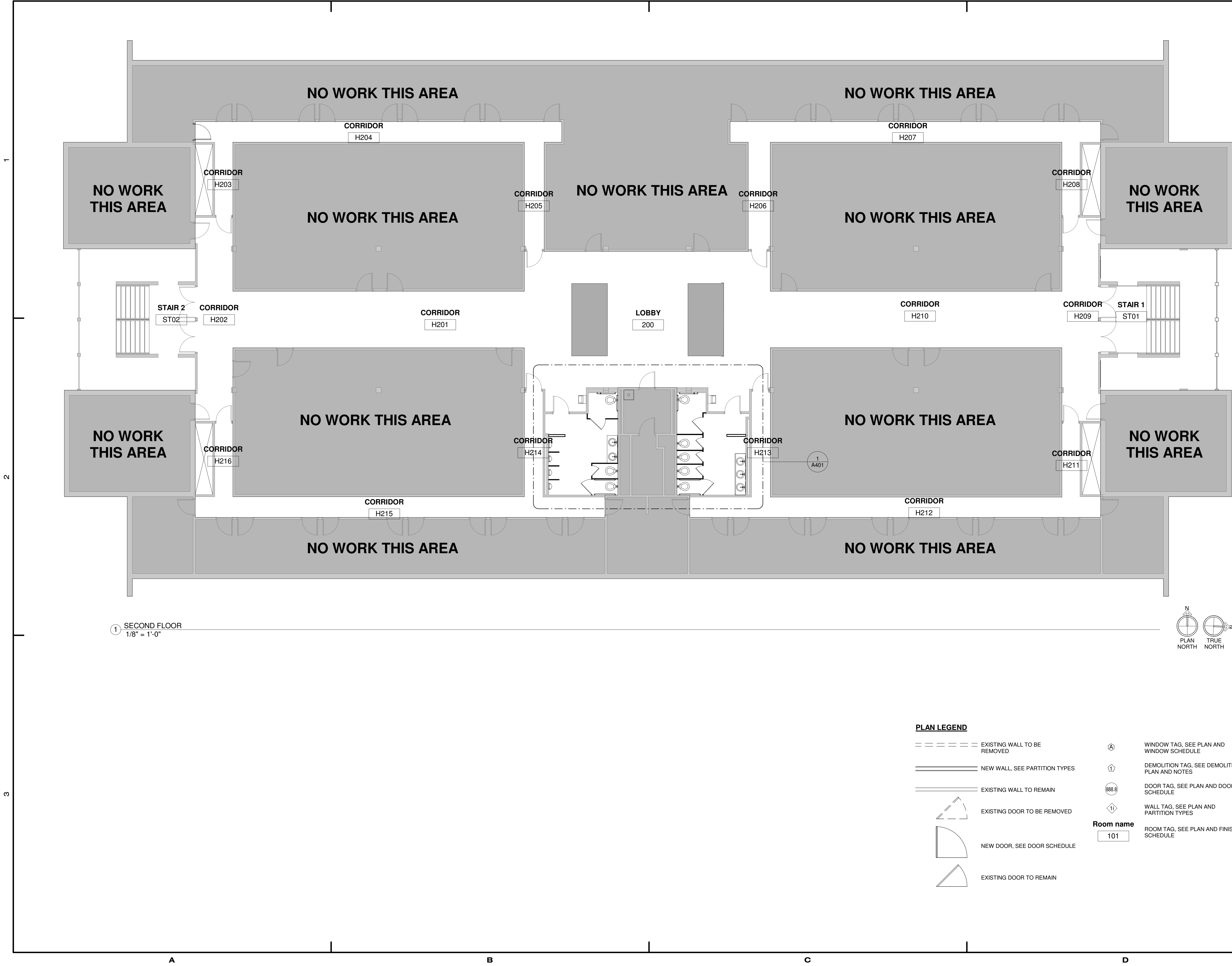
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STATE OF SOUTH CAROLINA
REGISTERED ARCHITECTS
STUDIO 2LR INC.
Columbia, SC
No. 100138
WILLIAM WESLEY
LYLES
COLUMBIA
4656
3/31/2020

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UNIVERSITY OF SOUTH CAROLINA AIKEN
PROJECT NAME
ARTS, HUMANITIES & SOCIAL SCIENCES BLDG RENO
LOCATION
AIKEN, SOUTH CAROLINA

REVISIONS
NO. DATE DESCRIPTION
PROJECT NUMBER 19063
SHEET NUMBER A101
SHEET NAME FLOOR PLAN - FIRST
DATE 3/31/2020

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PROJECT NAME
ARTS, HUMANITIES & SOCIAL SCIENCES BLDG RENO

LOCATION
AIKEN, SOUTH CAROLINA

REVISIONS

NO.	DATE	DESCRIPTION
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PROJECT NUMBER
19063

SHEET NUMBER
A102

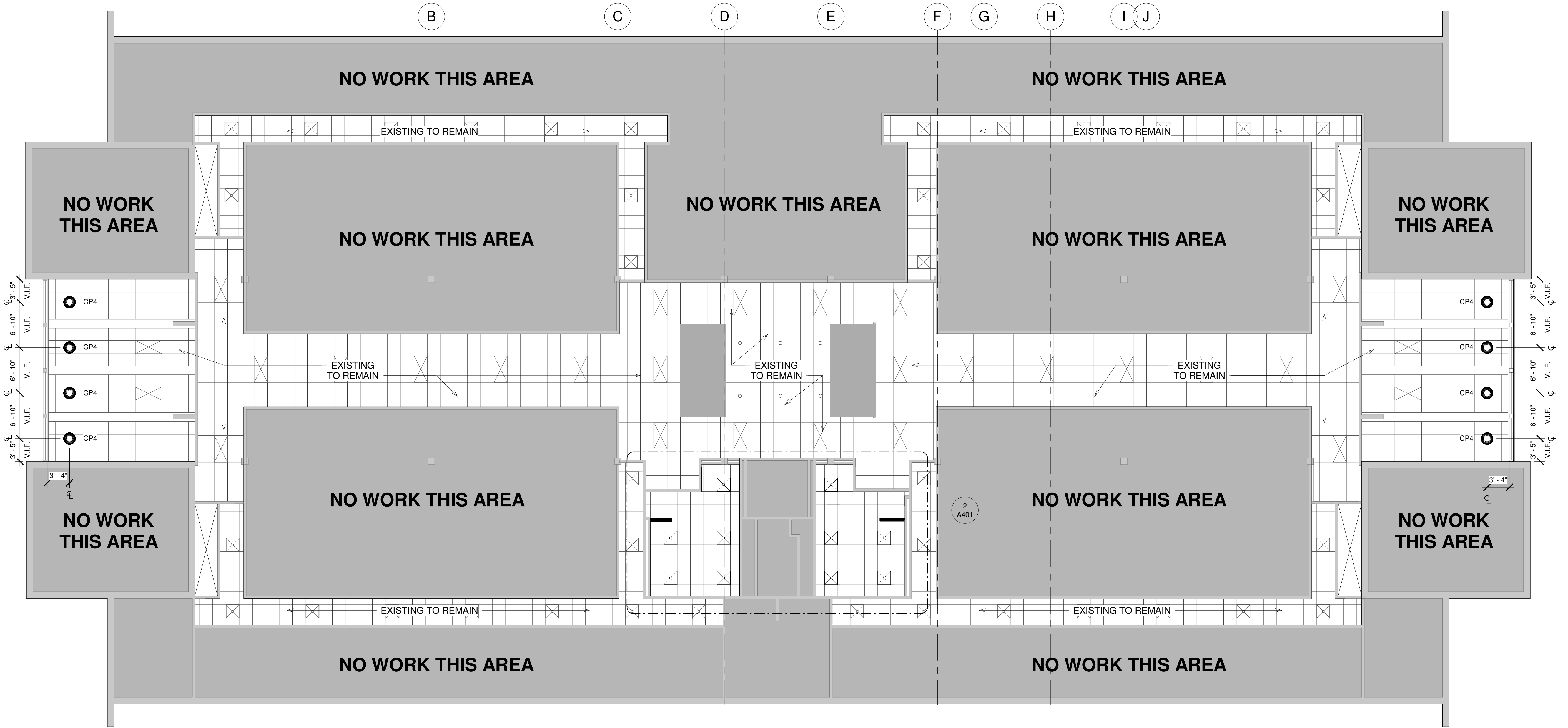
SHEET NAME
FLOOR PLAN - SECOND

DATE
3/31/2020

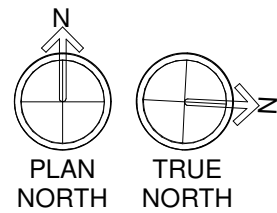
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1
2
3



1 SECOND FLOOR
1/8" = 1'-0"



CEILING PLAN NOTES

- CP1. PROVIDE NEW 2'X2' ACOUSTICAL CEILING GRID AND TILE
CP2. PROVIDE NEW 2'X2' LAY IN LIGHT FIXTURE, SEE ELECTRICAL PLANS FOR COORDINATION OF NEW LIGHTS.
CP3. PROVIDE NEW PENDANT AS SPECIFIED. MOUNT AT 7' - 0" A.F.F. SEE ELECTRICAL PLANS FOR COORDINATION OF NEW LIGHTS.
CP4. PROVIDE NEW PENDANT AS SPECIFIED. MOUNT AT 9' - 4" A.F.F. ALIGN CENTER OF PENDANT WITH CENTER OF WINDOW. SEE ELECTRICAL PLANS FOR COORDINATION OF NEW LIGHTS.

REFLECTED CEILING PLAN LEGEND

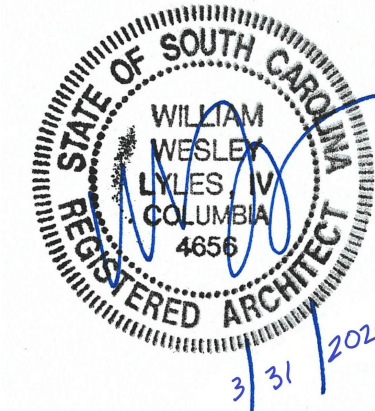
- | | | | |
|--|--|--|---------------------------|
| | GYPSUM BOARD CEILING. HEIGHT VARIES. | | 2'x2' LIGHTING FIXTURE |
| | 2'x2' ACOUSTICAL CEILING TILE. HEIGHT VARIES. | | 2'x4' LIGHTING FIXTURE |
| | EXHAUST FAN | | 1'x4' LIGHTING FIXTURE |
| | X'-X" AFF
CEILING HEIGHT ABOVE FINISHED FLOOR | | 2'x2' MECHANICAL DIFFUSER |
| | RECESSED CAN LIGHT | | 2'x2' MECHANICAL RETURN |

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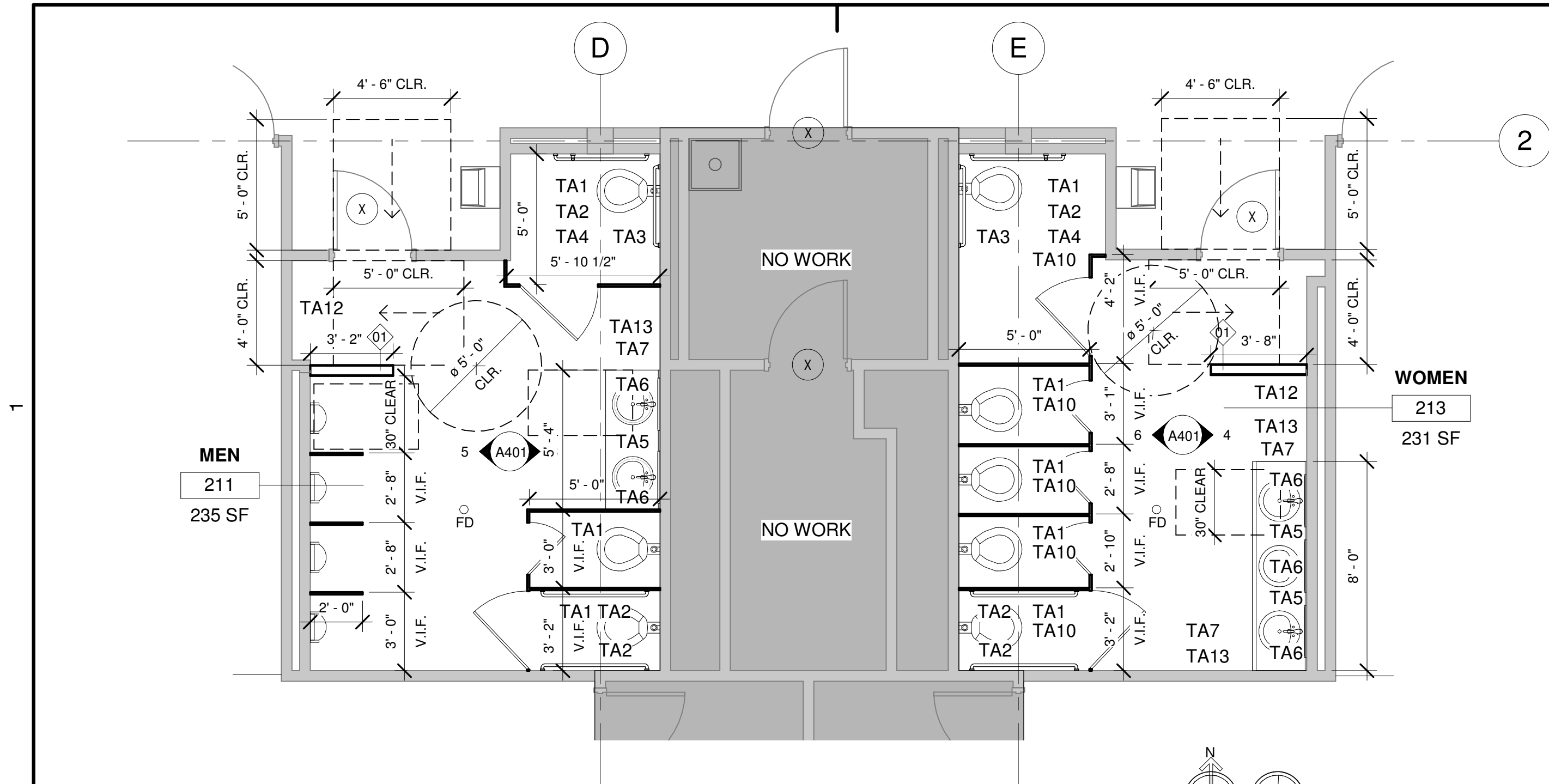


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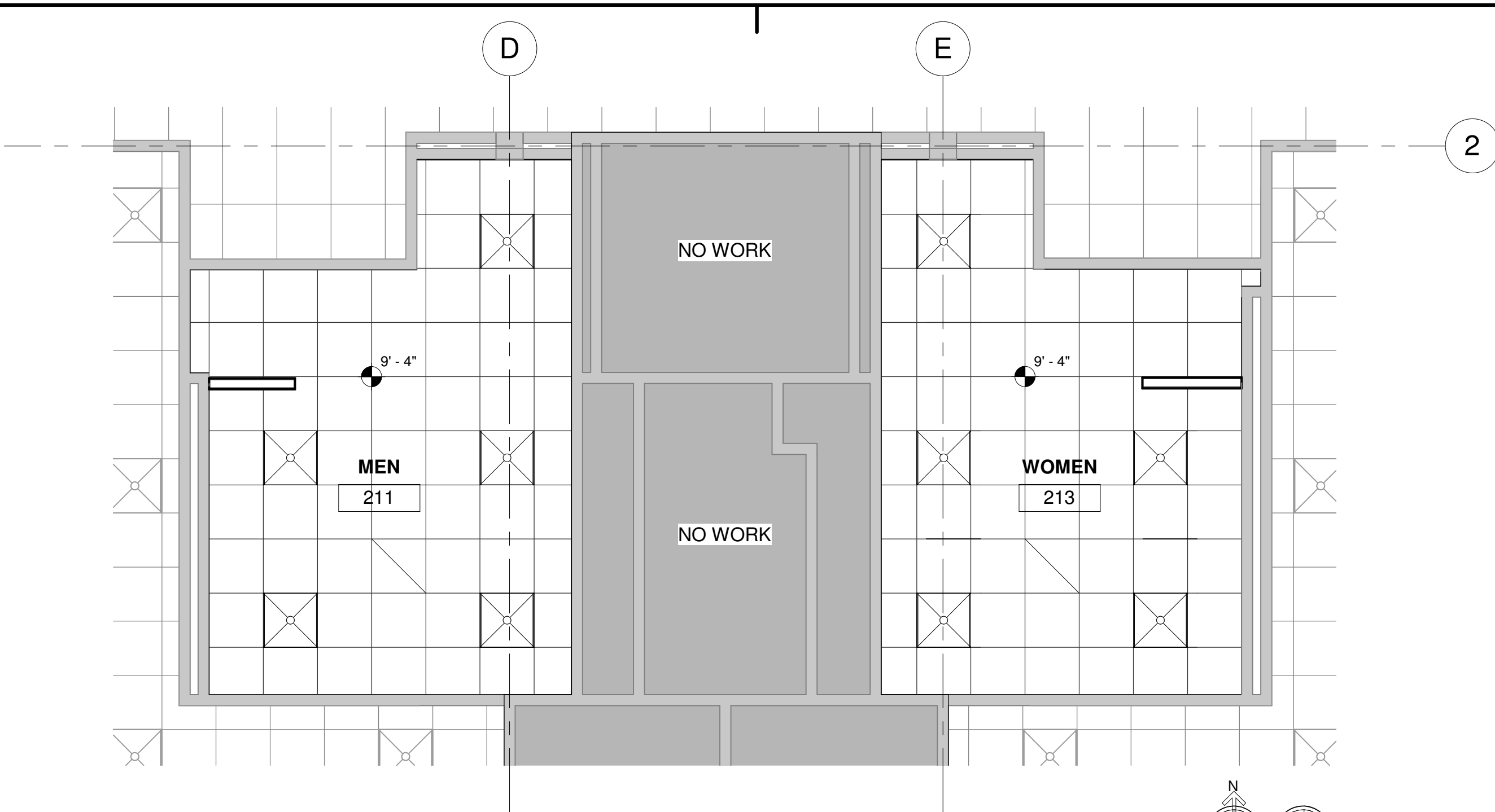
REVISIONS		
NO.	DATE	DESCRIPTION
PROJECT NUMBER 19063		
SHEET NUMBER A111		
SHEET NAME REFLECTED CEILING PLAN - SECOND		
DATE 3/31/2020		

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1 SECOND FLOOR - TOILETS 211 and 213 - ADD ALTERNATE #1
1/4" = 1'-0"



2 SECOND FLOOR - TOILETS 211 and 213 - ADD ALTERNATE #1
1/4" = 1'-0"

FLOOR PLAN NOTES

- CONTRACTOR VERIFY EXISTING FLOOR DRAIN LOCATIONS AND COORDINATE WITH TILE SPECIFICATIONS AND INSTALLATION PER MANUFACTURERS WRITTEN INSTRUCTIONS. TILE INSTALLATIONS TO MEET NTMA GUIDELINES.
- COORDINATE PLUMBING FIXTURES WITH PLUMBING DRAWINGS.

TOILET ACCESSORY NOTES

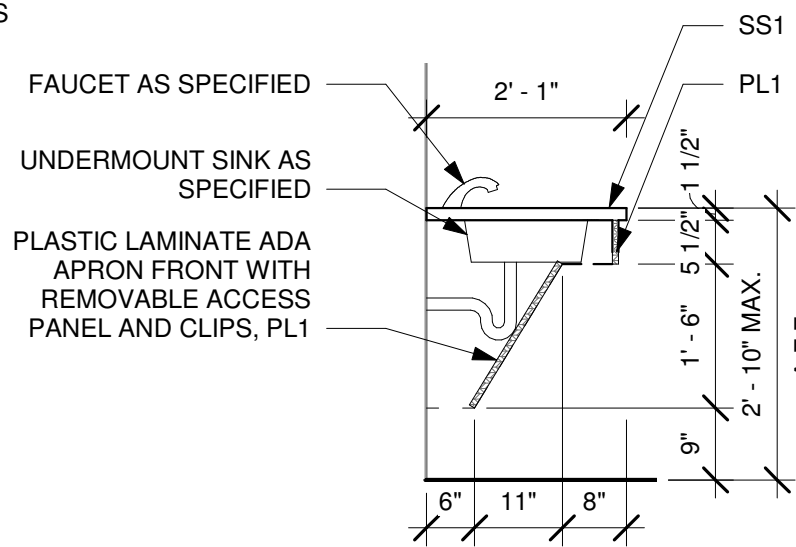
- GC COORD. ALL ACCESSORIES WITH OWNER.
- INSTALL ALL TOILET ACCESSORIES PER MANUFACTURER'S WRITTEN INSTRUCTIONS AND PER ADA AND ANSI A117.1 GUIDELINES AS REQUIRED.
- GC FURNISH AND INSTALL BLOCKING AS REQUIRED FOR ALL TOILET ACCESSORIES.
- INSTALL ADA SIGNAGE PER ADA AND ANSI A117.1
- COORDINATE INSTALLATION OF HAND DRYERS AND LIGHT FIXTURES WITH ELECTRICAL DRAWINGS.

TOILET ACCESSORIES

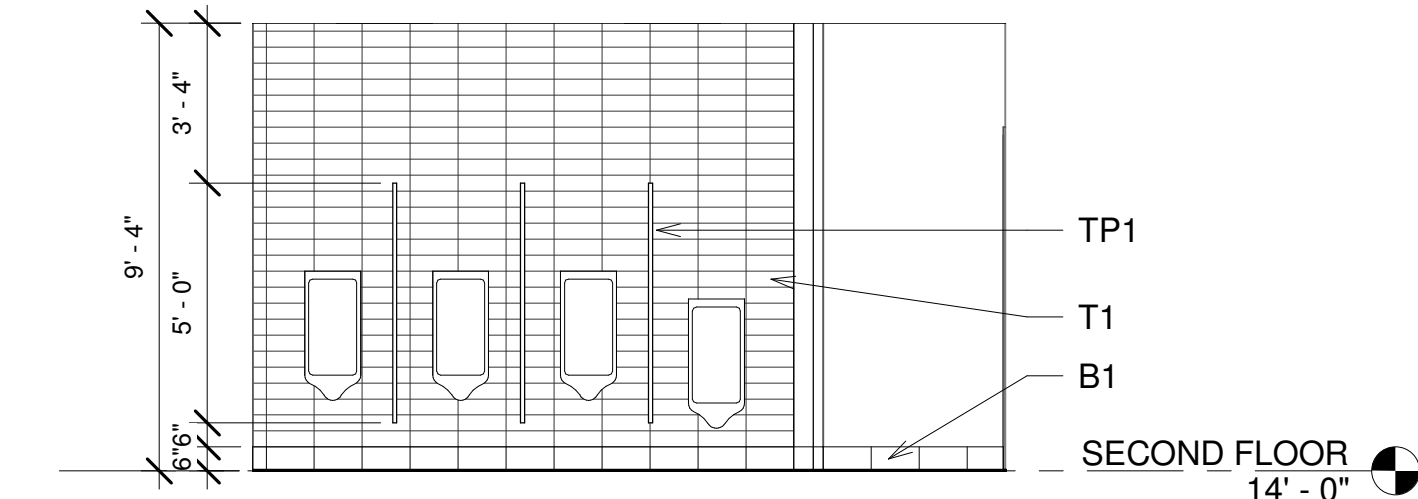
TA1 TOILET TISSUE DISPENSER
TA2 GRAB BAR 42"
TA3 GRAB BAR 36"
TA4 GRAB BAR 18" VERTICAL
TA5 SOAP DISPENSER
TA6 MIRROR
TA7 PAPER TOWEL DISPENSER/DISPOSAL
TA8 NOT USED
TA9 COAT HOOK
TA10 SANITARY NAPKIN DISPOSAL
TA11 NOT USED
TA12 FULL LENGTH MIRROR
TA13 ELECTRIC HAND DRYER

CEILING PLAN NOTES

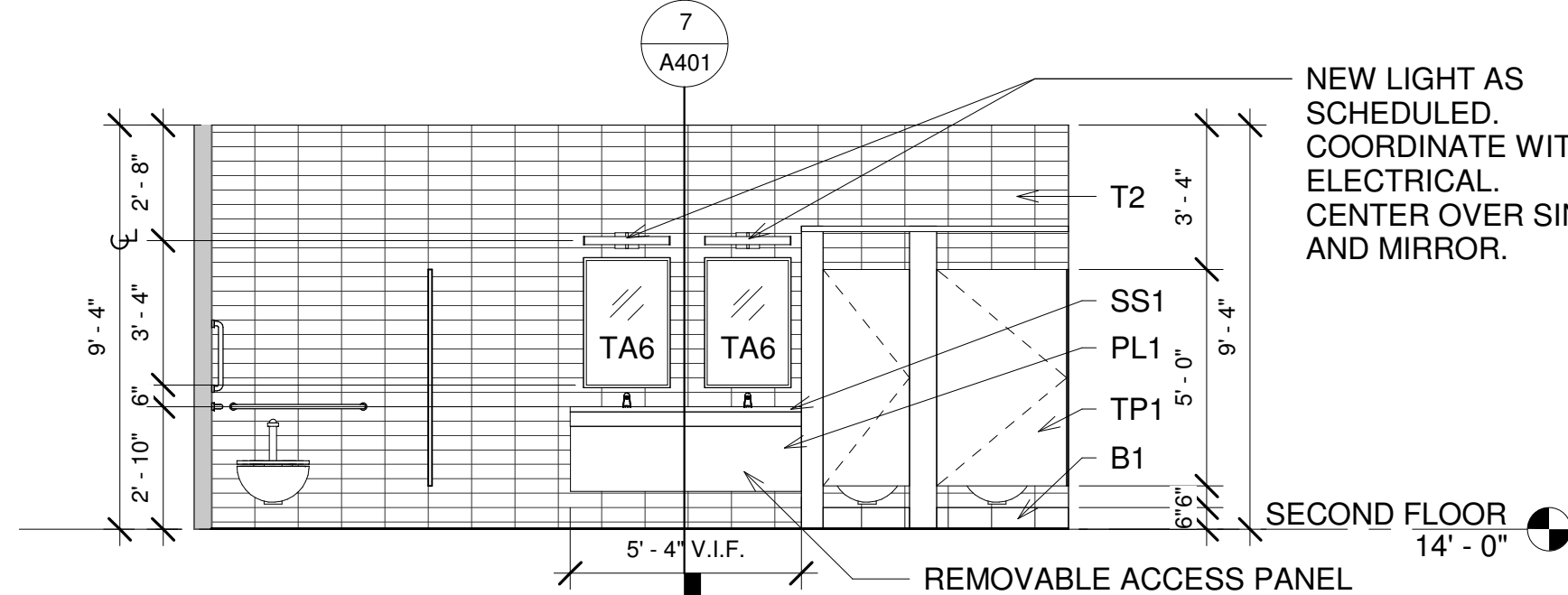
- COORDINATE MECHANICAL GRILLE LOCATIONS WITH MECHANICAL DRAWINGS
- COORDINATE LIGHT FIXTURES WITH ELECTRICAL DRAWINGS.



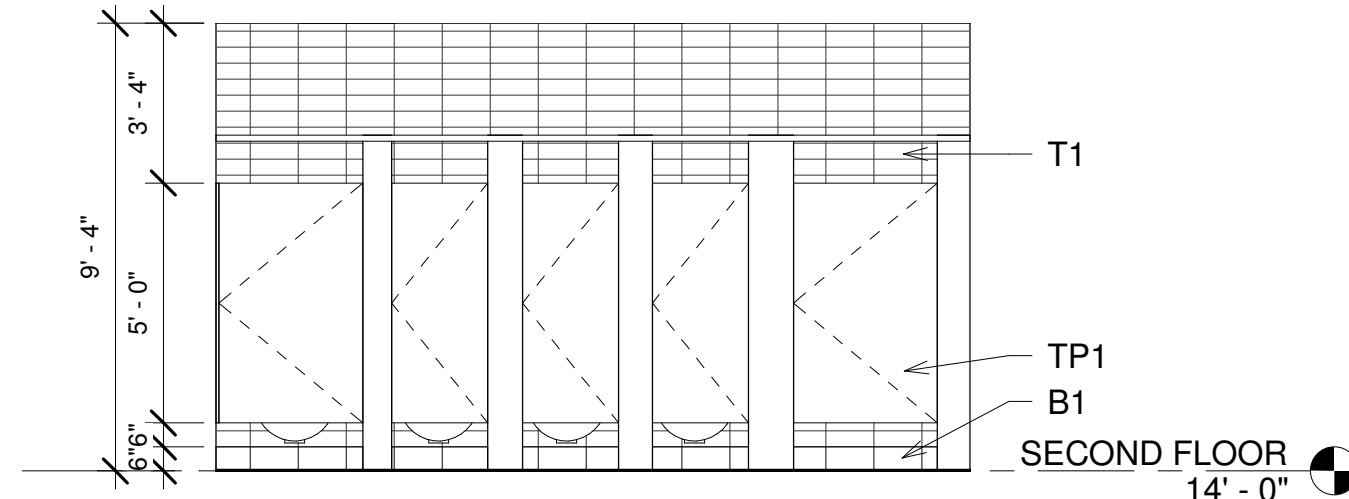
7 TYP. VANITY SECTION
1/2" = 1'-0"



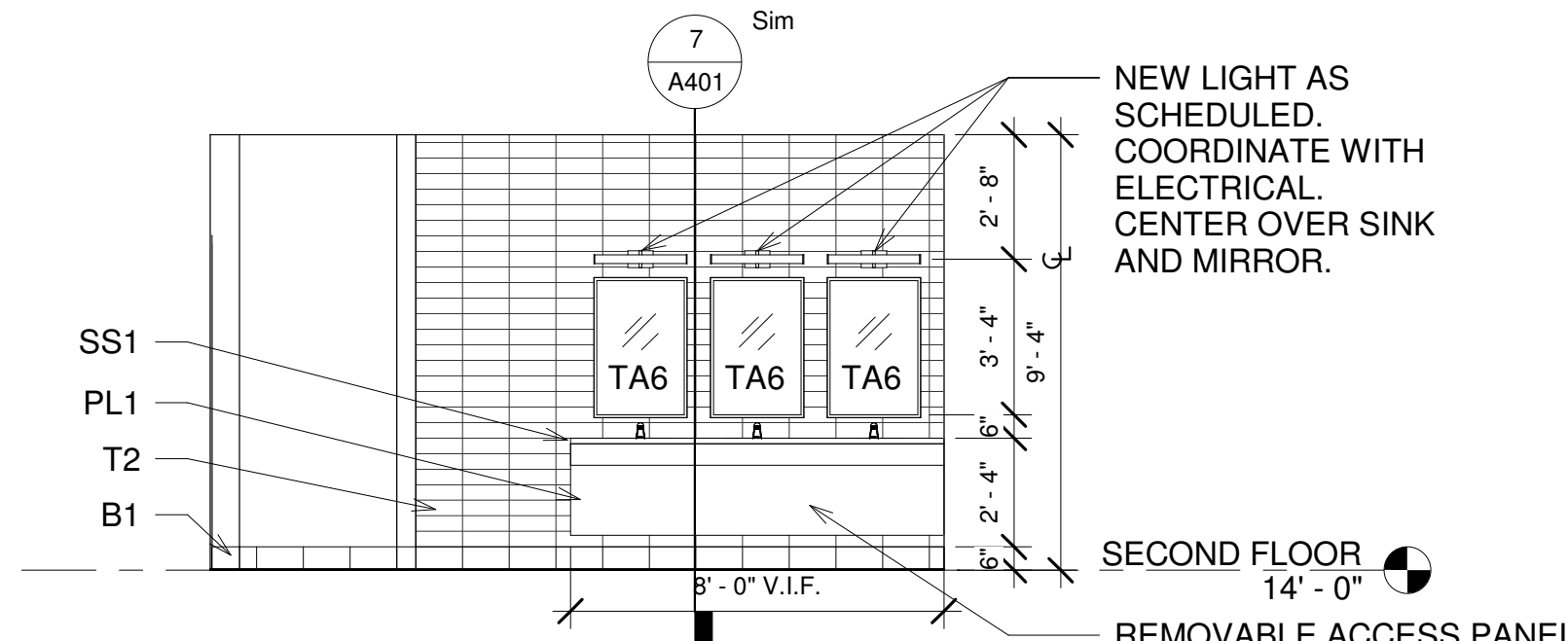
5 INTERIOR ELEVATION - 211 W - ADD ALTERNATE #1
1/4" = 1'-0"



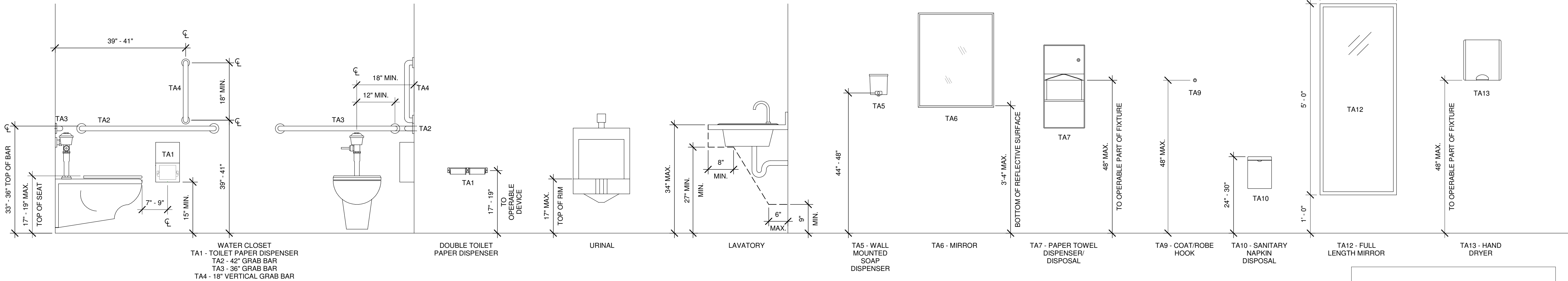
3 INTERIOR ELEVATION - 211 E - ADD ALTERNATE #1
1/4" = 1'-0"



6 INTERIOR ELEVATION - 213 W - ADD ALTERNATE #1
1/4" = 1'-0"



4 INTERIOR ELEVATION - 213 E - ADD ALTERNATE #1
1/4" = 1'-0"



A

B

C

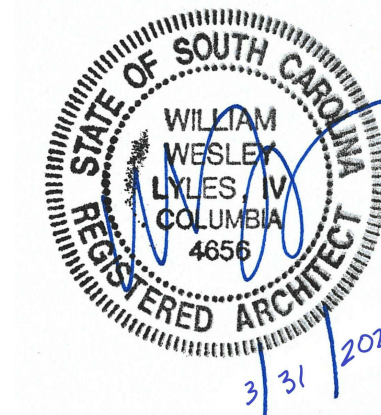
D

ADD ALTERNATE #1

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LOCATION	AIKEN, SOUTH CAROLINA





REVISIONS		
NO.	DATE	DESCRIPTION
PROJECT NUMBER 19063		
SHEET NUMBER A401		
SHEET NAME ENLARGED PLANS TOILET 211 and 213		
DATE 3/31/2020		

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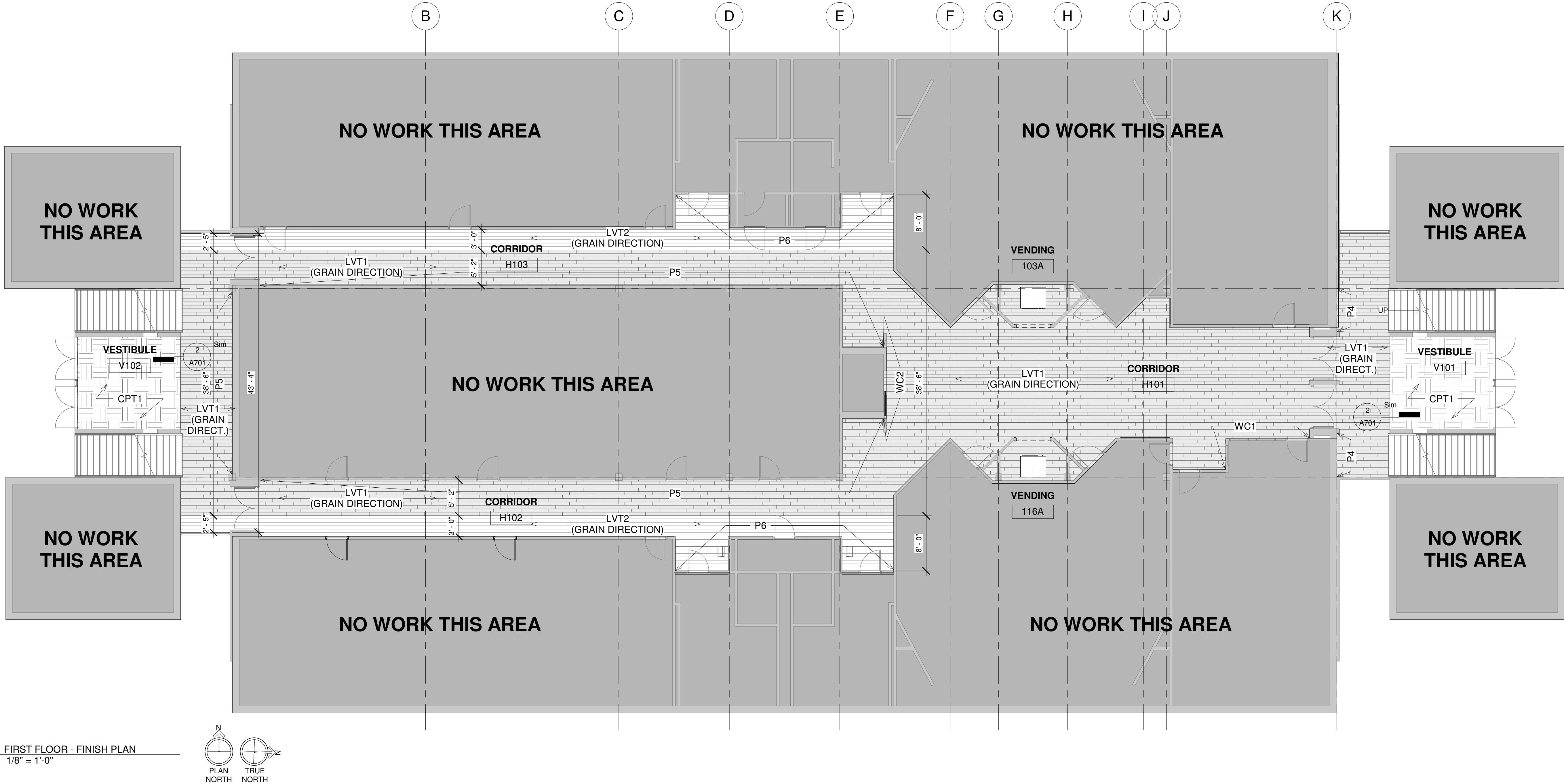
FINISH SPECIFICATION					
TAG	ITEM	MANUFACTURER	DESCRIPTION	SIZE	NOTES
CARPET (CPT)					
CPT1	WALKOFF CARPET	MILLIKEN	PATTERN: OBEX LOOP STACK; COLOR: DARK BLUE	50CM X 50CM	INSTALL IN MONOLITHIC PATTERN; SCHLUTER RENO-U AEU100 AT FLOOR TRANSITION TO LVT
TILE (T)					
T1	PORCELAIN TILE	INTERCERAMIC	PATTERN: IC BRITES; COLOR: JET BLUE	4 1/4" L X 12 1/4" W; 1/4" THICK	INSTALL IN HORIZONTAL STACK BOND PER INTERIOR ELEVATIONS; ALIGN GROUT JOINTS WITH FLOOR TILE JOINTS; USE GT1
T2	PORCELAIN TILE	INTERCERAMIC	PATTERN: IC BRITES; COLOR: WHITE	4 1/4" L X 12 1/4" W; 1/4" THICK	INSTALL IN HORIZONTAL STACK BOND PER INTERIOR ELEVATIONS; ALIGN GROUT JOINTS WITH FLOOR TILE JOINTS; USE GT1
T3	PORCELAIN TILE	ATLAS CONCORDE	PATTERN: FRAY; COLOR: SMOKE	12"L X 24" W; 3/8" THICK	INSTALL IN STACK BOND PER FINISH PLAN; RUN LENGTH PLAN NORTH TO PLAN SOUTH; CENTER PATTERN IN ROOM; ALIGN GROUT JOINTS WITH WALL TILE GROUT JOINTS ON PLAN EAST AND PLAN WEST WALLS; USE GT1; SCHLUTER RENO-U AEU100 AT FLOOR TRANSITION TO LVT
GROUT (GT)					
GT1	GROUT	LATICRETE	COLOR: 78 STERLING SILVER	--	
LUXURY VINYL TILE (LVT)					
LVT1	VINYL TILE	TARKETT	COLLECTION: iD LATITUDE ABSTRACT; PATTERN: STRIA MARBLE; COLOR: PLSM 5102 NIMBUS	6" L X 36" W	INSTALL RUNNING PLANKS ALL IN SAME DIRECTION AS INDICATED ON FINISH PLANS, STAGGERED END JOINTS 12" FROM END JOINTS.
LVT2	VINYL TILE	TARKETT	PATTERN: COLORGRAIN; COLOR: CASCADES	6" L X 36" W	INSTALL RUNNING PLANKS ALL IN SAME DIRECTION AS INDICATED ON FINISH PLANS, STAGGERED END JOINTS 12" FROM END JOINTS.
PAINT (P)					
P1	WALL PAINT	SHERWIN WILLIAMS	COLOR: SW 7029 AGREEABLE GRAY; FINISH: EGGSHELL	--	
P2	WALL PAINT	SHERWIN WILLIAMS	COLOR: SW 7029 AGREEABLE GRAY; FINISH: SEMIGLOSS	--	
P3	WALL PAINT	SHERWIN WILLIAMS	COLOR: SW 7587 ANTIQUE RED; FINISH: EGGSHELL	--	
P4	WALL PAINT	SHERWIN WILLIAMS	COLOR: SW 9138 STARDEW; FINISH: EGGSHELL	--	
P5	WALL PAINT	SHERWIN WILLIAMS	COLOR: SW 6515 LEISURE BLUE; FINISH: EGGSHELL	--	
P6	WALL PAINT	SHERWIN WILLIAMS	COLOR: SW 6244 NAVAL; FINISH: EGGSHELL	--	
P7	METAL FRAME PAINT	SHERWIN WILLIAMS	COLOR: SW 7674 PEPPERCORN; FINISH: SATIN	--	METAL FRAMES AT VENDING ALCOVES
P8	METAL TRIM PAINT	SHERWIN WILLIAMS	COLOR: SW 6244 NAVAL; FINISH: SATIN	--	ELEVATOR DOORS AND HANDRAILS
WALLCOVERING (WC)					
WC1	VINYL WALLCOVERING	MAHARAM	PATTERN: PLOT 399605; COLOR: 013 POPPY	WIDTH: 54"	
WC2	VINYL WALLCOVERING	EYKON	PATTERN: OCEAN DRIVE; COLOR: A191-321 CARLYLE	WIDTH: 54"	
PLASTIC LAMINATE (PL)					
PL1	PLASTIC LAMINATE	WILSONART	PATTERN: SATIN STAINLESS	4"W X 8'L	APRONS AT ALL VANITIES
SOLID SURFACE (SS)					
SS1	SOLID SURFACE	CORIAN	CARBON CONCRETE	--	
BASE (B)					
B1	TILE BASE	ATLAS CONCORDE	PATTERN: FRAY; COLOR: SMOKE	6" X 12" COVE BASE	
B2	RUBBER BASE	TARKETT	COLOR: GREY	4" COVE BASE	
B3	RUBBER BASE	TARKETT	COLOR: NAVY BLUE	4" COVE BASE	
STAIRS (ST)					
ST1	STAIR TREAD & RISER	ROPPE	#96 VANTAGE DESIGN TREAD & RISER; COLOR: SYMMETRY #S139 DEEP NAVY; INCLUDE 2" RIBBED RUBBER STRIP IN AL - ALMOND	--	
TOILET PARTITIONS (TP)					
TP1	SOLID PHENOLIC FLOOR MOUNTED TOILET PARTITIONS	GENERAL PARTITIONS	PL1 ON BLACK SOLID PHENOLIC CORE. PROVIDE MFR. STANDARD COAT HOOK IN EACH STALL, TYP. PROVIDE SHOP DRAWINGS FOR REVIEW.	--	REFER TO SPECIFICATION SECTION 102113.17

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REVISIONS			
NO.	DATE	DESCRIPTION	
Empty revision rows			
PROJECT NUMBER		19063	
SHEET NUMBER		A700	
SHEET NAME		FINISH SPECIFICATIONS	
DATE		3/31/2020	

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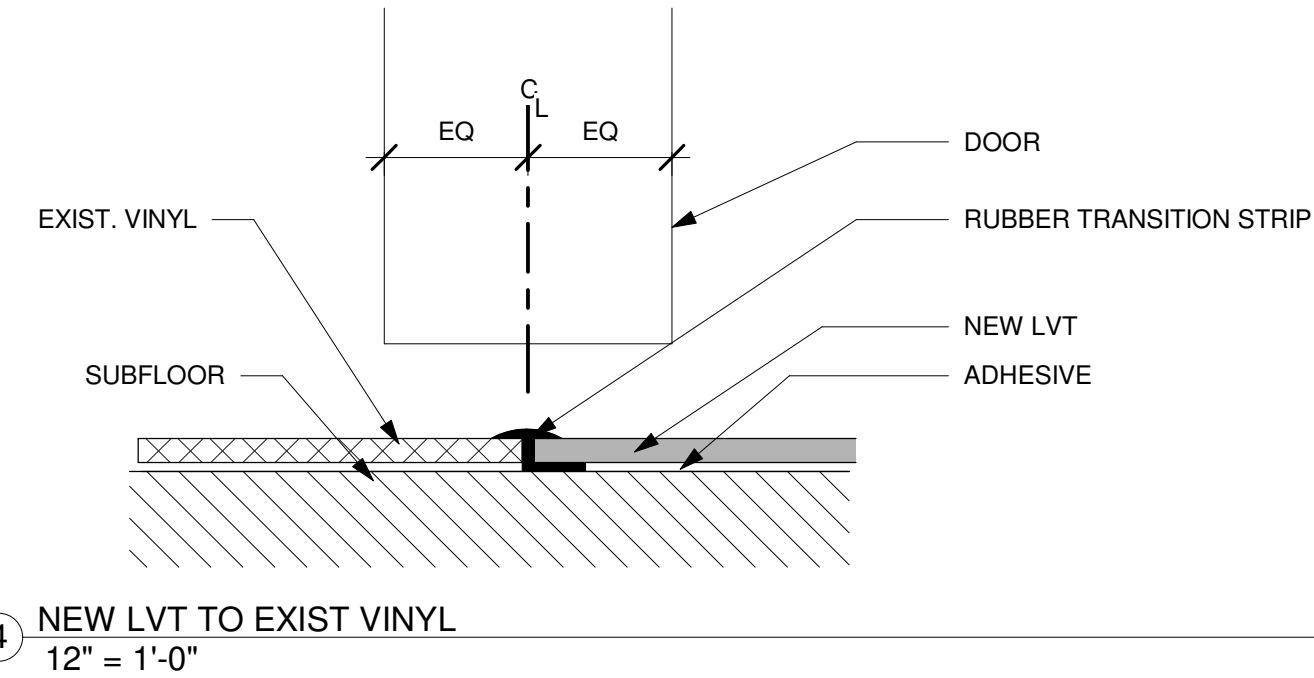
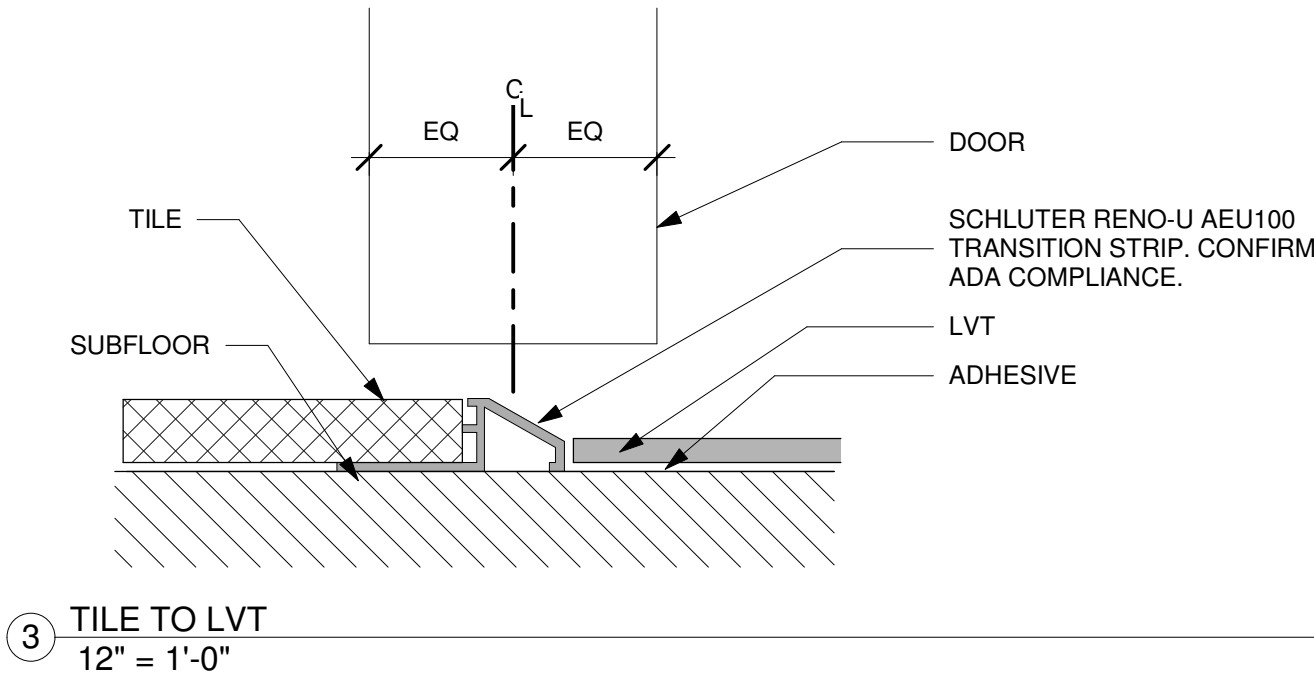
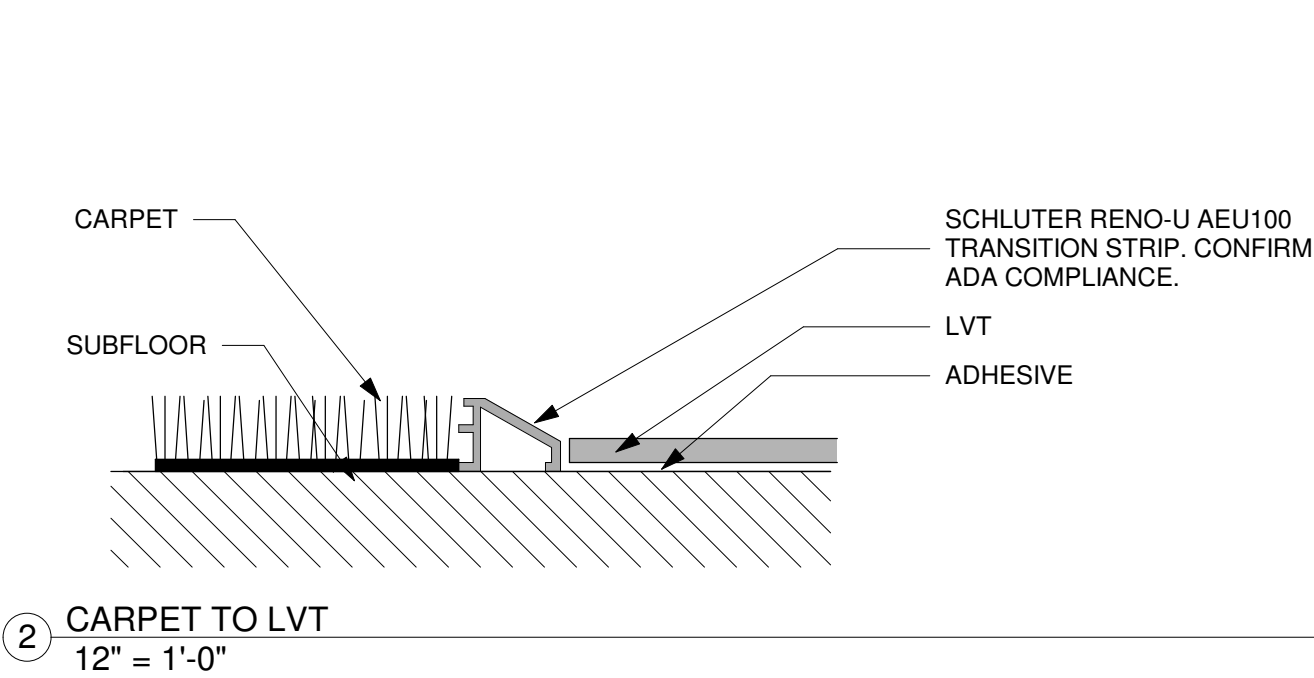
ROOM FINISH SCHEDULE FIRST FLOOR										
NO.	NAME	FLOOR	BASE	CEILING	WALL FINISH					
		MATERIAL	MATERIAL	MATERIAL	FINISH	NORTH	SOUTH	EAST	WEST	
103A	VENDING	LVT1	B2	ACT	MFR	P1	P1	P1	P1	
116A	VENDING	LVT1	B2	ACT	MFR	P1	P1	P1	P1	
H101	CORRIDOR	LVT1	B2	EXIST	EXIST	P1	P1/WC1	P1	P1/WC2	WC1 TO BE APPLIED TO WALL ALONG STATION MARKET; WC2 TO BE APPLIED TO ELEVATOR WALL; PAINT ELEVATOR DOORS P8
H102	CORRIDOR	LVT1/LVT2	B2	EXIST	EXIST	P5	P1/P6	P1	P1	LVT2 STRIPE ALONG SOUTH WALL.
H103	CORRIDOR	LVT1/LVT2	B2	EXIST	EXIST	P1/P6	P5	P1	P1	LVT2 STRIPE ALONG NORTH WALL.
V101	VESTIBULE	CPT1/LVT1	B2	EXIST	EXIST	--	--	--	P1/P4	LEAVE ALL EXPOSED BRICK AS EXISTING; CONTRACTOR TO CONFIRM AND COORDINATE EXISTING EXTERIOR THRESHOLDS WITH NEW INTERIOR FLOORING MATERIAL
V102	VESTIBULE	CPT1/LVT1	B2	EXIST	EXIST	--	--	P1/P5	--	LEAVE ALL EXPOSED BRICK AS EXISTING; CONTRACTOR TO CONFIRM AND COORDINATE EXISTING EXTERIOR THRESHOLDS WITH NEW INTERIOR FLOORING MATERIAL

GENERAL FINISH NOTES

- WALL FINISH DIRECTION IS BASED ON PLAN ORIENTATION (I.E. NORTH WALL REFERS TO PLAN NORTH)
- PROVIDE CODE COMPLIANT TRANSITION STRIPS WHERE NEEDED.
- PREP ALL SUB SURFACES TO RECEIVE NEW FINISH PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- ALL FINISHES TO BE SUBMITTED TO OWNER FOR APPROVAL PRIOR TO ORDERING/FABRICATING.
- WHERE FLOOR TRENCHING OCCURS, LEVEL AND PREP NEW CONCRETE SUBSTRATE TO RECEIVE NEW FINISHES PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- ALL DIMENSIONS ARE FROM EXISTING CONDITIONS. VERIFY IN FIELD AND CONTACT ARCHITECT IF DISCREPANCIES PRIOR TO INSTALLATION.
- TRANSITIONS AT DOORWAYS TO OCCUR AT CENTERLINE OF CLOSED DOOR (SEE DETAIL) . PROVIDE FLOOR TRANSITION STRIPS BETWEEN NEW AND EXISTING FLOORING. CONTRACTOR CONFIRM ALL LOCATIONS.

FINISH PLAN LEGEND

- CARPET, CPT1
- LUXURY VINYL TILE, LVT1
- LUXURY VINYL TILE, LVT2
- PORCELAIN FLOOR TILE, T3
- NO WORK THIS AREA

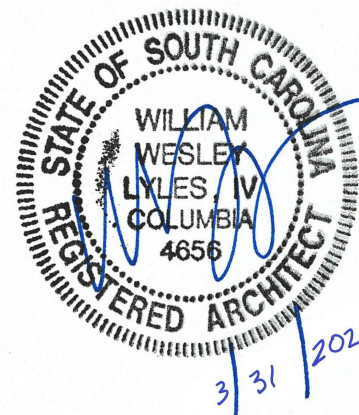


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STUDIO 2LR

STUDIO 2LR, INC.
2428 MAIN STREET
COLUMBIA, SC 29201
P 803.233.6602
STUDIO2LR.COM

UofSC
Aiken



CLIENT NAME
UNIVERSITY OF SOUTH CAROLINA AIKEN
PROJECT NAME
ARTS, HUMANITIES & SOCIAL SCIENCES BLDG RENO
LOCATION
AIKEN, SOUTH CAROLINA

REVISIONS

NO.	DATE	DESCRIPTION
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PROJECT NUMBER 19063

SHEET NUMBER

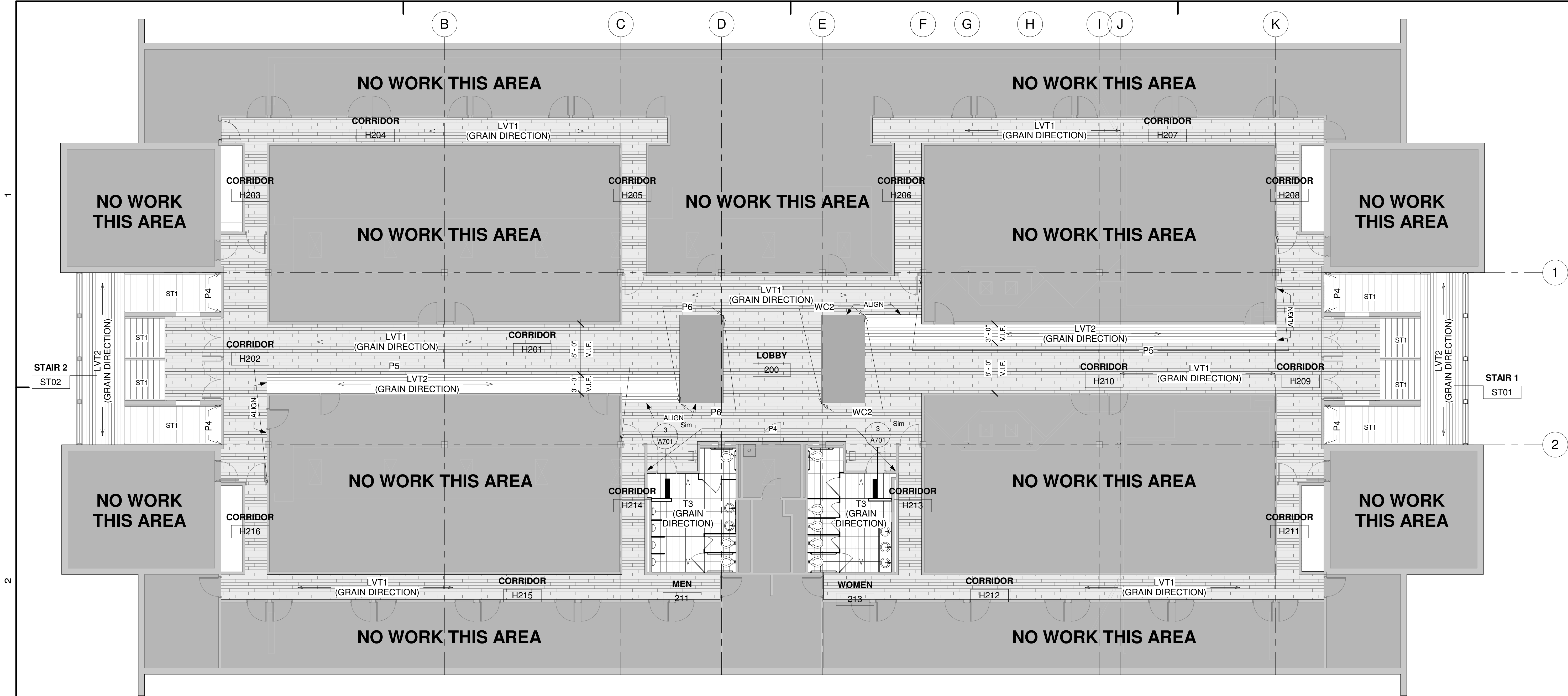
A701

SHEET NAME
1ST FLR FINISH SCHEDULE AND PLAN

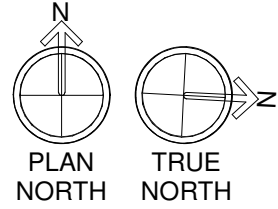
DATE 3/31/2020

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1 SECOND FLOOR - FINISH PLAN
1/8" = 1'-0"



ROOM FINISH SCHEDULE SECOND FLOOR										
NO.	NAME	FLOOR	BASE	CEILING		WALL FINISH				COMMENTS
		MATERIAL	MATERIAL	MATERIAL	FINISH	NORTH	SOUTH	EAST	WEST	
200	LOBBY	LVT1	B2	EXIST	EXIST	P1	P4	WC2	P6	WC2 TO WRAP ELEVATOR CORE
211	MEN	T3	B1	ACT	MFR	P2	P2	T2	T1	SEE FINISH PLAN THIS SHEET, INTERIOR ELEVATIONS SHEET A401, AND FINISH SPECIFICATIONS SHEET A700 FOR FLOOR AND WALL TILE INSTALLATION PATTERNS
213	WOMEN	T3	B1	ACT	MFR	P2	P2	T2	T1	SEE FINISH PLAN THIS SHEET, INTERIOR ELEVATIONS SHEET A401, AND FINISH SPECIFICATIONS SHEET A700 FOR FLOOR AND WALL TILE INSTALLATION PATTERNS
H201	CORRIDOR	LVT1/LVT2	B2	EXIST	EXIST	P1	P1	P6	P1	SEE FINISH PLAN FOR LVT FLOOR PATTERN
H202	CORRIDOR	LVT1	B2	EXIST	EXIST	P1	P1	P1	P1	
H203	CORRIDOR	LVT1	B2	EXIST	EXIST	P1	P1	P1	P1	
H204	CORRIDOR	LVT1	B2	EXIST	EXIST	P1	P1	P1	P1	
H205	CORRIDOR	LVT1	B2	EXIST	EXIST	P1	P1	P1	P1	
H206	CORRIDOR	LVT1	B2	EXIST	EXIST	P1	P1	P1	P1	
H207	CORRIDOR	LVT1	B2	EXIST	EXIST	P1	P1	P1	P1	
H208	CORRIDOR	LVT1	B2	EXIST	EXIST	P1	P1	P1	P1	
H209	CORRIDOR	LVT1	B2	EXIST	EXIST	P1	P1	P1	P1	
H210	CORRIDOR	LVT1/LVT2	B2	EXIST	EXIST	P1	P1	P1	WC2	SEE FINISH PLAN FOR LVT FLOOR PATTERN; PAINT ELEVATOR DOORS P8
H211	CORRIDOR	LVT1	B2	EXIST	EXIST	P1	P1	P1	P1	
H212	CORRIDOR	LVT1	B2	EXIST	EXIST	P1	P1	P1	P1	
H213	CORRIDOR	LVT1	B2	EXIST	EXIST	P1	P1	P1	P1	
H214	CORRIDOR	LVT1	B2	EXIST	EXIST	P1	P1	P1	P1	
H215	CORRIDOR	LVT1	B2	EXIST	EXIST	P1	P1	P1	P1	
H216	CORRIDOR	LVT1	B2	EXIST	EXIST	P1	P1	P1	P1	
ST01	STAIR 1	ST1/LVT2	B3	EXIST	EXIST	--	--	P5	P1/P4	LVT2 AT STAIR LANDING; PAINT SHEETROCK BELOW WINDOWS P5; PAINT HANDRAILS AND BALUSTERS P8; LEAVE ALL EXPOSED BRICK AS EXISTING.
ST02	STAIR 2	ST1/LVT2	B3	EXIST	EXIST	--	--	P1/P4	P5	LVT2 AT STAIR LANDING; PAINT SHEETROCK BELOW WINDOWS P5; PAINT HANDRAILS AND BALUSTERS P8; LEAVE ALL EXPOSED BRICK AS EXISTING.

FINISH PLAN LEGEND

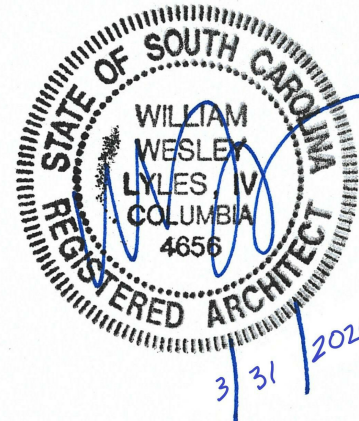
-
- CARPET, CPT1
-
- LUXURY VINYL TILE, LVT1
-
- LUXURY VINYL TILE, LVT2
-
- PORCELAIN FLOOR TILE, T3
-
- NO WORK THIS AREA

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LOCATION
AIKEN, SOUTH CAROLINA

REVISIONS

NO.	DATE	DESCRIPTION
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PROJECT NUMBER 19063

SHEET NUMBER

A702

SHEET NAME
2ND FLR FINISH SCHEDULE AND PLAN

DATE 3/31/2020

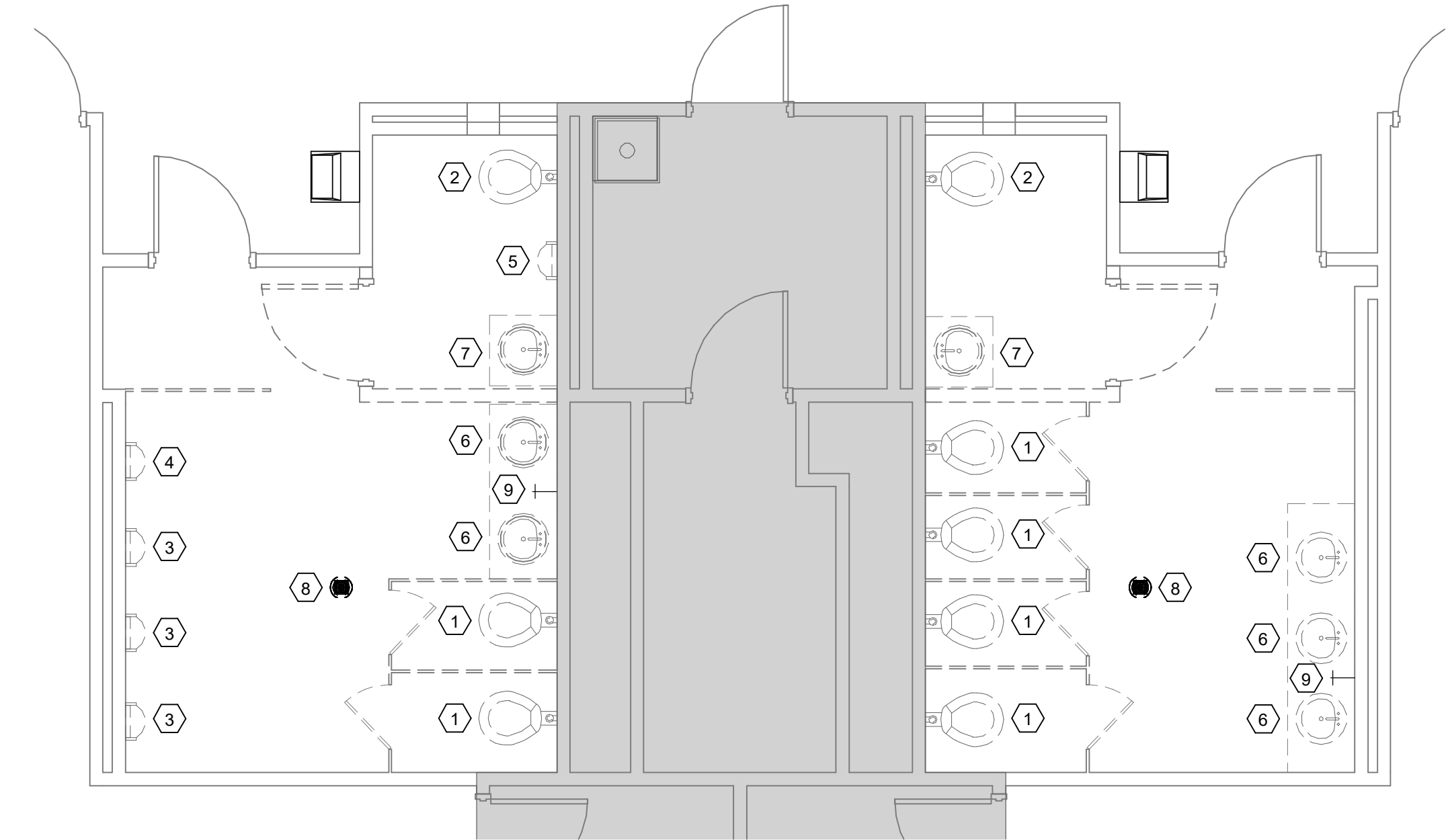
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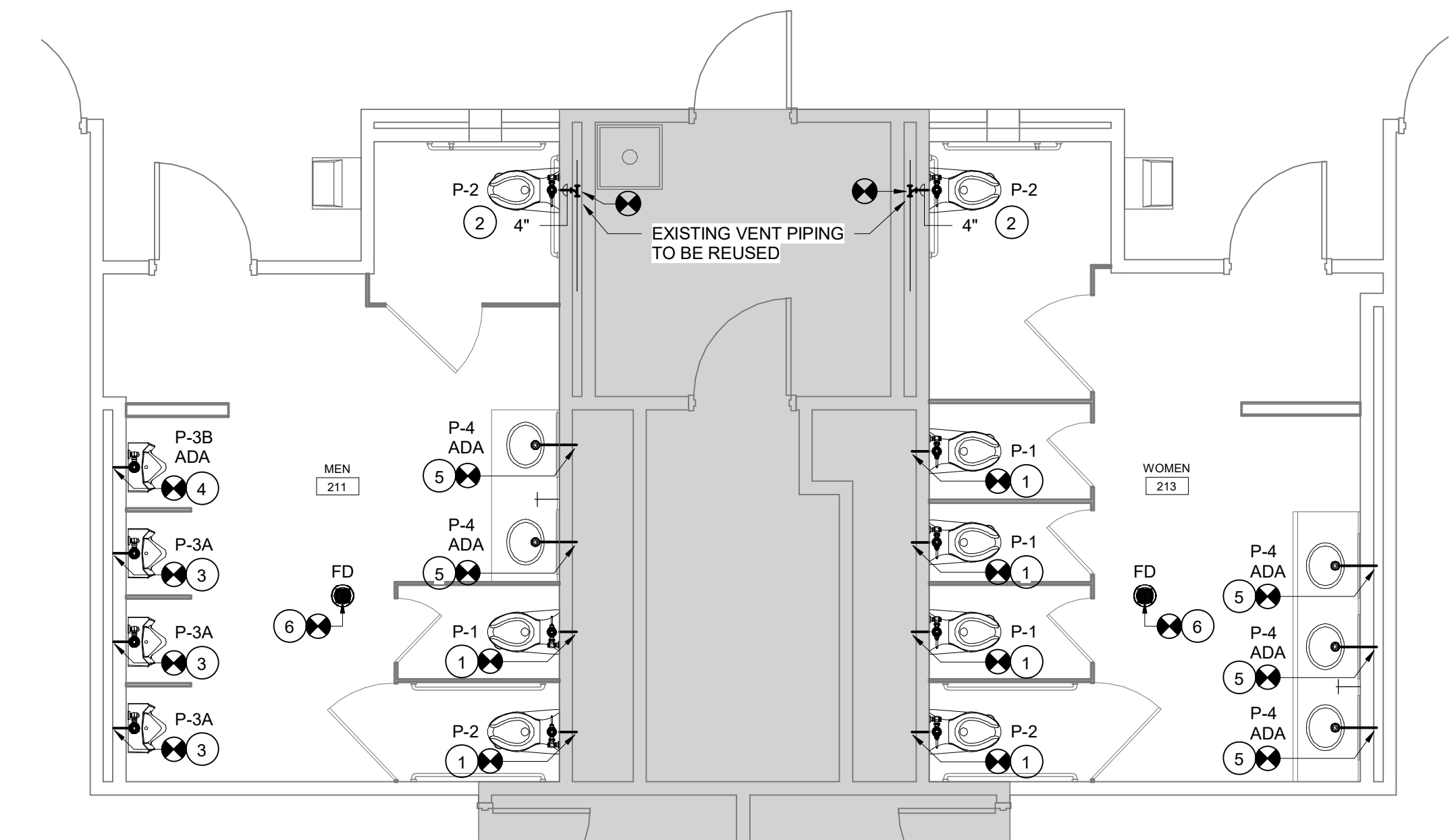
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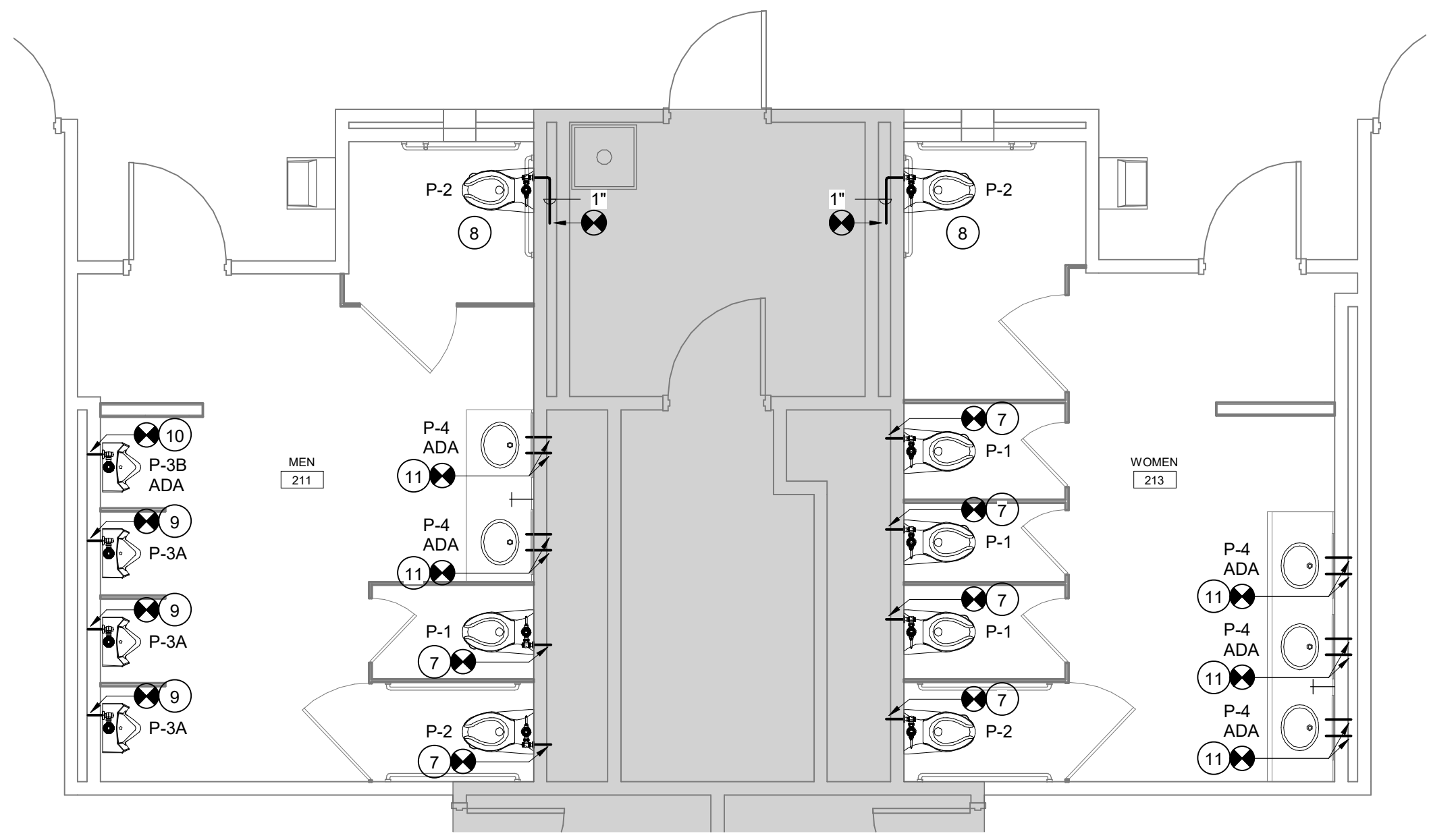
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1 SECOND FLOOR - TOILETS 211 & 213 DEMOLITION - ALTERNATE #1
P101 1/4" = 1'-0"



2 SECOND FLOOR - TOILETS 211 & 213 RENOVATION - ALTERNATE #1
P101 1/4" = 1'-0"



3 SECOND FLOOR - TOILETS 211 & 213 RENOVATION - ALTERNATE #1
P101 1/4" = 1'-0"

DEMOLITION NOTES

- EXISTING WATER CLOSET TO BE REMOVED COMPLETE. EXISTING CHAIR CARRIER, SUPPLY, WASTE, AND VENT LINES TO BE REUSED FOR NEW FIXTURE.
- EXISTING WATER CLOSET TO BE REMOVED COMPLETE INCLUDING CHAIR CARRIER. EXISTING WASTE, VENT, AND SUPPLY LINES TO BE REUSED FOR NEW FIXTURE. CAP EXISTING PIPING AS REQUIRED.
- EXISTING URINAL TO BE REMOVED COMPLETE. EXISTING CHAIR CARRIER, SUPPLY, WASTE, AND VENT LINES TO BE REUSED FOR NEW FIXTURE.
- EXISTING URINAL TO BE REMOVED COMPLETE INCLUDING CHAIR CARRIER. EXISTING WASTE, VENT, AND SUPPLY LINES TO BE REUSED FOR NEW FIXTURE. CAP EXISTING PIPING AS REQUIRED.
- EXISTING URINAL TO BE REMOVED COMPLETE. CAP EXISTING PIPING AS REQUIRED.
- EXISTING LAVATORY TO BE REMOVED COMPLETE. EXISTING WASTE, VENT, AND SUPPLY LINES TO BE REUSED FOR NEW FIXTURE.
- EXISTING LAVATORY TO BE REMOVED COMPLETE. CAP EXISTING PIPING AS REQUIRED.
- EXISTING FLOOR DRAIN TO BE REMOVED COMPLETE. EXISTING WASTE PIPING TO BE REUSED FOR NEW FLOOR DRAIN.
- EXISTING HOSE BIB TO REMAIN.

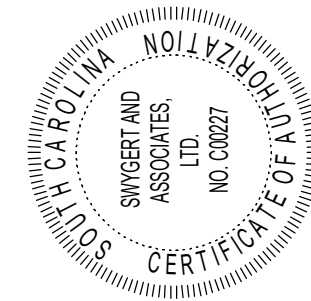
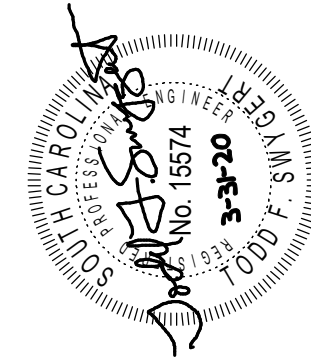
NOTES TO SHEET

- RECONNECT TO EXISTING SANITARY WASTE LINE SERVING REMOVED WATER CLOSET. TRANSITION AS REQUIRED.
- RECONNECT TO EXISTING SANITARY WASTE LINE SERVING REMOVED WATER CLOSET. ADJUST FOR NEW FIXTURE HEIGHT AND TRANSITION AS REQUIRED.
- RECONNECT TO EXISTING SANITARY WASTE LINE SERVING REMOVED URINAL. TRANSITION AS REQUIRED.
- RECONNECT TO EXISTING SANITARY WASTE LINE SERVING REMOVED URINAL. ADJUST FOR NEW FIXTURE HEIGHT AND TRANSITION AS REQUIRED.
- RECONNECT TO EXISTING SANITARY WASTE LINE SERVING REMOVED LAVATORY. TRANSITION AS REQUIRED.
- RECONNECT TO EXISTING SANITARY WASTE LINE SERVING REMOVED FLOOR DRAIN. TRANSITION AS REQUIRED.
- RECONNECT TO EXISTING DOMESTIC WATER SUPPLY LINE SERVING REMOVED WATER CLOSET. TRANSITION AS REQUIRED.
- RECONNECT TO EXISTING DOMESTIC WATER SUPPLY LINE SERVING REMOVED WATER CLOSET. ADJUST FOR NEW HEIGHT OF FIXTURE AND TRANSITION AS REQUIRED.
- RECONNECT TO EXISTING DOMESTIC WATER SUPPLY LINE SERVING REMOVED URINAL. TRANSITION AS REQUIRED.
- RECONNECT TO EXISTING DOMESTIC WATER SUPPLY LINE SERVING REMOVED URINAL. ADJUST FOR NEW HEIGHT OF FIXTURE AND TRANSITION AS REQUIRED.
- RECONNECT TO EXISTING DOMESTIC HOT AND COLD WATER LINES SERVING REMOVED LAVATORY. TRANSITION AS REQUIRED.

STUDIO 2LR

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CLIENT NAME	UNIVERSITY OF SOUTH CAROLINA AIKEN
PROJECT NAME	ARTS, HUMANITIES & SOCIAL SCIENCES BLDG RENO
LOCATION	AIKEN, SOUTH CAROLINA

REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT NUMBER	19063
SHEET NUMBER	P101
SHEET NAME	FLOOR PLANS
DATE	3/31/2020

Swygert & Associates
CONSULTING ENGINEERS

DBA Swygert & Assoc., Ltd. Telephone: (803) 791-8300
Post Office Box 11686 Facsimile: (803) 791-8830
Columbia, S.C. 29211 mail@swygertassociates.com

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PLUMBING FIXTURE SCHEDULE								
P. NO.	FIXTURE	MFG.	NAME	MFGRS. NO.	SIZE	MIN. SUPPLY		REMARKS
						CW	HW	
P-1	WATER CLOSET	KOHLER	KINGSTON	K-4325	---	1"	--	WITH SLOAN MODEL G2-8111 BATTERY POWERED SENSOR FLUSH VALVE, BENEKE 527 SEAT, AND BOLT CAPS. RECONNECT TO EXISTING CHAIR CARRIER.
P-2	WATER CLOSET	KOHLER	KINGSTON	K-4325	---	1"	--	WITH SLOAN MODEL G2-8111 BATTERY POWERED SENSOR FLUSH VALVE, BENEKE 527 SEAT, CHAIR CARRIER, AND BOLT CAPS.
P-3A	URINAL	KOHLER	BARDON	K-4991-ET	---	3/4"	--	WITH SLOAN MODEL G2-8186 BATTERY POWERED SENSOR FLUSH VALVE. RECONNECT TO EXISTING CHAIR CARRIER.
P-3B	URINAL	KOHLER	BARDON	K-4991-ET	---	3/4"	--	WITH SLOAN MODEL G2-8186 BATTERY POWERED SENSOR FLUSH VALVE AND CHAIR CARRIER.
P-4	LAVATORY	KOHLER	CAXTON	K-2210	17"x14"	3/8"	3/8"	UNDERCOUNTER MOUNTED WITH DELTA MODEL 590LF-HGMHDF SENSOR FAUCET, WATTS SERIES LFUSG-B ASSE 1070 APPROVED MIXING VALVE, McGUIRE 155 GRID DRAIN, McGUIRE H165 3/8" CAST BRASS SUPPLIES WITH STOPS, AND McGUIRE 8872 1-1/4" P-TRAP.
FD	FLOOR DRAIN	ZURN	---	ZN-415-S	---	--	--	WITH 5"x5" NICKLE BRONZE STRAINER, P-TRAP, AND PROSET, OR APPROVED EQUAL, TRAP GUARD.
NOTE: SEE ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS OF ALL WALL MOUNTED FIXTURES.								

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED ACCORDING TO ALL LOCAL, STATE, NATIONAL CODES, AND THE 2018 INTERNATIONAL PLUMBING CODE.
- DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS, FIXTURE LOCATIONS, ETC.
- EXCEPT WHERE PIPE SPACE IS PROVIDED OR UNLESS NOTED OTHERWISE, ALL SUPPLY, WASTE AND VENT RISERS SHALL BE RUN IN WALLS AND PARTITIONS.
- COORDINATE CLOSELY WITH ALL WORK DONE UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID INTERFERENCE AND CONFLICT.
- EXPOSED WASTE AND WATER PIPING UNDER LAVATORIES MARKED "ADA" SHALL BE INSULATED WITH HANDI LAV-GUARD KIT MODEL NUMBER 102 E-Z AS MANUFACTURED BY TRUEBRO, INC., OR APPROVED EQUAL.
- ALL PIPING INSULATION SHALL BE RUN CONTINUOUSLY.

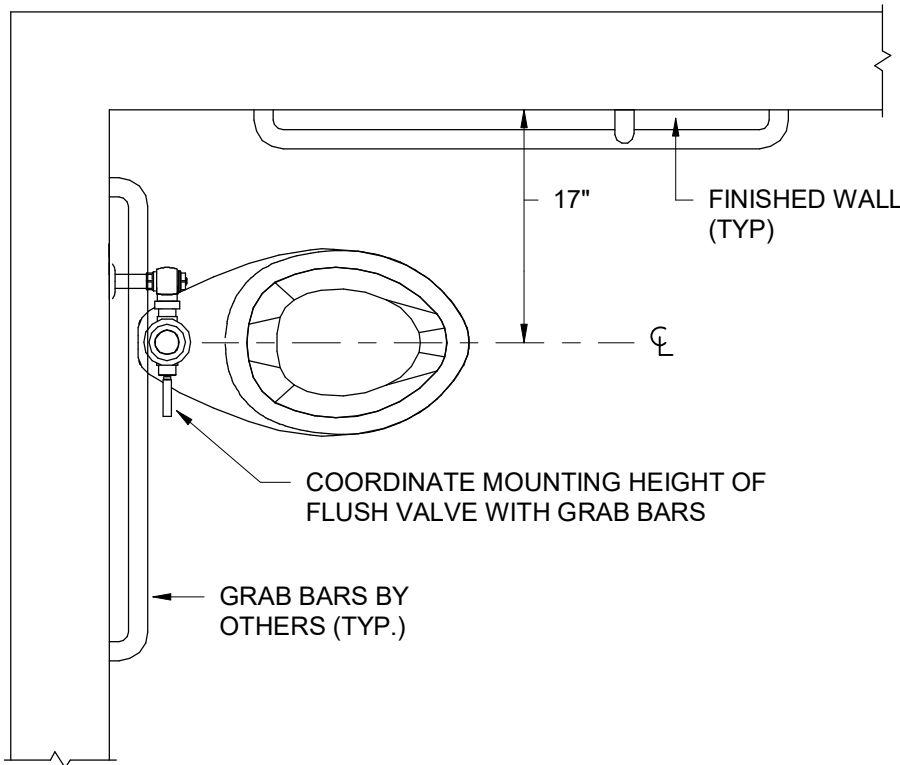
SPECIFICATIONS

WASTE AND VENT PIPING:
ALL WASTE AND VENT PIPING SHALL BE STANDARD WEIGHT HUBLESS CAST IRON WITH HEAVY DUTY CLAMPS BY HUSKY OR MISSION.

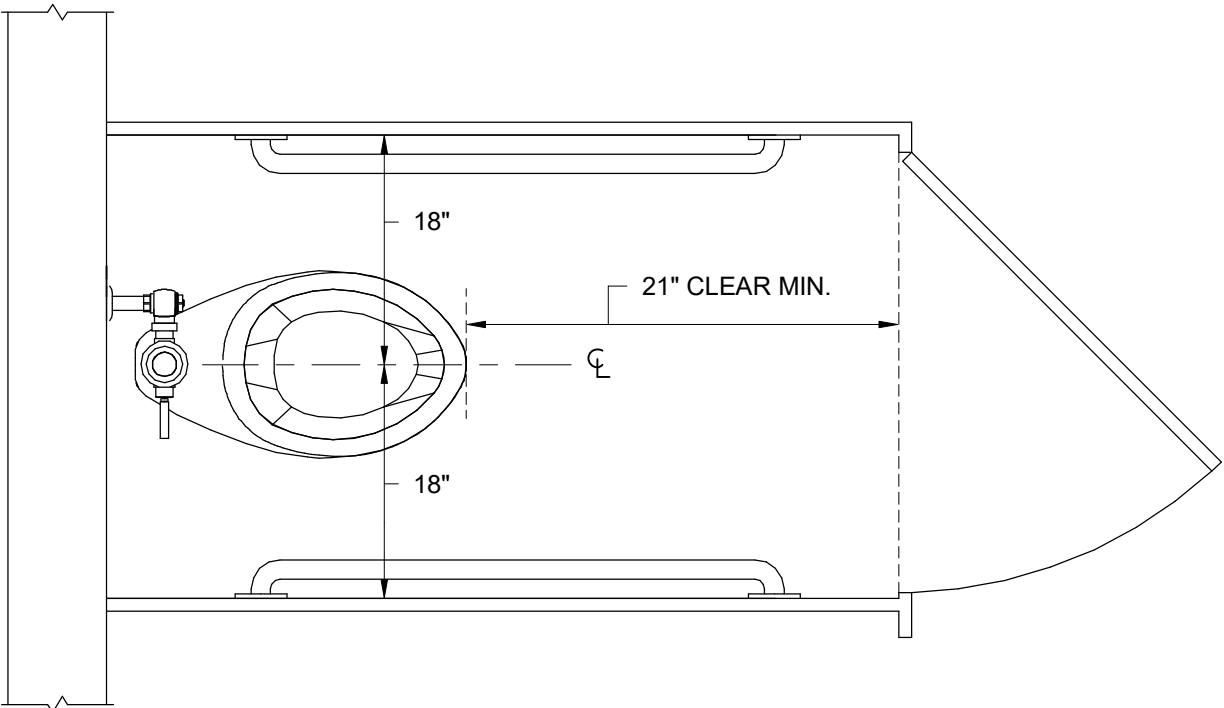
SUPPLY PIPING:
ALL SUPPLY PIPING SHALL BE TYPE L COPPER WITH LEAD FREE JOINTS. INSULATE ALL SUPPLY PIPING WITH 1" THICK FIBERGLASS INSULATION WITH ALL SERVICE JACKET.

LEGEND

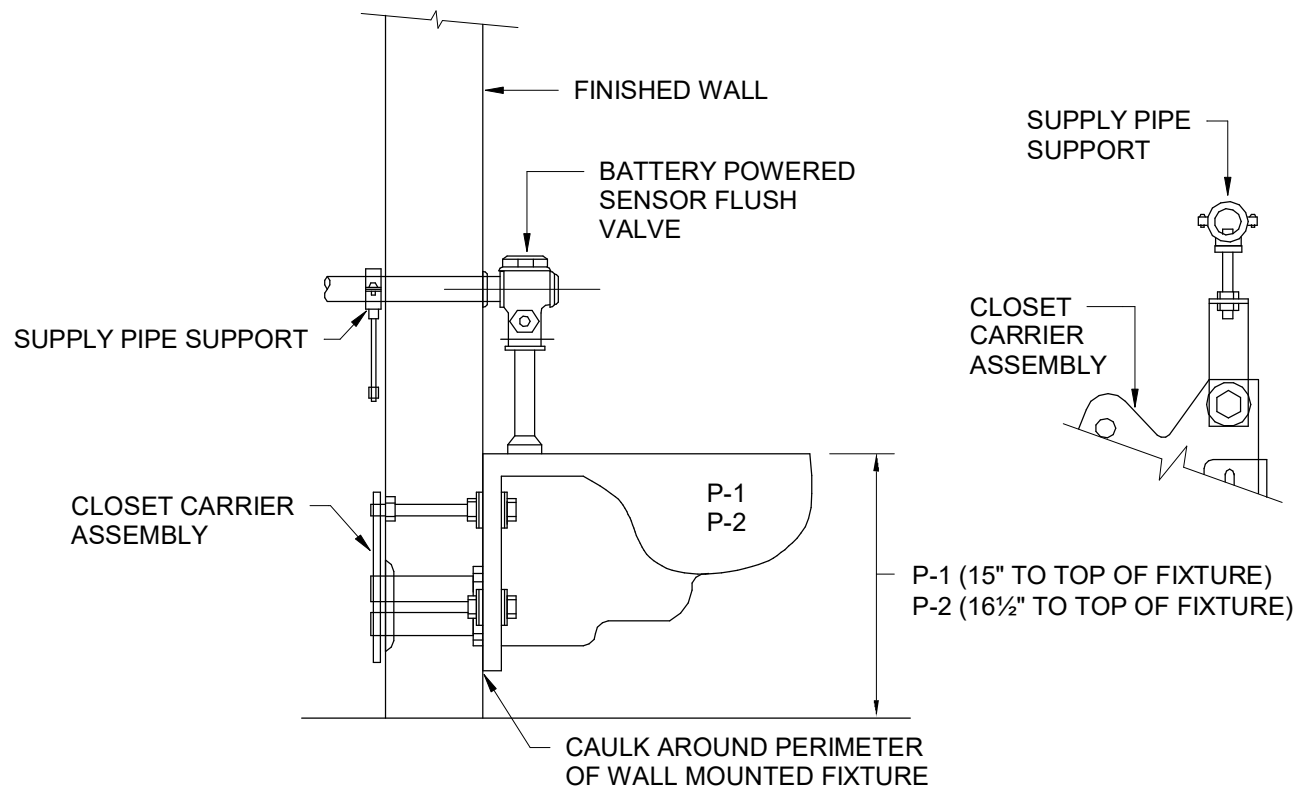
SYMBOL	DESCRIPTION
	SANITARY WASTE LINE
	DOMESTIC COLD WATER LINE
	DOMESTIC HOT WATER LINE
	PIPE TURNS TO, AWAY
ADA	FIXTURE FOR USE ACCORDING TO THE AMERICANS WITH DISABILITIES ACT
	CONNECTION POINT OF NEW TO EXISTING



ADA PLAN VIEW (WHEELCHAIR ACCESS)



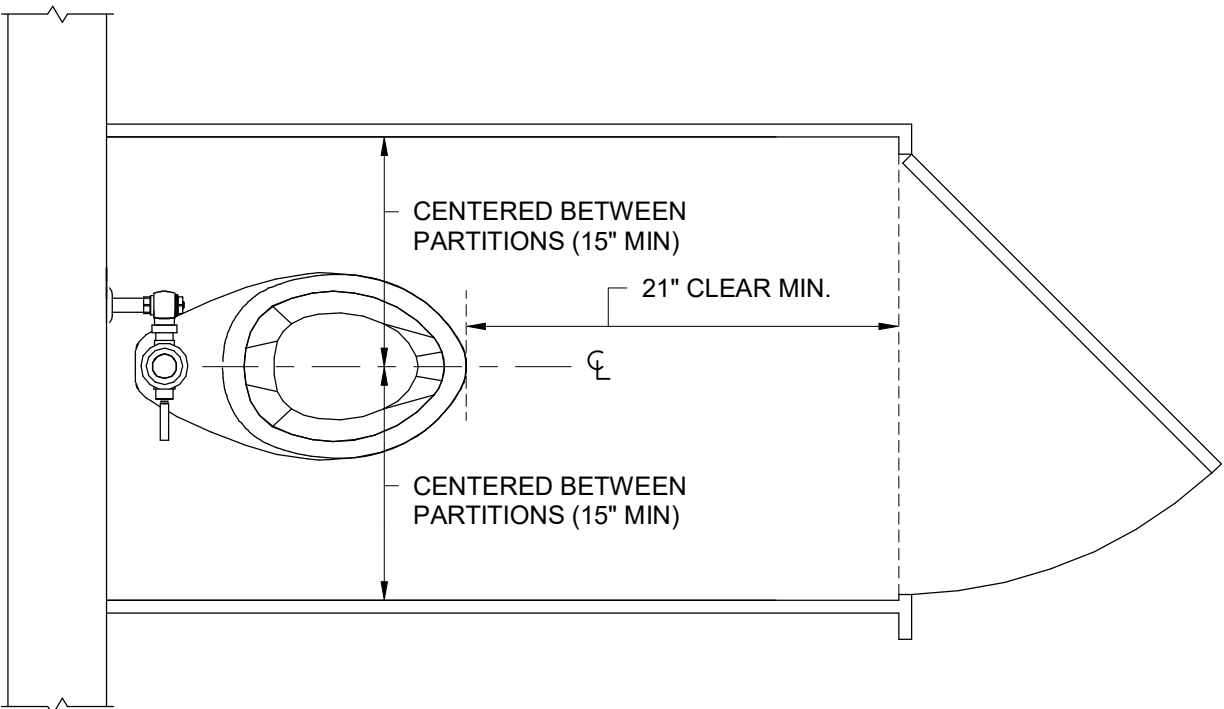
ADA PLAN VIEW (AMBULATORY ACCESS)



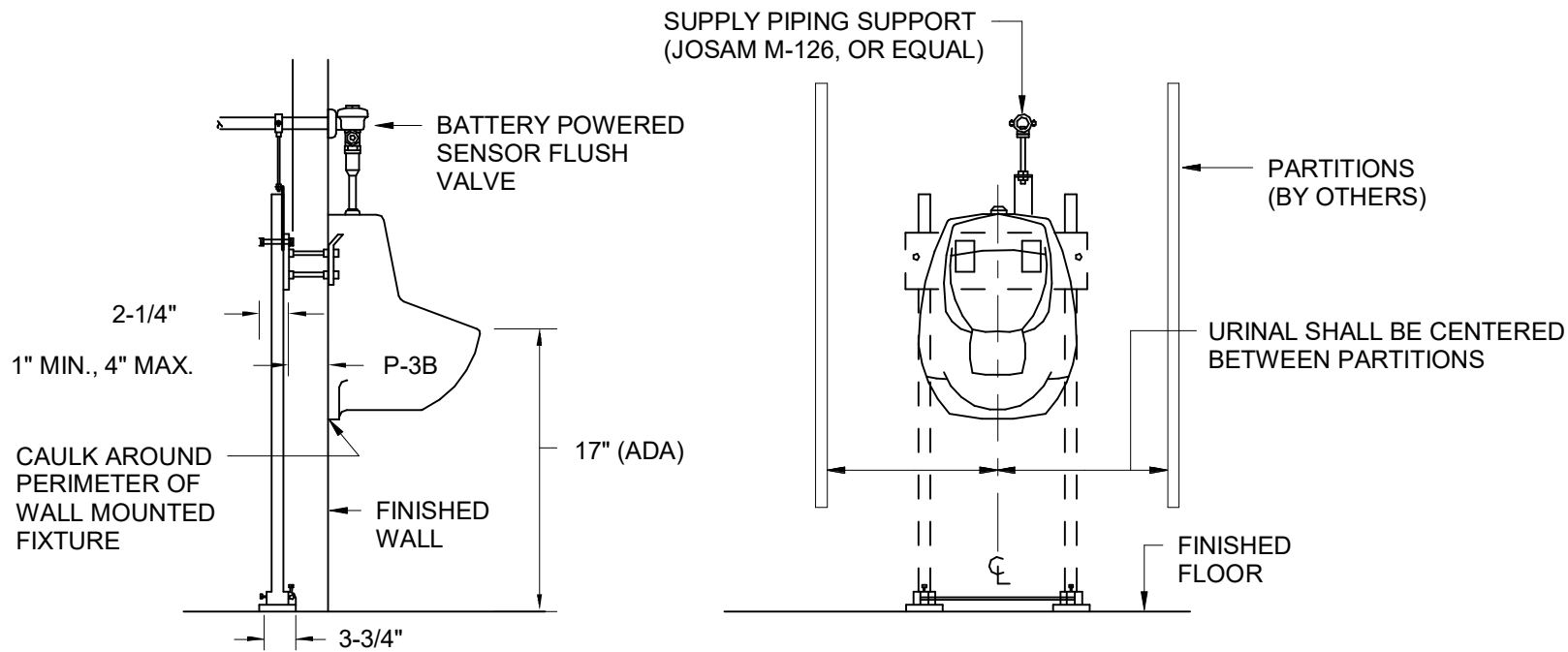
ELEVATION VIEW

WATER CLOSET MOUNTING AND SUPPLY DETAILS

NO SCALE



PLAN VIEW (STANDARD ACCESS)



TYPICAL URINAL SUPPORT

NO SCALE

Swygert & Associates
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Columbia, S.C. 29211 mail@swygert-associates.com

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REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NUMBER 19063

SHEET NUMBER

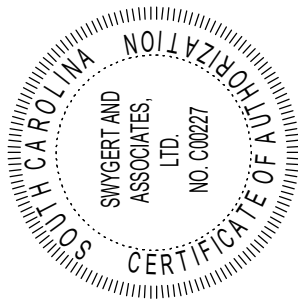
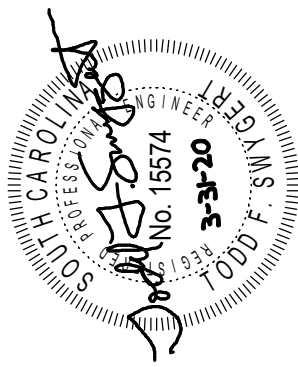
P201

SHEET NAME
DETAILS, NOTES,
SCHEDULE, & LEGEND

DATE 3/31/2020

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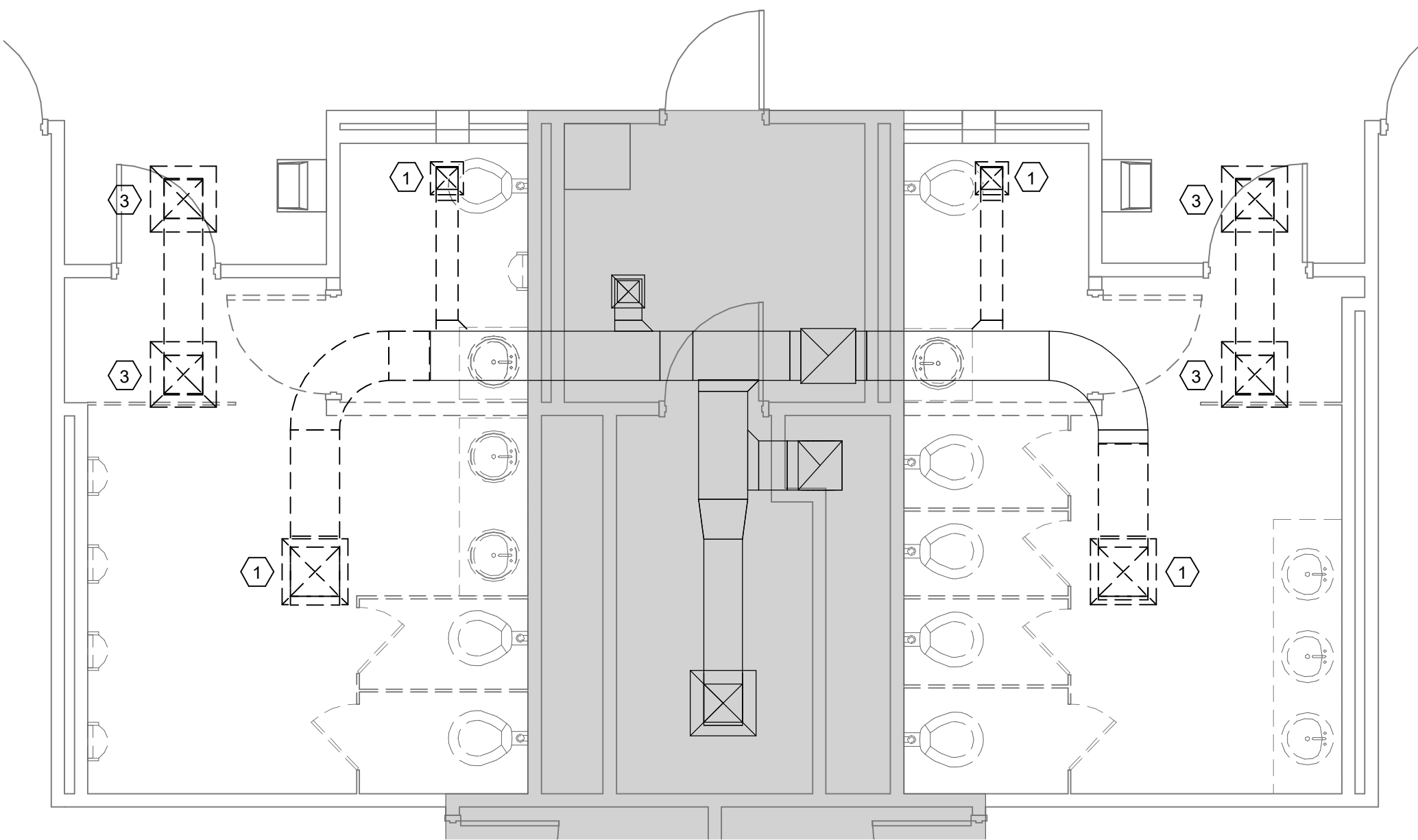
CLIENT NAME
UNIVERSITY OF SOUTH CAROLINA AIKEN

PROJECT NAME
ARTS, HUMANITIES & SOCIAL SCIENCES BLDG RENO

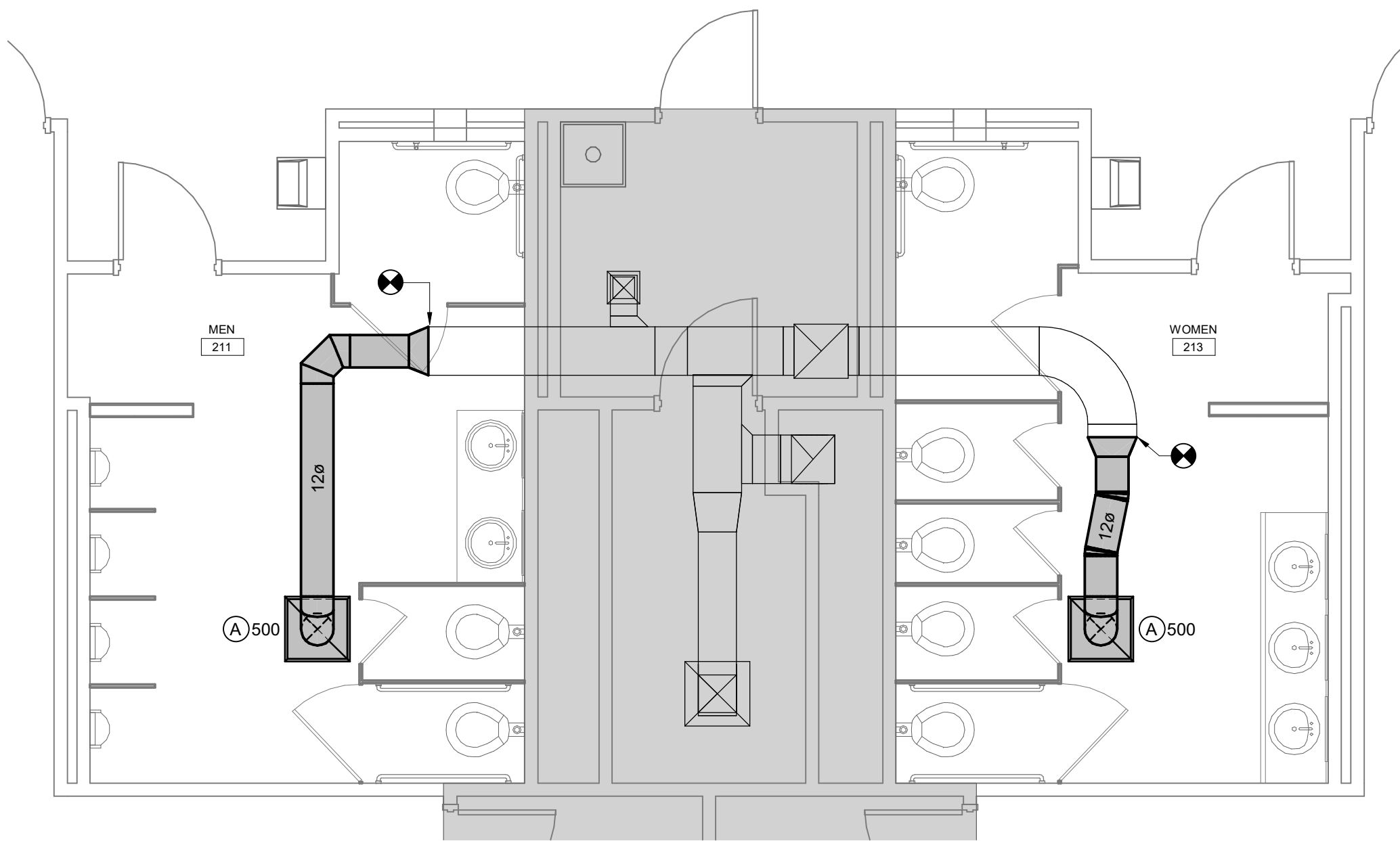
LOCATION
AIKEN, SOUTH CAROLINA

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1
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3



1 SECOND FLOOR - TOILETS 211 & 213 DEMOLITION - ALTERNATE #1
M101 1/4" = 1'-0"



2 SECOND FLOOR - TOILETS 211 & 213 RENOVATION - ALTERNATE #1
M101 1/4" = 1'-0"

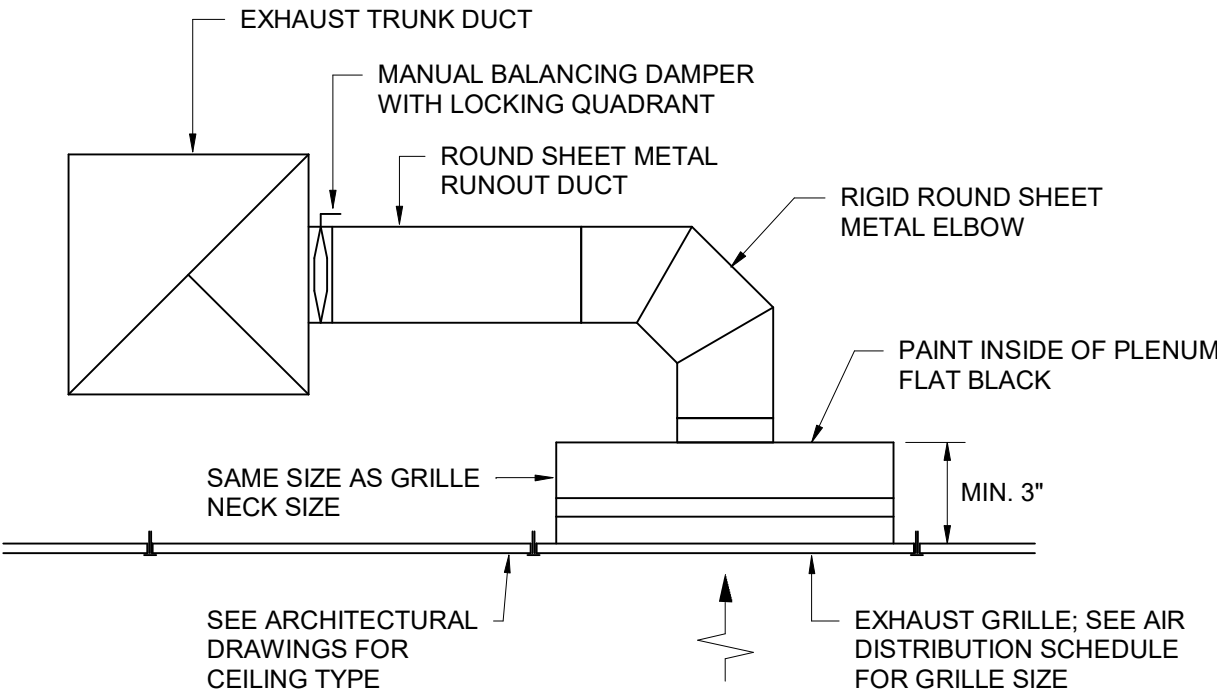
AIR DISTRIBUTION SCHEDULE									
TAG	DESCRIPTION	MANUFACTURER	MODEL	FRAME	CFM	NECK SIZE	FACE SIZE	MAX NC	REMARKS
(A)	PERFORATED EXHAUST	PRICE	APDDR	LAY-IN	0-1000	22"x22"	24"x24"	30	1, 2
1. PROVIDE WITH STANDARD WHITE FINISH. 2. PROVIDE ALUMINUM OR ALUMINIZED STEEL CONSTRUCTION.									

DEMOLITION NOTES	
1	REMOVE EXHAUST GRILLE AND RUNOUT DUCT. PATCH TRUNK DUCT AND SEAL AS REQUIRED.
2	REMOVE SUPPLY GRILLE AND RUNOUT DUCT. PATCH TRUNK DUCT AND SEAL AS REQUIRED.
3	REMOVE TRANSFER DUCT AND GRILLES.

LEGEND	
SYMBOL	DESCRIPTION
(A) 100	TYPE "A" DIFFUSER, 100 CFM
	EXHAUST DUCTWORK
48x24	48"x24" RECTANGULAR DUCT
	CONNECTION POINT OF NEW TO EXISTING

GENERAL NOTES	
1.	ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE, 2009 INTERNATIONAL ENERGY CONSERVATION CODE, AND 2006 SMACNA HVAC DUCT CONSTRUCTION STANDARD. ALL LOCAL CODES OR REQUIREMENTS STILL APPLY.
2.	VISIT SITE PRIOR TO BIDDING. THIS CONTRACTOR SHALL DETERMINE DIFFICULTY OF INSTALLATION AND REFLECT THIS IN HIS BIDDING.
3.	DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF DOORS, WINDOWS, AIR DISTRIBUTION, ETC.
4.	DO NOT SCALE DRAWINGS. THIS CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND LOCATIONS IN THE FIELD.
5.	ALL DUCTWORK LOCATIONS SHALL BE COORDINATED WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID INTERFERENCE.
6.	WHERE 2'X2' LAY IN GRILLES ARE SPECIFIED IN HARD CEILINGS, A PLASTER FRAME SHALL BE PROVIDED SO THE GRILLE CAN LAY IN THE CEILING.
7.	EXHAUST DUCTS SHALL BE RIGID SHEET METAL ONLY. FLEXIBLE DUCT SHALL NOT BE USED FOR EXHAUST.
8.	THIS CONTRACTOR SHALL PROVIDE ALL ITEMS OF MISCELLANEOUS STEEL AS REQUIRED FOR INSTALLATION OF ALL MECHANICAL ITEMS.
9.	THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY DISMANTLING OF EQUIPMENT TO BE REMOVED.
10.	ITEMS REMOVED UNDER THIS CONTRACT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY.
11.	THIS CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING HVAC SYSTEMS FROM CONSTRUCTION DEBRIS, DUST AND DIRT FOR THE ENTIRE CONSTRUCTION DURATION. DUCT CLEANING AND UNIT/COIL CLEANING SHALL BE PERFORMED AS REQUIRED. PROTECTION SHALL INCLUDE FILTER MEDIA OVER ALL RETURN GRILLES AND RETURN DUCT OPENINGS TO PROTECT DUCTS AND EQUIPMENT.

SPECIFICATIONS	
1.	ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE, 2009 INTERNATIONAL ENERGY CONSERVATION CODE, AND 2006 SMACNA HVAC DUCT CONSTRUCTION STANDARD. ALL LOCAL CODES OR REQUIREMENTS STILL APPLY.
2.	ALL RECTANGULAR DUCT SHALL BE TYPE G-60 GALVANIZED SHEET METAL, SEALED WITH LOW PRESSURE DUCT MASTIC. ROUND DUCTS SHALL BE GALVANIZED SHEET METAL SEALED WITH LOW PRESSURE DUCT MASTIC. LOCKING QUADRANT BALANCING DAMPERS SHALL BE INSTALLED IN EACH BRANCH TAKEOFF AT THE MAIN TRUNK DUCT. FLEXIBLE DUCT SHALL NOT EXCEED 5' IN LENGTH AND SHALL BE EQUAL TO FLEXMASTER TYPE 1M.
3.	SUPPLY DUCTS SHALL BE INSULATED WITH 2" THICK, 3/4" DENSITY DUCT WRAP. DUCT WRAP SHALL BE SEALED WITH FIBERGLASS REINFORCING MESH, STAPLES AND MASTIC AT THE JOINTS.
4.	SUBMIT ALL EQUIPMENT AND PRODUCTS PROPOSED TO BE USED FOR THIS PROJECT PRIOR TO ORDERING. SUBMIT SIX COPIES OF DATA SHEETS TO THE ENGINEER, BOUND IN A SINGLE VOLUME FOR APPROVAL.
5.	SUBMIT A CERTIFIED ABB OR NEBB TEST AND BALANCE REPORT AT PROJECT COMPLETION PRIOR TO FINAL ACCEPTANCE. BALANCE FAN AIR VOLUMES TO WITHIN 5% OF DESIGN AND DIFFUSER AIR VOLUMES TO WITHIN 10% OF DESIGN.
6.	ALL EQUIPMENT, PRODUCTS AND WORK SHALL BE GUARANTEED TO BE FREE OF DEFECTS IN MANUFACTURE AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. ALL REPAIRS WILL BE MADE AT NO COST TO THE OWNER.



EXHAUST GRILLE DETAIL
NO SCALE

ISSUED FOR BIDDING, MARCH 31, 2020

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CONSULTING ENGINEERS

DBA Swygert & Assoc., Ltd. Telephone: (803) 791-4300
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Aiken

CLIENT NAME
UNIVERSITY OF SOUTH CAROLINA AIKEN

PROJECT NAME
ARTS, HUMANITIES & SOCIAL SCIENCES BLDG RENO

LOCATION
AIKEN, SOUTH CAROLINA

REVISIONS

NO. DATE DESCRIPTION

PROJECT NUMBER 19063

SHEET NUMBER M101

SHEET NAME FLOOR PLANS, NOTES, AND DETAILS

DATE 3/31/2020

3



SCALE: $1/8'' = 1'-0''$



SCALE: $1/4" = 1'-0"$



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3-20-2020

GWA, INC.
ELECTRICAL
ENGINEERS
No. C00825

CLIENT NAME
UNIVERSITY OF SOUTH CAROLINA AIKEN

PROJECT NAME

LOCATION
AIKEN SOUTH CAROLINA

NO.	DATE	DESCRIPTION
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NO.	DATE	DESCRIPTION
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PROJECT NUMBER **19063**

SHEET NUMBER

SHEET NUMBER
FD01

ED01

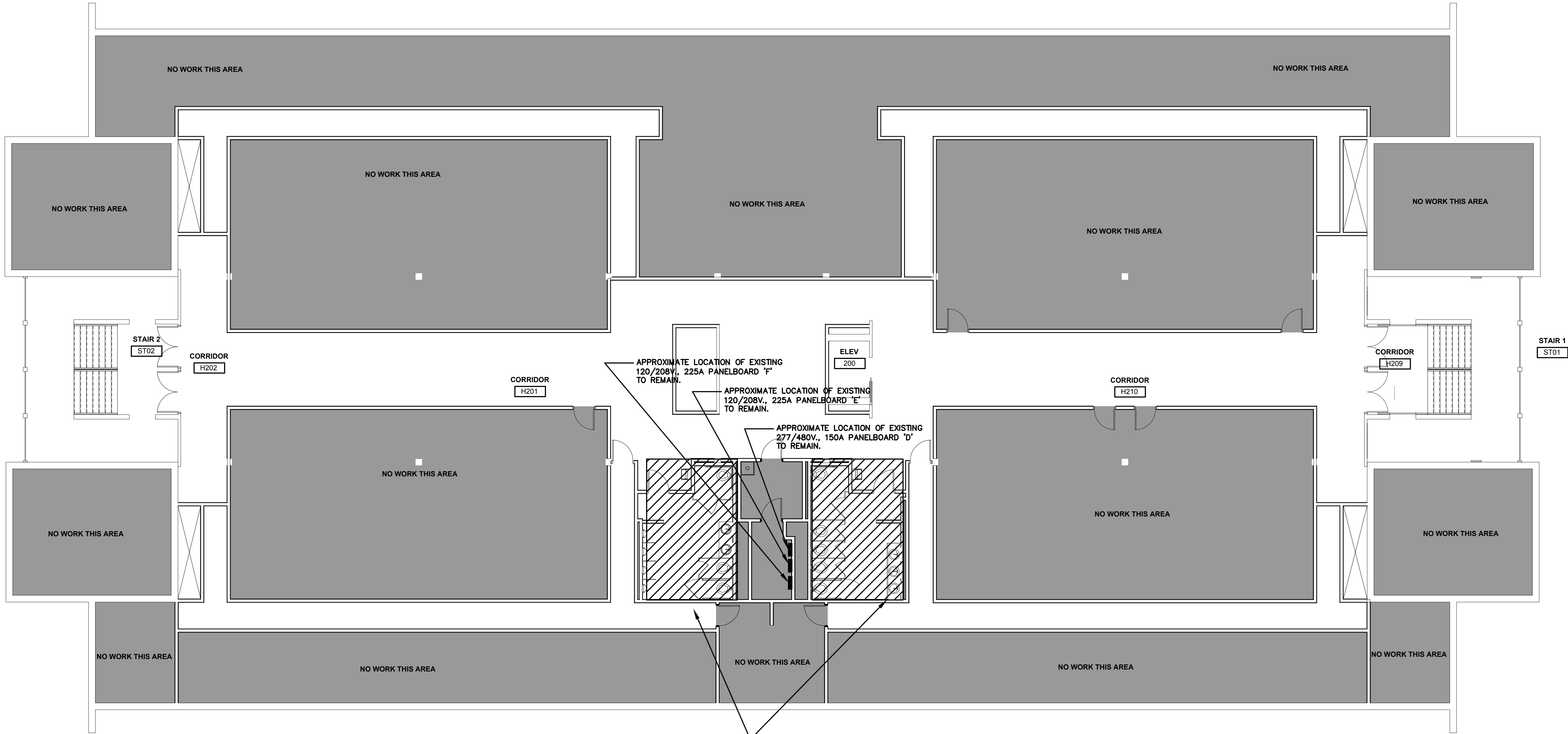
SHEET NAME

**FIRST FLOOR ELECTRICAL
DEMOLITION PLANS - BASE BID**

DATE **3/31/2020**

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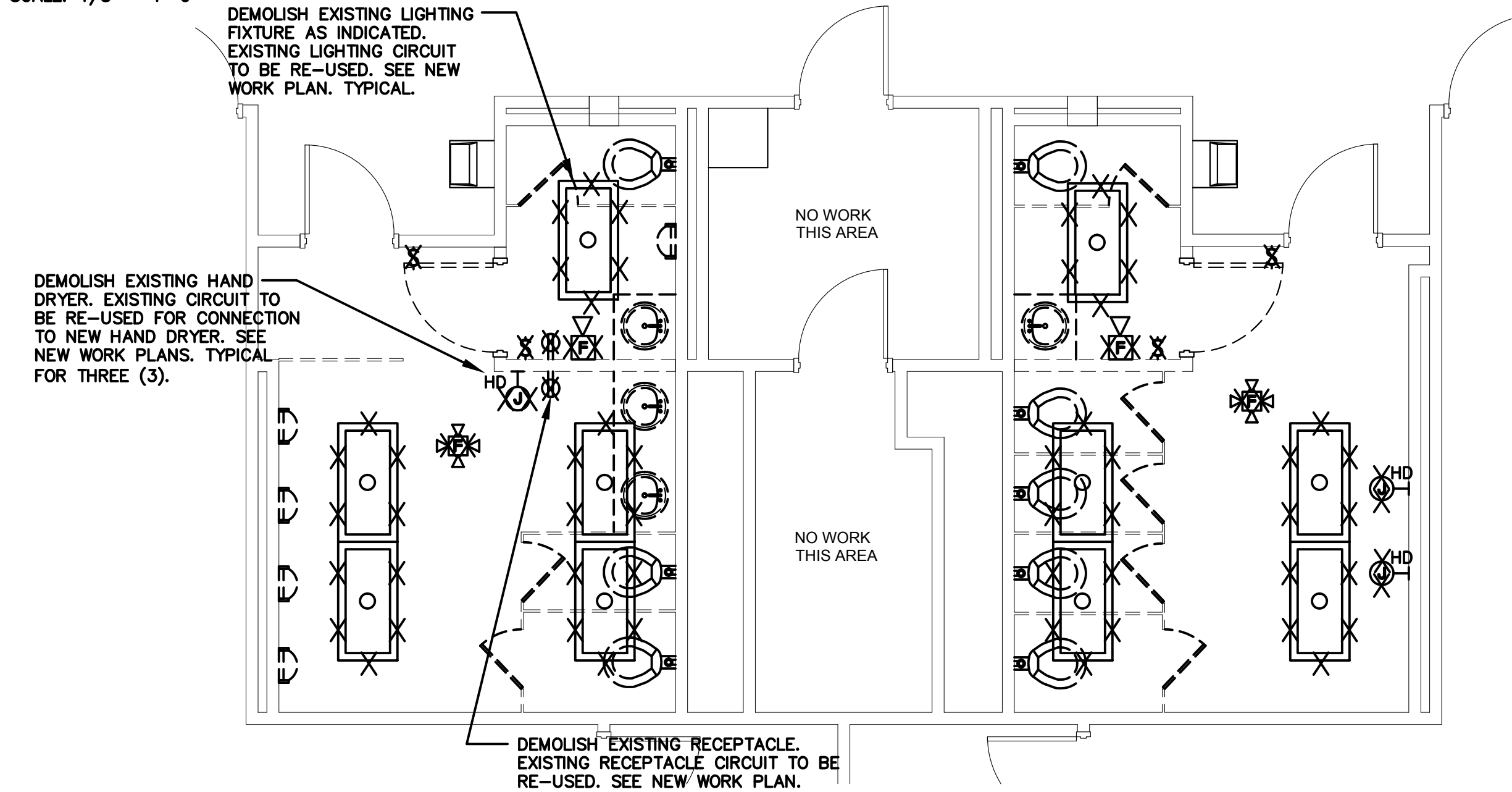
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2
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SPECIAL NOTE: ALL EXISTING LIGHTING FIXTURES SHALL BE EXISTING TO REMAIN UNLESS NOTED OTHERWISE. CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL REFLECTED CEILING PLAN FOR DEMOLITION AND NEW WORK.

SECOND FLOOR OVERALL ELECTRICAL DEOMLITION PLAN - ALTERNATE #1

SCALE: 1/8" = 1'-0"



ELECTRICAL DEMOLITION PLAN - TOILETS 211 AND 213 - ALTERNATE #1

SCALE: 1/4" = 1'-0"

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ELECTRICAL ENGINEERS

No. 000825

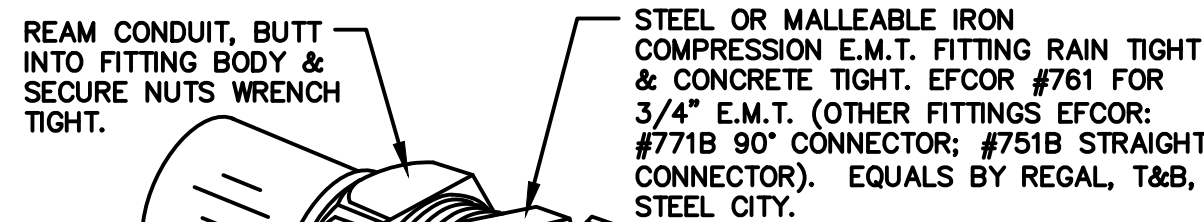
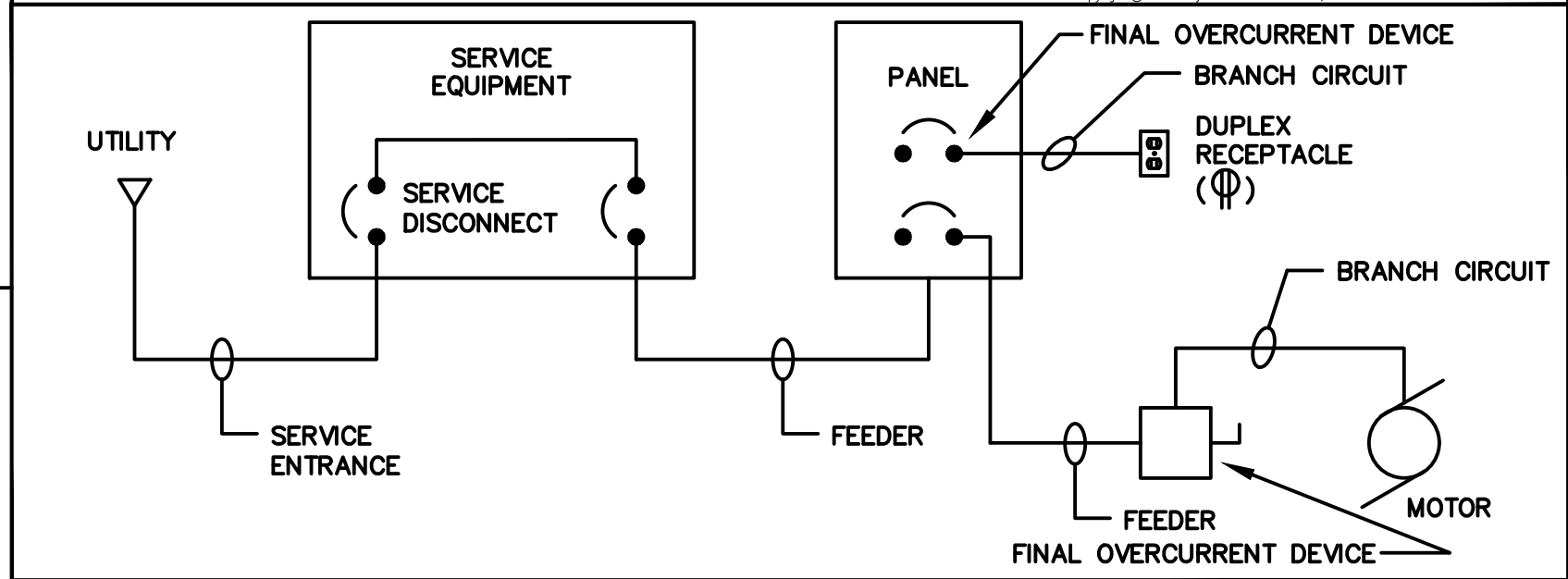
CLIENT NAME	UNIVERSITY OF SOUTH CAROLINA AIKEN
PROJECT NAME	ARTS, HUMANITIES & SOCIAL SCIENCES BLDG RENO
LOCATION	AIKEN, SOUTH CAROLINA

REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT NUMBER	19063
SHEET NUMBER	ED02A
SHEET NAME	SECOND FLOOR ELECTRICAL DEMOLITION PLANS - ALTERNATE #1
DATE	3/31/2020

RACEWAY MATERIAL USE TABLE

APPLICATION	RACEWAY MATERIAL							
	EMT	IMC	GRS	RAC	SCH. 40 PVC	HDPE	AC/MC CABLE (2)	MFD. WIRING
CONTRACTOR MAY USE ANY MATERIAL MARKED (●) FOR APPLICATION LISTED. IF MATERIAL IS NOT MARKED FOR AN APPLICATION, IT SHALL NOT BE USED FOR THAT APPLICATION.								
BRANCH CIRCUITS								
CONCEALED ABOVE CEILING	●	●	●	●			●	
CONCEALED IN WALLS	●	●	●	●			●	
EXPOSED FROM FLOOR TO 7'-0" A.F.F. (INTERIOR)		●	●	●				
EXPOSED FROM 7'-0" A.F.F. AND ABOVE (INTERIOR)	●							
IN OR UNDER CONCRETE FLOORS		(1)	(1)		NOT PERMITTED	NOT PERMITTED		NOT PERMITTED
OUTDOORS - BELOW GRADE		(1)	(1)		NOT PERMITTED	NOT PERMITTED		NOT PERMITTED
OUTDOORS - EXPOSED		●	●	●				
STUB-UPS BELOW PANELS & ENCLOSURES		●	●	●				
FEEDER CONDUITS		●	●	●				
SERVICE ENTRANCE		●	●	●				
(1) WITH BITUMINOUS COATING. SEE SPEC.								
(2) HOME RUNS SHALL BE IN CONDUIT								



COMPRESSION TYPE CONDUIT FITTING
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NO SCALE

ABBREVIATIONS

THE FOLLOWING STANDARD ABBREVIATIONS ARE USED IN THESE PLANS AND SPECIFICATIONS. CONTRACTOR IS CAUTIONED THAT ALL ABBREVIATIONS LISTED MAY NOT BE USED; CONSULT PLANS AND SPECIFICATIONS FOR ABBREVIATIONS APPLICABLE TO THIS PROJECT.

A.F.F.	ABOVE FINISHED FLOOR
B.F.F.	BELOW FINISHED FLOOR
A.F.G.	ABOVE FINISHED GRADE
B.F.G.	BELOW FINISHED GRADE
U.N.O.	UNLESS NOTED OTHERWISE
CKT.	CIRCUIT
C.	CONDUIT
E.C.	EMPTY CONDUIT
FLX.	FLEXIBLE CONDUIT
WFLX	WEATHERPROOF FLEXIBLE CONDUIT
EWC	ELECTRIC WATER COOLER
EHHW	ELECTRIC WATER HEATER
VF	VENTILATING FAN
CEF	VENTILATING FAN (CEILING EXHAUST FAN)
AHU	AIR HANDLING UNIT
FCU	FAN COIL UNIT
CU	CONDENSING UNIT
P	PUMP
HP	HEAT PUMP OR HORSEPOWER

BRANCH CIRCUIT WIRING - HASHMARK CODE

BRANCH CIRCUITS SHOWN ON THESE DRAWINGS MAY INCLUDE HASHMARKS WHICH INDICATE THE NUMBER OF WIRES TO BE PROVIDED IN A CONDUIT RUN BETWEEN OUTLETS OR JUNCTION BOXES. WIRE SIZES SHALL BE AS TABULATED IN PANELBOARD SCHEDULES UNLESS OTHERWISE INDICATED ON PLAN. SEE SYMBOL SCHEDULE FOR CONDUIT ROUTING NOTATION. HASHMARK CODE IS AS FOLLOWS:

EACH PHASE AND NEUTRAL WIRE IN A CONDUIT RUN IS REPRESENTED BY A HASHMARK. FOR EXAMPLE -

→	TWO WIRES (NO HASHMARKS)
≡→	THREE WIRES (3 HASHMARKS)
≡≡→	FOUR WIRES (4 HASHMARKS)
≡≡≡→	FIVE WIRES (5 HASHMARKS)
...	AND SO FORTH.

NOTE: GROUND WIRES ARE NOT GENERALLY SHOWN. EXAMINE SPECIFICATIONS AND GENERAL NOTES TO DETERMINE REQUIREMENTS FOR GROUND WIRES AND WHERE SPECIFIED, PROVIDE IN ADDITION TO THE NUMBER OF WIRES INDICATED BY HASHMARK CODE.

NOTE: CONTRACTOR IS CAUTIONED THAT MULTIWIRE (LINE-TO-NEUTRAL) BRANCH CIRCUITS DO NOT INDICATE ALL REQUIRED NEUTRAL CONDUCTORS. PROVIDE SEPARATE NEUTRAL CONDUCTORS (WITH COLORED STRIPE TO MATCH PHASE CONDUCTOR) FOR EACH PHASE CONDUCTOR.

EMPTY CONDUITS ARE NOTED BY "EC" WITH TRADE SIZE.

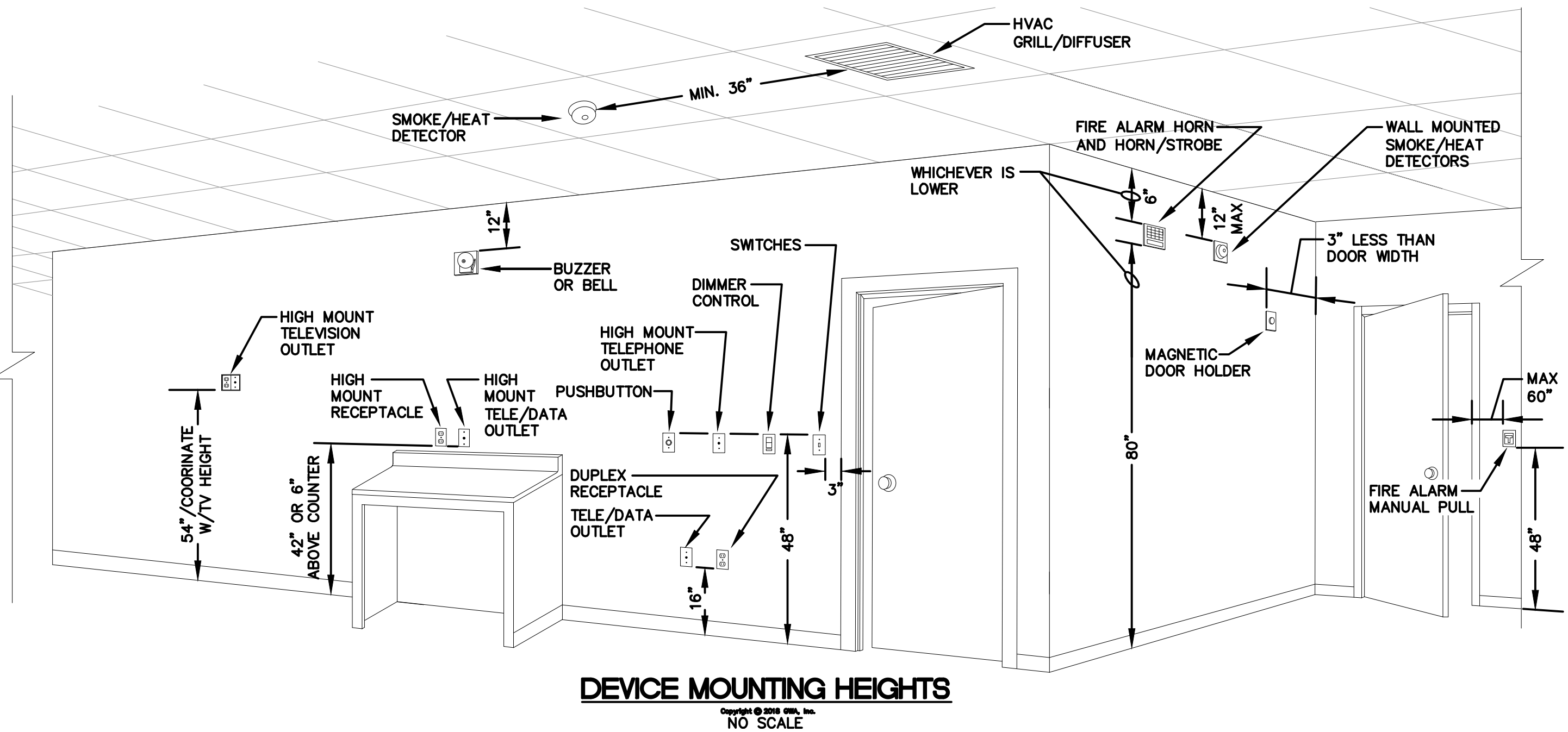
GENERAL NOTES

- DO NOT SCALE DRAWINGS UNLESS DIMENSIONS ARE SHOWN. LOCATE OUTLETS AND EQUIPMENT AS OBVIOUSLY INDICATED AND COORDINATE WITH OTHER TRADES TO AVOID CONFLICTS.
- MINIMUM SIZE CONDUCTOR FOR POWER SHALL BE NO. 12 AWG.
- ALL FUSES SHALL BE DUAL-ELEMENT TYPE, "FUSETRON" BY BUSSMAN, OR "ECON" BY ECONOMY.
- BRANCH CIRCUIT SIZES ARE AWG 12-1/2"C. UNLESS OTHERWISE NOTED IN PANELBOARD SCHEDULES.
- ALL BRANCH CIRCUIT LOADS SHALL BE BALANCED ACROSS PANELBOARD BUSSES TO OBTAIN MINIMUM NEUTRAL CURRENT.
- ALL FLEXIBLE CONDUIT SHALL CONTAIN A GREEN WIRE BONDED TO RIGID RACEWAY, BOX OR FIXTURE AT EACH END OF FLEX. SIZE GROUND WIRE PER N.E.C. TABLE 250-122.
- PROVIDE PULL CORD IN ALL EMPTY RACEWAYS.
- ALL ELECTRICAL WORK ABOVE CEILINGS UTILIZED AS RETURN AIR PLENUMS SHALL COMPLY WITH N.E.C. AND LOCAL CODES FOR WIRING USED IN ENVIRONMENTAL AIR.
- DO NOT MOUNT FLUSH JUNCTION BOXES BACK TO BACK. STAGGER JUNCTION BOXES TO REDUCE SOUND TRANSMISSION BETWEEN ROOMS.
- CONTRACTOR SHALL MINIMIZE REMOVAL OF STRUCTURAL STEEL FIREPROOFING FOR INSTALLATION OF CONDUIT AND EQUIPMENT HANGERS. OBTAIN APPROVAL OF GENERAL CONTRACTOR PRIOR TO REMOVAL.
- COORDINATE WITH OTHER TRADES TO CONCEAL ELECTRICAL WORK AND PROVIDE OUTLETS IN CORRECT LOCATIONS FOR EACH PIECE OF MECHANICAL OR ELECTRICAL EQUIPMENT CONNECTED.
- COORDINATE DEVICE REQUIREMENTS AND MOUNTING HEIGHTS FOR HAND DRYERS, SINKS, THRU-WALL UNITS AND THE LIKE WITH EQUIPMENT FURNISHED.
- CONCEAL OUTLETS FOR ALL EQUIPMENT IN FINISHED AREAS. OBTAIN ROUGHING DIAGRAMS FOR ALL EQUIPMENT AND INSTALL ELECTRICAL WORK IN LOCATIONS AND HEIGHTS ACCORDING TO DIAGRAMS.
- IN GENERAL, REFER TO DETAILS AND SYMBOL SCHEDULE FOR STANDARD DEVICE MOUNTING HEIGHTS. STUDY ARCHITECTURAL ELEVATIONS, SECTIONS AND CASEWORK DETAILS PRIOR TO ROUGHING AND ADJUST MOUNTING TO AVOID CONFLICTS, INCLUDING BACKSPASHES. ALL DEVICE MOUNTING SHALL BE IN ACCORDANCE WITH ADA/ANSI A117.1.
- CONTRACTOR SHALL VERIFY ALL DOOR SWINGS PRIOR TO ROUGHING - LOCATE SWITCHES AND OTHER DEVICES ACCORDINGLY.
- MOUNT BRACKET TYPE LIGHTING FIXTURES AT HEIGHTS SHOWN OR SCHEDULED ON DRAWINGS OR AS DIRECTED ON JOB BY ARCHITECT, U.N.O.
- ALL PENETRATIONS THRU WALLS, FLOORS, BARRIERS, PARTITIONS AND THE LIKE SHALL BE SEALED TIGHT. SEAL ALL PENETRATIONS THRU SMOKE TIGHT PARTITIONS WITH U.L. LISTED ASSEMBLIES OR METHODS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF SMOKE PARTITIONS.
- FIRESTOP ALL RACEWAYS PASSING THRU FIRE-RATED WALLS, FLOORS OR PARTITIONS. USE U.L. LISTED THROUGH-PENETRATION FIRESTOP SYSTEMS APPROPRIATE FOR CONSTRUCTION AND WITH RATING EQUAL TO THAT BEING PENETRATED. SUBMIT SHOP DRAWINGS FOR SYSTEM(S) PROPOSED. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS AND RATINGS.
- OPENINGS GREATER THAN SIXTEEN(16) SQUARE INCHES IN FIRE-RATED WALLS AND PARTITIONS SHALL BE PROTECTED WITH U.L. LISTED SYSTEMS, COMPONENTS AND METHODS AS REQUIRED TO MAINTAIN RATING. PROVIDE PUDDY PADS, LIGHT COVERS, INSERTS, WRAPS, COLLARS AND THE LIKE AS REQUIRED.
- ALL TYPEWRITTEN PANELBOARD DIRECTORIES, FIRE ALARM PROGRAMMING, LIGHTING CONTROL PROGRAMMING, LABELING AND THE LIKE SHALL UTILIZE FINAL OPERATIONAL ROOM NAMING SYSTEM AND SHALL REFLECT FINAL ROOM DESIGNATIONS. COORDINATE WITH ARCHITECT AND OWNER FOR FINAL NAMING.
- HANGER WIRES SHALL NOT CONFLICT/TOUCH OTHER TRADES/EQUIPMENT.

ELECTRICAL SYMBOLS

○	LIGHTING FIXTURE, CEILING (○-WALL MOUNT)	⌘	TOGGLE SWITCH
○	FIXTURE INDICATED, CONNECTED TO EMERGENCY POWER SOURCE	⌘	WALL SWITCH - OCCUPANCY SENSOR 48" UP
○	LIGHTING FIXTURE	⌘	CEILING MOUNTED OCCUPANCY SENSOR
○	LIGHTING FIXTURE, CONNECTED TO EMERGENCY POWER SOURCE	⌘	FIRE ALARM PULL STATION
⊗	EXIT LIGHT	⌘	FIRE ALARM HORN/SPEAKER/STROBE (HC DENOTES HIGH CANDELLA)
⊕	TRANSFORMER	⌘	FIRE ALARM STROBE (VISUAL ONLY) (HC DENOTES HIGH CANDELLA)
⊕	PANELBOARD	⌘	CONNECTION TO EXISTING CIRCUIT
⊕	SAFETY SWITCH	⌘	BRANCH CIRCUIT RACEWAY - CONCEALED IN WALL OR CEILING
⊕	FLUSH JUNCTION BOX CEILING (⊕-WALL)	⌘	BRANCH CIRCUIT RACEWAY - CONCEALED IN FLOOR OR UNDERGROUND
⊕	PULL BOX OR JUNCTION BOX IN FLOOR	⌘	BRANCH CIRCUIT RACEWAY - EXPOSED
⊕	DUPLEX RECEPTACLE (⊕-HIGH MOUNT)	⌘	
⊕	GROUND FAULT INTERRUPTER RECEPTACLE	⌘	
EX	EXISTING; TO REMAIN	⌘	
ER	EXISTING; BEING RELOCATED	⌘	
EN	EXISTING; NEW LOCATION	⌘	

NOTE: ALL DEVICES SHOWN ON THIS SCHEDULE ARE SYMBOLIC ONLY. SEE ELECTRICAL SPECIFICATIONS FOR EXACT DEVICE REQUIREMENTS AND PERFORMANCE CHARACTERISTICS.



DEVICE MOUNTING HEIGHTS
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3-20-2020



CLIENT NAME UNIVERSITY OF SOUTH CAROLINA AIKEN	PROJECT NAME ARTS, HUMANITIES & SOCIAL SCIENCES BLDG RENO	LOCATION AIKEN, SOUTH CAROLINA
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REVISIONS

NO.	DATE	DESCRIPTION
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PROJECT NUMBER	19063
SHEET NUMBER	E001
SHEET NAME	ELECTRICAL NOTES, SCHEDULES, AND DETAILS - 1
DATE	3/31/2020

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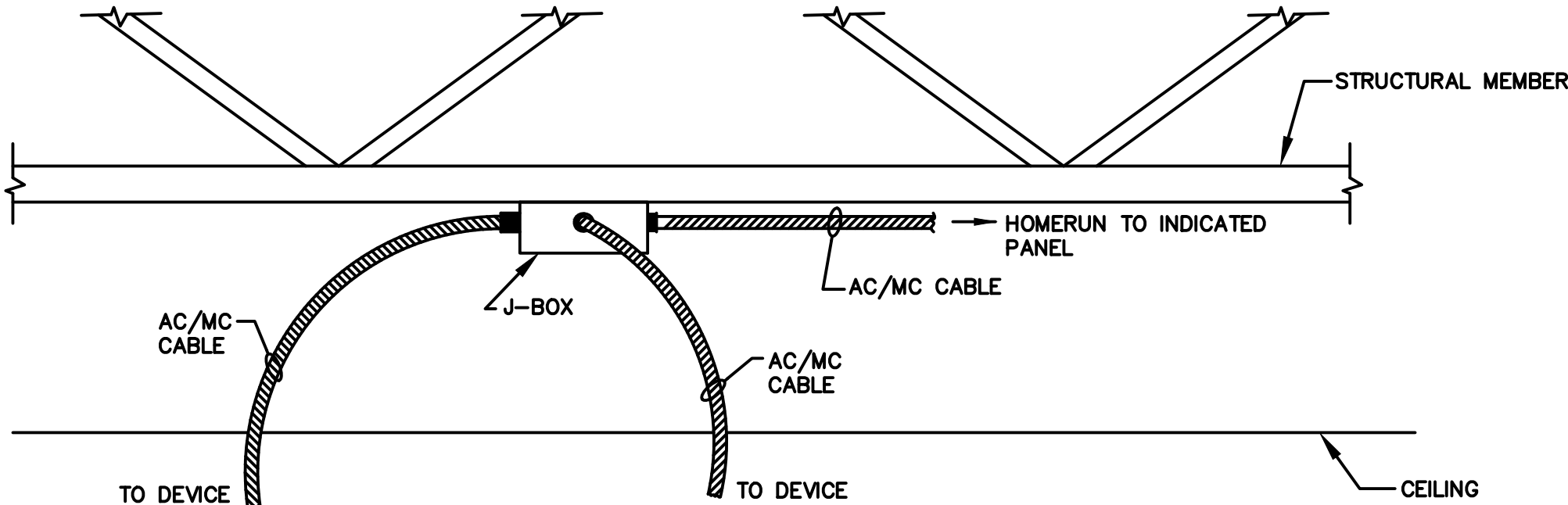
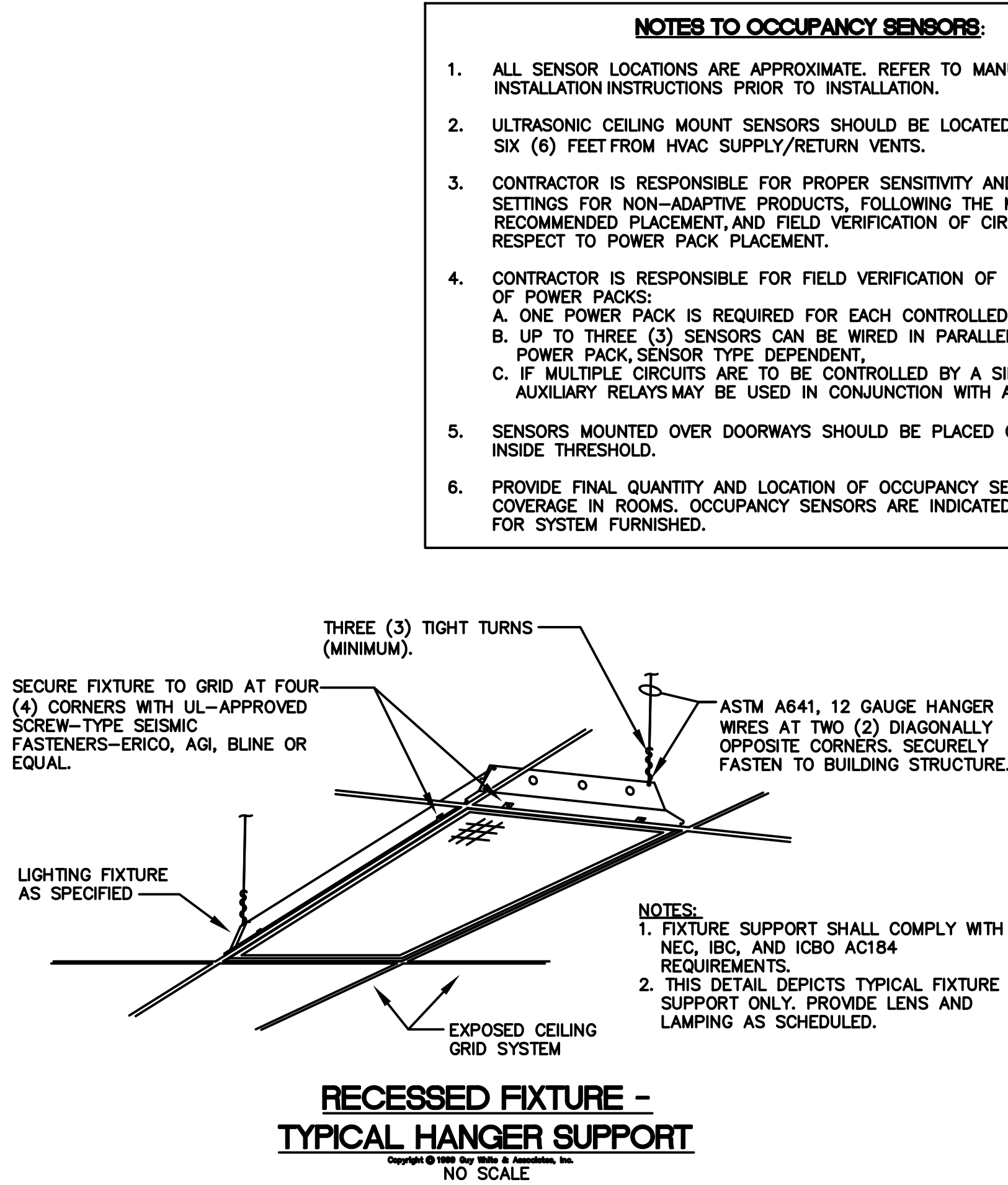
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LIGHTING FIXTURE SCHEDULE						
SYMBOL	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTAGE	FIXTURE WATTAGE	NOTES
A	2' X 2' LED VOLUMETRIC TROFFER (STATIC, GRID)	LITHONIA	2VTL2-33L-ADP-EZ1-LP835	277V.	29W	RECESSED-CEILING.
B	DECORATIVE VANITY FIXTURE (WALL MOUNT)	TECH LIGHTING	700BCTFN-24-*--LED927-277	277V.	20W	WALL-MOUNT PER GENERAL NOTES AT LAVATORY. * DENOTES FINISH AS DIRECTED BY ARCHT.
C	4' UTILITY STRIP	LITHONIA	CLX-L48-5000LM-SEF-FDL-MVOLT-GZ10-35K-80CRI-WH	277V.	42W	CHAIN HUNG FROM STRUCTURE.
D	DECORATIVE PENDANT (ELEVATOR ALCOVE)	DAVID TRUBRIDGE	CORAL - 400MM/16"	120V.	60W MAX	PENDANT MOUNTED FROM CEILING. COORDINATE EXACT MOUNTING HEIGHT WITH ARCHT. PROVIDE ALL MOUNTING HARDWARE AS REQUIRED. PROVIDE WITH E26, LED LAMP.
F	DECORATIVE PENDANT (STAIRWELL)	DAVID TRUBRIDGE	CORAL - 600MM/24"	120V.	60W MAX	PENDANT MOUNTED FROM CEILING. COORDINATE EXACT MOUNTING HEIGHT WITH ARCHT. PROVIDE ALL MOUNTING HARDWARE AS REQUIRED. PROVIDE WITH E26, LED LAMP.

NOTES TO LIGHTING FIXTURE SCHEDULE

L1. LOCATE ALL FIXTURES IN STRICT ACCORDANCE WITH ARCHITECTUAL REFLECTED CEILING PLAN.

L2. PROVIDE ALL HALF-SHADED FIXTURES WITH EMERGENCY BATTERY UNIT, BODINE, IOTA, DUAL-LITE OR EQUAL. BATTERY UNITS SHALL BE DESIGNED AND RATED FOR USE WITH LED LUMINAIRES AND OF APPROPRIATE TYPE AND WATTAGE TO SUIT LED DRIVERS FURNISHED - MINIMUM 90 MINUTE RATING. CONNECT COMPLETE TO SWITCH ON-OFF WITH ROOM/AREA LIGHTING AND ON UPON CIRCUIT FAILURE, REGARDLESS OF SWITCH POSITION.



- NOTE TO AC/MC CABLE DETAIL:
1. UPON COMPLETION OF WORK AND PRIOR TO INSTALLATION OF GYPSUM WALLBOARD, THE SYSTEM SHALL BE FREE OF SHORTS, GROUND FAULTS, AND OPEN CIRCUITS. TEST SYSTEMS AS REQUIRED AND FURNISH THE ENGINEER A TEST REPORT.

2. PROVIDE RED METALLIC RACEWAYS FOR ALL FIRE ALARM CONDUCTORS AND CABLES. AC/MC CABLE NOT PERMITTED.

3. PROVIDE METALLIC RACEWAYS FOR ALL PANELBOARD FEEDER CONDUITS. AC/MC CABLE NOT PERMITTED.

4. DO NOT BUNDLE OR STACK TOGETHER MORE THAN 10 AC/MC CABLES.

5. SEE MATERIAL RACEWAY USE TABLE.

- DEMOLITION NOTES
1. BIDDERS SHALL VISIT THE SITE OF WORK PRIOR TO BIDDING AND SHALL INCLUDE IN BID ALL WORK REQUIRED TO PROVIDE NEW WORK AND TO MODIFY EXISTING WORK AS REQUIRED TO CONTINUE IN OPERATION.

2. DEMOLITION WORK SHALL COMPLY WITH ANSI 10.6, NFPA 241, OSHA, AHERA AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL STANDARDS, CODES AND GUIDELINES.

3. CONTRACTOR IS CAUTIONED THAT DEMOLITION PLANS ARE BASED ON RECORD DRAWINGS AND VISUAL FIELD OBSERVATION AND ARE INTENDED TO COMMUNICATE INTENT OF DEMOLITION AND DO NOT INDICATE EVERY COMPONENT OF ELECTRICAL SYSTEMS.

4. OWNER SHALL RETAIN FIRST RIGHT OF REFUSAL ON ELECTRICAL EQUIPMENT BEING DEMOLISHED. PRIOR TO BEGINNING DEMOLITION WORK, CONTRACTOR SHALL WALL DEMOLITION AREA WITH OWNER REPRESENTATIVE AND IDENTIFY ITEMS TO BE REMOVED AND TURNED OVER TO OWNER. ALL SUCH ITEMS SHALL BE CAREFULLY REMOVED, PROTECTED AND DELIVERED TO OWNER.

5. EXISTING RACEWAY AND WIRING SYSTEMS REUSED AS PART OF THIS CONTRACT SHALL BE REWORKED AS REQUIRED TO COMPLY WITH REQUIREMENTS FOR NEW WORK AND CURRENT CODES AND STANDARDS.

6. CONTRACTOR SHALL EXAMINE DEMOLITION AND NEW WORK PLANS FOR ALL TRADES AND INCLUDE IN BID ALL REQUIRED REWORK AND/OR RELOCATION OF EXISTING RACEWAY, JUNCTION BOXES, DEVICES, WIRING SYSTEMS AND THE LIKE AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.

7. SEE ARCHITECTURAL DRAWINGS FOR DEMOLITION FLOOR PLAN. EXAMINE WORK TO BE DONE AND PROVIDE ALL ELECTRICAL WORK REQUIRED FOR DEMOLITION.

8. INCLUDE IN BID ALL WORK REQUIRED FOR TEMPORARY WIRING AND ASSOCIATED ELECTRICAL WORK REQUIRED TO MAINTAIN EXISTING SYSTEMS IN SERVICE DURING DEMOLITION PHASE. INTERRUPTIONS IN ANY ELECTRICAL SERVICE OR SYSTEM (POWER, LIGHTING, COMMUNICATION, FIRE ALARM, ETC.) SHALL BE COORDINATED WITH AND APPROVED BY OWNER A MINIMUM OF 48 HOURS PRIOR TO PERFORMING WORK U.N.O.

9. ELECTRICAL DEMOLITION GENERALLY INCLUDES REMOVAL OF EXISTING OUTLETS, DEVICES, AND OTHER ELECTRICAL COMPONENTS. WHERE ALL CIRCUIT LOADS ARE REMOVED, DEMOLISH CIRCUITS BACK TO PANELBOARD(S). WHERE ONLY PORTIONS OF CIRCUIT LOADS ARE REMOVED, REWORK CIRCUITS BY EXTENSION AND RECONNECTION TO CONTINUE REMAINING LOADS IN SERVICE BEYOND THE DEMOLITION AREA.

10. WIRING SYSTEMS SHALL BE REMOVED BACK TO THE SOURCE OF SUPPLY UNLESS NOTED OTHERWISE. CIRCUIT BREAKERS, FUSIBLE SWITCHES, ETC. SUPPLYING LOADS DEMOLISHED AS PART OF THIS CONTRACT SHALL BE LABELED AS SPARE AND SET TO THE OFF POSITION.

11. PROVIDE REVISED CIRCUIT DIRECTORIES IN ALL PANELBOARDS AFFECTED BY NEW OR DEMOLITION WORK. INDICATE ALL LOADS, NEW, SPARE OR MODIFIED.

12. REMOVE ALL EXISTING, ABANDONED WIRING SYSTEMS IN CEILING SPACE, EQUIPMENT ROOMS, SHAFTS, CRAWL SPACES AND SIMILAR CAVITIES OF THE WORK AREA, INCLUDING WIRING, RACEWAYS, BOXES AND SUPPORTS.

13. EXISTING CEILING SYSTEMS ARE BEING REMOVED AND REPLACED IN SOME AREAS UNDER THIS CONTRACT. INCLUDE IN BID ALL WORK AS REQUIRED FOR RELOCATION OF ALL EXISTING CEILING MOUNTED ELECTRICAL DEVICES (FIRE ALARM, SENSORS, CAMERAS, CLOCKS, SPEAKERS, ETC.) TO NEW CEILING SYSTEM. PROVIDE REMOVAL, PROTECTION OF, TEMPORARY SUPPORT AND REINSTALLATION COMPLETE.

ISSUED FOR BIDDING - MARCH 31, 2020

GWA-19-3392

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LOCATION

AIKEN, SOUTH CAROLINA

REVISIONS

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PROJECT NUMBER

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E002

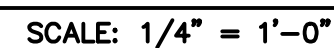
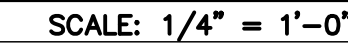
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ELECTRICAL NOTES, SCHEDULES, AND DETAILS - 2

DATE

3/31/2020

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SCALE: 1/8" = 1'-0"

GWA-19-3392

The logo for GWA Inc. features the letters "GWA" in a large, bold, serif font. A blue circular graphic with a white spiral pattern is positioned behind the letter "A". Below "GWA", the text "Inc." is written in a smaller, italicized serif font, and "Electrical Engineers" is written in a smaller, blue, sans-serif font.

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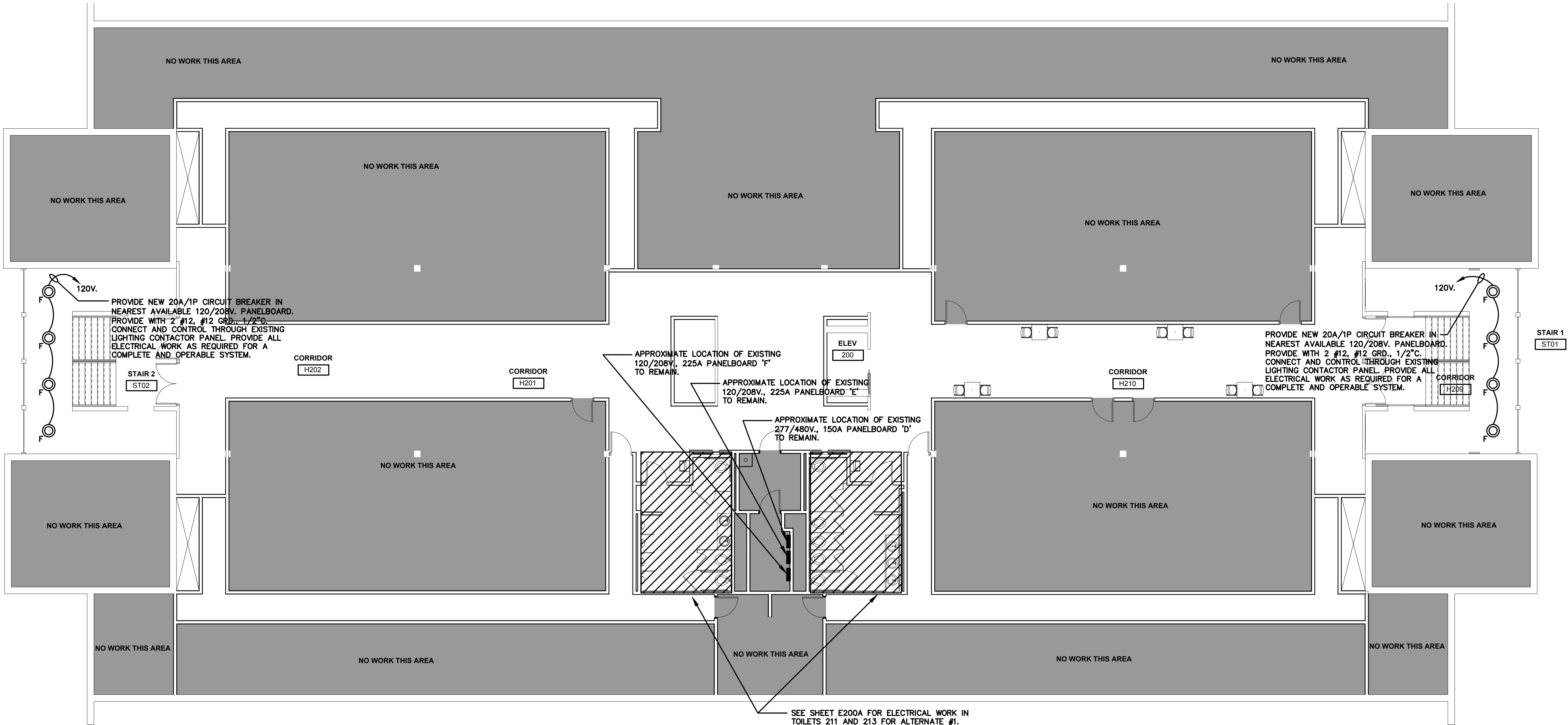
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PROJECT NUMBER	19063
SHEET NUMBER	E100
SHEET NAME	FIRST FLOOR ELECTRICAL PLANS - NEW WORK - BASE BID
DATE	3/31/2020

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SPECIAL NOTE: ALL EXISTING LIGHTING FIXTURES SHALL BE EXISTING TO REMAIN UNLESS NOTED OTHERWISE. CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL REFLECTED CEILING PLAN FOR DEMOLITION AND NEW WORK.

SECOND FLOOR OVERALL ELECTRICAL PLAN - NEW WORK - BASE BID

SCALE: 1/8" = 1'-0"

GWA-19-3392

Midlands Office - Main

168 Laurelhurst Avenue

Columbia, SC 29210

(803)252-6919



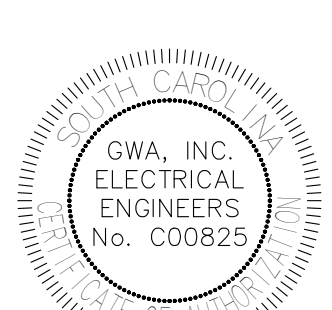
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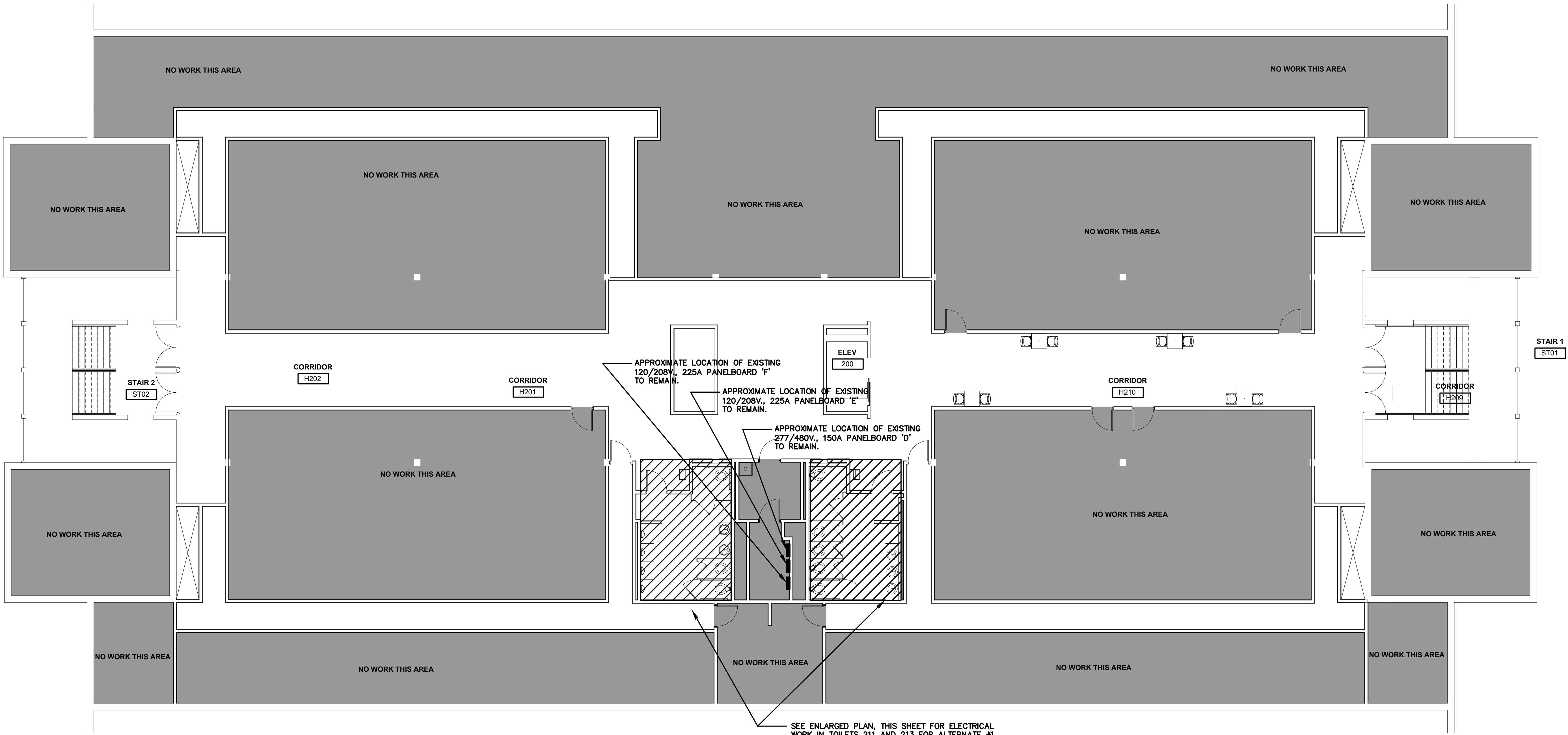
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ISSUED FOR BIDDING - MARCH 31, 2020

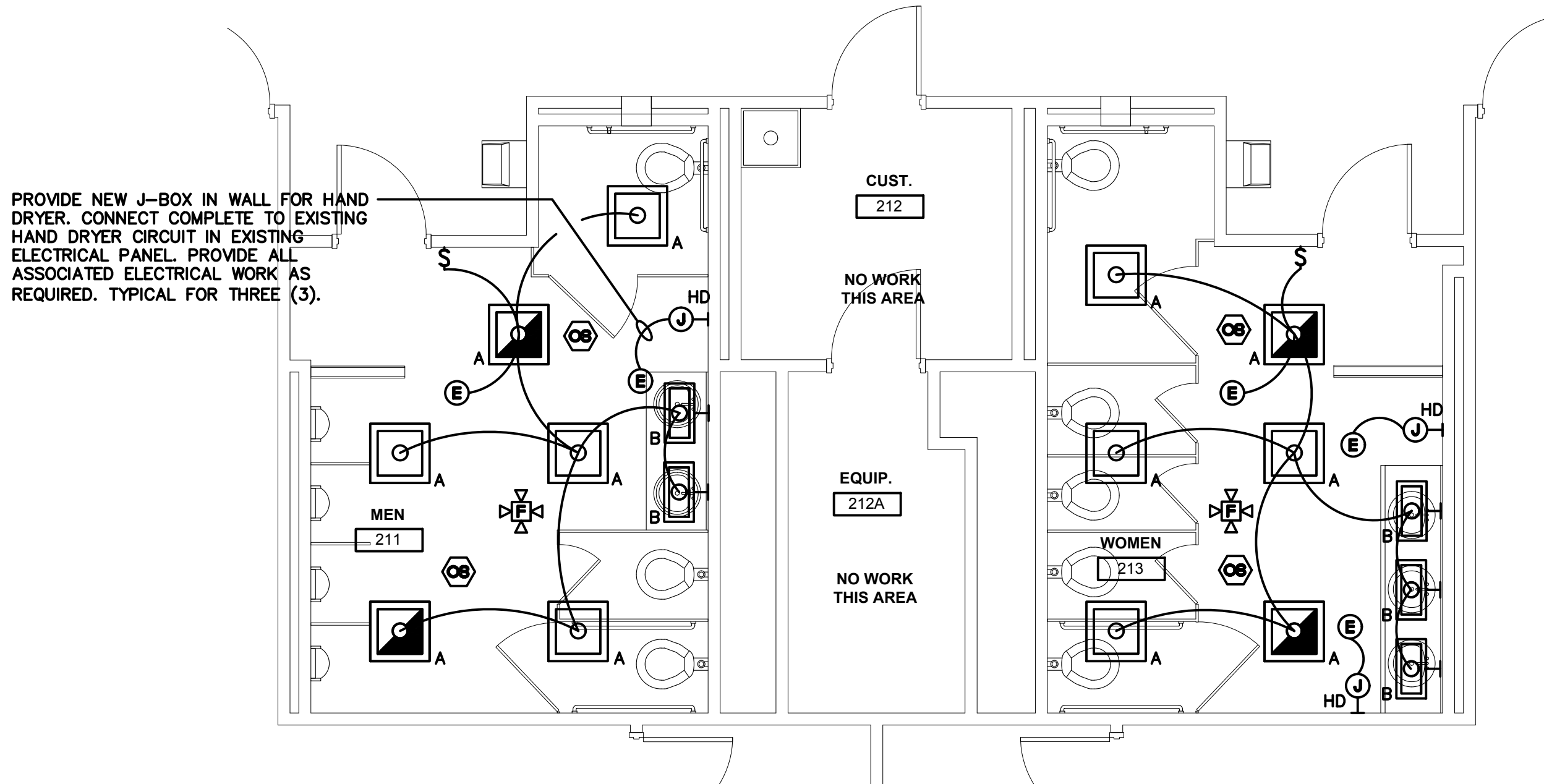
STUDIO 2LR		STUDIO 2LR, INC. 2428 MAIN STREET COLUMBIA, SC 29201 P 803.233.6602 STUDIO2LR.COM	
			
 3--20--2020			
			
CLIENT NAME UNIVERSITY OF SOUTH CAROLINA AIKEN	PROJECT NAME ARTS, HUMANITIES & SOCIAL SCIENCES BLDG RENO		LOCATION AIKEN, SOUTH CAROLINA
REVISIONS			
NO.	DATE	DESCRIPTION	
PROJECT NUMBER		19063	
SHEET NUMBER		E200	
SHEET NAME SECOND FLOOR ELECTRICAL PLAN - NEW WORK - BASE BID			
DATE		3/31/2020	

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SECOND FLOOR OVERALL ELECTRICAL PLAN - NEW WORK - ALTERNATE #1
SCALE: 1/8" = 1'-0"



ELECTRICAL PLAN - TOILETS 211 AND 213 - NEW WORK - ALTERNATE #1
SCALE: 1/4" = 1'-0"

GWA

inc.

Electrical Engineers

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3-20-2020

CLIENT NAME
UNIVERSITY OF SOUTH CAROLINA AIKEN

PROJECT NAME
ARTS, HUMANITIES & SOCIAL SCIENCES BLDG RENO

LOCATION
AIKEN, SOUTH CAROLINA

REVISIONS

NO.	DATE	DESCRIPTION
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PROJECT NUMBER
19063

SHEET NUMBER
E200A

SHEET NAME
SECOND FLOOR ELECTRICAL PLAN - NEW WORK - ALTERNATE #1

DATE
3/31/2020